

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: DECEMBER 14, 2020

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR
JOHN CIAMPA, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP20-0016 TO PERMIT THE RECONSTRUCTION AND EXPANSION OF AN OUTDOOR PATIO COVER, DECK, AND MINOR SITE IMPROVEMENTS FOR A SINGLE-FAMILY RESIDENCE ON A COASTAL BLUFF LOT AT 34781 DOHENY PLACE.

RECOMMENDATION: That the Planning Commission adopt the attached Resolution approving Coastal Development Permit CDP20-0016

APPLICANT: Robert Williams

OWNERS: Patrick Luke

REQUEST: A request for the reconstruction and expansion of an outdoor patio cover, deck, and minor site improvements for a single-family residence on a coastal bluff lot.

LOCATION: 34781 Doheny Place (APN 123-233-06)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on December 4, 2020, published within a newspaper of general circulation on December 4, 2020, and posted on December 4, 2020, at Dana Point City Hall, the Dana Point, and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Sections 15303 of the CEQA Guidelines (Classes 3 – New Construction or Conversion of Small Structures) since the project consists of the reconstruction of the patio cover, deck, and minor site improvements.

ISSUES:

- Project consistency with the Dana Point General Plan, DPZC, and Local Coastal Program (LCP).

- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND:

The subject site is a 14,000 square foot coastal bluff lot located in the Capistrano Beach community of Dana Point. The site is surrounded by similar single-family development, and on the seaward side, the property is bordered by commercial development along Pacific Coast Highway. The site is located within both the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission (CCC).

In the 1920s, Palisades Road was graded into the bluff face to connect the Capistrano Beach community to Pacific Coast Highway. During the construction of Palisades Road, a retaining wall and drainage culvert was constructed at the top of the bluff that spans 11 properties to prevent erosion and ensure bluff stability. Today, the top of the retaining wall is the coastal bluff edge and is utilized in determining the bluff setback.

The existing site improvements for the property include a one-story, 2,068 square foot SFD with an attached two-car garage and a deck and patio cover on the seaward side of the house. The SFD was constructed in 1953, prior to City incorporation, and remains in its original configuration. The structure is legal nonconforming because it provides a substandard side yard setback of four feet along the east property line when eight feet is required, and the internal dimension of the garage is 17 feet by 20 feet when 20 feet by 20 feet is required.

DISCUSSION:

The deck and patio cover reconstruction and expansion commenced earlier this year without the issuance of proper approvals, and as a result, a stop-work order was issued to the property owner. The property owner is now working with staff to obtain the necessary approvals to complete the project in compliance with City standards. The project proposes a new 458 square foot deck with a solid patio cover that would be setback 34.5 feet from the coastal bluff edge. The existing gable roof would extend over the proposed deck area and maintain the same roof elevation as the house. The sides of the patio cover would be open with glass guard rails. The surface of the deck would be at the same elevation as the finished floor of the house and would be three feet, six inches above the finished grade.

In the back yard area, new hardscape and a two-foot tall slump block retaining wall are proposed. The retaining wall would have a curved design and would be setback eight feet from the coastal bluff edge, at its closet point. The proposed retaining wall's location within the bluff setback complies with Section 9.27.030(c)(5) *Permitted Development within the*

Coastal Bluff Edge Setback, in that it is an authorized structure that minimizes landform alterations and is subordinate to the natural character of the bluff. The wall would retain approximately two feet of earth to flatten a portion of the back yard. The height of the wall and the curved design would ensure that it minimizes the landform alterations to the site.

To enhance the front of the property, hardscape and a new six-foot tall fenced entry with stucco columns is proposed to replace the existing entry wall. The fenced entrance is located outside the required 10-foot front yard setback and complies with the Zoning Ordinance.

The project would include California native and drought-tolerant plantings throughout the property that would comply with the landscape requirements for coastal bluff lots, as identified in Section 9.27.030(c)(3)(B) of the DPZC. A condition of approval is included in the draft resolution prohibiting irrigation in the 25-foot coastal bluff setback. Compliance with the preliminary landscape plan shall be enforced through the submittal of a final landscape plan during the property's building permit review process.

Table 1 summarizes the project's conformance with applicable development standards of the RSF-3 zoning district.

Table 1: Compliance with RSF-3 Development Standards

Development Standard	Requirement	Proposed(P)/ Existing (E)	Compliant with Standard
Front Setback	10 feet	13 feet (E)	Yes
Side Setbacks East	8 feet	10 feet(E)	Yes
Side Setbacks West	8 feet	4 feet(E)*	No
Bluff Edge Setback	25 feet	34.5 feet (P)	Yes
Height	24 feet	17.25 feet(P)	Yes
Lot Coverage	45%	20.8%(P)	Yes
Landscape Coverage	25%	60%(P)	Yes
Parking Required	2 garage spaces	2 car garage(E)	No**

*Existing legal nonconforming condition of the structure. The project does not propose any modifications to the legal nonconforming side yard conditions.

**Existing garage provides a substandard interior dimension of 17 feet by 20 feet.

COASTAL DEVELOPMENT PERMIT (CDP20-0016)

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, the proposed patio cover, deck, and minor site improvements are within 50 feet of a coastal bluff lot in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires the approval of a CDP. The project complies with all of the applicable provisions of the Dana Point Zoning Code for the issuance of a Coastal

Development Permit as the patio cover, deck, and minor site improvements do not impact public access or Environmentally Sensitive Habitat Areas (ESHA) as the parcel is already developed and the proposed improvements comply with the required setbacks for improvements on coastal bluff lots.

Pursuant to Section 9.69.070 "Basis for Action on Coastal Development Permit Applications" of the DPZC, every Coastal Development Permit requires the following findings:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code; and,
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act; and,
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment; and,
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources; and,
5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards; and,
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas; and
7. That the proposed development conforms to the General Plan, Local Coastal Program and Zoning Code.

Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting approval of the project based on the above quoted findings are detailed in the attached draft Planning Commission Resolution.

CORRESPONDENCE:

No correspondence has been received as of the publication date of this staff report.

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As justifications can be made supporting the requested discretionary actions, staff recommends the Planning Commission adopt the attached draft Resolution, approving CDP20-0016, subject to the findings and conditions of approval contained therein.



John Ciampa, Senior Planner



Brenda Wisneski, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 20-12-14-XX

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Project Plans

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 20-12-14-XX

RESOLUTION NO. 20-12-14-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0016 TO PERMIT THE RECONSTRUCTION AND EXPANSION OF AN OUTDOOR PATIO COVER, DECK AND MINOR SITE IMPROVEMENTS FOR A SINGLE-FAMILY RESIDENCE ON A COASTAL BLUFF LOT AT 34781 DOHENY PLACE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Patrick Luke, (the "Owners") are the owners of real property commonly referred to as 34781 Doheny Place (APN 123-233-06) (the "Property"); and

WHEREAS, the Owners authorized Robert Williams (the "Applicant") and the Applicant caused to be filed a verified application for a Coastal Development Permit to permit the reconstruction and expansion of an outdoor patio cover, deck, and minor site improvements for a single-family residence on a coastal bluff lot; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15303 of the CEQA Guidelines (Class 3 – New Construction or Conversion of Small Structures) due to the fact that the project consists of the reconstruction of the patio cover, deck, and minor site improvements; and

WHEREAS, the Planning Commission did, on the 14th day of December, 2020, hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0016.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP20-0016, subject to conditions:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning

Code in that, the site and architectural design of the proposed improvements comply with all development standards of the Residential Single Family 3 (RSF 3) Zoning District and Section 9.27.030(c) (Development Adjacent to Coastal Bluffs), and are within the limitations for improvements to nonconforming structures articulated in Chapter 9.63, while simultaneously furthering Conservation/Open Space Element Goal 2 Policy 2.12: *“New bluff top development shall minimize risks to life and property in geologically sensitive areas and be designed and located so as to ensure geological stability and structural integrity. Such development shall have no detrimental affect, either on-site or off-site, on erosion or geologic stability, and shall be designed so as not to require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.”*, by locating the proposed patio cover and deck out of the required bluff setback there is no need for protective devices or deepened foundations. The minor improvements including hardscape, landscape and a two-foot retaining wall within the 25-foot bluff setback are permissible per Section 9.27.030(c)(5) of the Dana Point Zoning Code in that the improvements do not have a footing, minimize landform alteration, and are subordinate to the natural character of the bluff.

2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that, the project site is not located within the sea and the nearest public roadway. Furthermore, the proposed project does not alter existing public access and public recreation areas in the vicinity.**
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that, the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 of the CEQA Guidelines (Classes 3 – New Construction or Conversion of Small Structures) due to the fact that the project consists of the reconstruction of the patio cover, deck, and minor site improvements.**
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will

provide adequate buffer areas to protect such resources **in that, the proposed development is not immediately adjacent to a park or recreation area containing environmentally sensitive habitat or scenic resources.**

5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that, the retaining wall within the bluff setback is in compliance with Section 9.27.030(c)(5) in that it is an authorized structure that minimizes land formations alterations and is subordinate to the natural character of the bluff. The project was assessed in the project geotechnical report which has been reviewed and verified that the development will not result in undue risk from geologic and erosional forces.**
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that, the proposed development is located on a developed site with no change in use, and in a fully established and developed community surrounded by similarly developed single-family residential lots. Proposed improvements will be visually compatible with the existing house and the surrounding neighborhood.**
7. That the proposed development will conform with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs **in that, although the site contains nonconforming elements and a variance request, the proposed project conforms with all other City regulations regarding development of single-family dwellings adjacent to coastal bluffs, Residential Single Family 3 (RSF 3) Zoning District development standards, the Residential 0-3.5 DU/AC designation in the City's General Plan, and with applicable requirements of the Local Coastal Program.**

Conditions:

A. General:

1. Approval of this application permits the reconstruction and expansion of an outdoor patio cover, deck, and minor site improvements for a single-family residence on a coastal bluff lot at 34781 Doheny Place.

2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced within such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expenses in ensuring compliance with these conditions.
8. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
9. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
10. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
11. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
12. Prior to the commencement of any work within the public right-of-way, the applicant shall apply and be approved for an encroachment permit from the Public Works Department.
13. The applicant shall limit all construction activities within the coastal bluff edge setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity.
14. All damaged curb, gutter, and sidewalk shall be removed and replaced along the entire frontage of the subject property per the City Engineer.

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15. The 25' bluff edge setback, per the zoning code and as shown on the submitted architectural plans and sections and geotechnical report, shall be clearly shown and labeled on all plans submitted for review and approval.
16. Per Municipal Code Section 9.27.030, no new structure foundations or improvements requiring a building permit will be allowed within the codified 25' bluff edge setback. Review of the submitted architectural plans indicates that any potential foundation elements associated with the proposed deck addition and landscaping would be located behind (landward) of the indicated 25' bluff edge setback line. Should the existing foundations be found not suitable for the proposed structure/improvements during construction, new permitted foundations would be required to be landward of the 25' bluff edge setback. All design professionals should evaluate the existing foundation system of the existing structure as it relates to the proposed work in order to verify that new foundation elements within the bluff edge setback will not be required as part of the proposed construction.
17. The applicant shall execute the City's standard deed restriction or, if prepared by the owner(s), shall be submitted for review and approval by the City Attorney. The deed restriction shall provide that; (1) the applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards; (2) the owner(s) unconditionally waive any claim of liability on the part of the City or any other public agency from any damage from such hazards; and (3) the owner(s) assume all liability for damages incurred as a result of any required off-site grading. The deed restriction shall be recorded, free of prior liens, to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney.
18. The applicant shall submit a drainage plan addressing the proposed construction in compliance with all City of Dana Point standards for review and approval. The drainage plan shall clearly show all drainage from proposed improvements being directed to an approved outlet.

B. Prior to Building Permit Issuance, the applicant shall meet the following conditions:

19. Building(s) shall comply with the 2019 editions of the Building Code with all local amendments.
20. The applicant shall submit a geotechnical report for the proposed construction in compliance with all City of Dana Point standards.

21. The applicant shall submit a drainage plan addressing the proposed construction in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal in conformance with Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements. The drainage plan shall clearly show all drainage from proposed improvements being directed away from the bluff edge and to an approved outlet at Doheny Place.
22. The applicant shall submit a sump pump design to accommodate the anticipated flows shown on the civil plans and provided in the hydrology and hydraulic report for review and approval by the Public Works Department.
23. All plans submitted shall reflect the Bluff Edge and all associated setbacks as shown on the plans submitted October 26, 2020, and shown/discussed in the "Response to City Review Comments..." dated September 16, 2020 report by NOVA.
24. Within the first three (3) sheets of the building construction documents submitted for plan check the applicant shall include a verbatim copy of the City's approved Resolution and conditions of approval for the project, and the conditions of approval shall also be identified on the sheet index on the cover/title sheet of the plan set.
25. Building plan check submittal shall include the following construction documents:
 - Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
 - Energy Calculations (2 sets)
 - Structural Calculations (2 sets)
 - Soils/Geology Report (3 sets)
 - Drainage Plan (3 sets)

All documents prepared by a registered-design-professional shall be wet-stamped & signed.
26. Separate review, approval, and permits are required for separate structures.
27. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State

licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought-tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC. The landscape plan shall include plant species to screen the over height freestanding and retaining walls within the required front yard and approved as part of the project.

The Landscape plan shall illustrate the coastal bluff edge setback area and be in accordance with the approved grading plan and DPZC for improvements allowed within the 25-foot bluff edge setback. Any existing irrigation and any associated equipment located within the 25-foot bluff edge setback and on the bluff face shall be removed prior to final sign-off of the landscape permit.

C. Prior to Final approval of all permits, the applicant shall meet the following conditions:

28. A written approval by the Civil Engineer of Record approving the grading/drainage as being in conformance with the approved grading/drainage plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.
29. An As-Built Drainage Plan shall be prepared by the Civil Engineer of Record; and a Sump Pump Deed Restriction shall be recorded for the proposed sump pump associated with the drainage plan.
30. All landscaping and/or structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
31. The final condition of the bluff edge setback shall be in accordance with Municipal Code Section 9.27.030, with no new structure foundations or improvements requiring a building permit within the bluff edge setback.
32. Prior to the commencement of framing, the applicant shall verify, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of these

entitlements. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.

33. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP20-0016. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.
34. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
35. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan. A State licensed landscape architect shall provide the "Landscape Installation Certificate of Completion" form to the Planning Commission as required in the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.
36. Verification of all conditions of approval is required by all City Departments.
37. The final condition of the coastal bluff edge setback shall be in accordance with DPZC Section 9.27.030, with no new structure foundations or improvements requiring a building permit within the coastal bluff edge setback.
38. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to building final project sign-off.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 14th day of December 2020, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Mary Opel, Chairwoman
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

SUPPORTING DOCUMENT 2: Vicinity Map



Vicinity Map

34781 Doheny Place, CDP20-0016



SUPPORTING DOCUMENT 3: Site Photos





SUPPORTING DOCUMENT 4: Project Plans

ATTACHMENT

DOHENY PLACE RESIDENCE



STUDIO 6 ARCHITECTS, INC.
ARCHITECTURE + PLANNING
2753 CAMINO CAPISTRANO, SUITE A-100
SAN CLEMENTE, CA 92672
(949) 388-3300 PHONE
(949) 388-3330 FAX
STUDIO6ARCHITECTS.COM

PROJECT CONTACT:
BRIAN MUEHLBAUER
PHONE: (949) 388-3300
FAX: (949) 388-3330
brian@studio6architects.com

PROJECT TEAM:
PRINCIPAL ARCHITECT: BRIAN MUEHLBAUER
DESIGN ARCHITECT: ROBERT WILLIAMS

CLIENT:
PATRICK & SAXON LUKE
34781 DOHENY PLACE
DANA POINT, CA 92624

PROJECT MANAGER:
PHONE NUMBER:
FAX NUMBER:
EMAIL:

MISCELLANEOUS NOTES

1. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY-PRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED FROM CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
2. PROVIDE PORTABLE TOILET AND HAND WASH STATION PER OSHA REGULATIONS.
3. FOR HOMES BUILT PRIOR TO 1978, A CERTIFIED LEAD CONSULTANT IS REQUIRED TO PROVIDE TESTING AND CLEARANCE LETTER.
4. 85% OF THE CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE RECYCLED UNLESS SELF HAILED BY THE OWNER OR CONTRACTOR OF THE PROJECT. THE USE OF ANY WASTE HAULER OTHER THAN THE CITY'S FRANCHISED HAULER, OSHA ENVIRONMENTAL SERVICES TO HAUL CONSTRUCTION DEBRIS IS PROHIBITED AND SUBJECT TO PERMIT SUSPENSION.
5. CALIFORNIA STATE CIVIL CODE SECTION 1101.1-1101.8 REQUIRES THAT FOR SINGLE FAMILY RESIDENTIAL PROPERTY FOR IMPROVEMENT ACTIVITY REQUIRING BUILDING PERMIT, THE BUILDING APPLICANT IS RESPONSIBLE FOR REPLACING ALL NON-COMPLIANT PLUMBING FIXTURES WITHIN THE BUILDING WITH WATER-CONSERVING PLUMBING FIXTURES. SEE CITY OF IRVINE BULLETIN 321 FOR ADDITIONAL INFORMATION. ALL WATER CLOSETS TO BE RETROFITTED TO COMPLY WITH WATER SAVING 1.2 GALLON PER FLUSH.
6. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SECTION 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 604 OF THE CPC. INSTALLATION STANDARDS OF APPENDIX D OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATE OF COMPLIANCE AS SPECIFIED IN SECTION 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.
7. ALL EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.

SHEET INDEX

- T-1 TITLE SHEET/FLOOR PLAN
- A-1 EXTERIOR ELEVATIONS
- A-2 ARCHITECTURAL SITE PLAN
- TPO1 TOPOGRAPHIC SURVEY
- C-1 DRAINAGE PLAN
- C-2 EROSION CONTROL PLAN
- L-1 LANDSCAPE PLAN

PROJECT TEAM

OWNER:	PATRICK AND SAXON LUKE 34781 DOHENY PLACE DANA POINT, CA 92624
ARCHITECT:	STUDIO 6 ARCHITECTS, INC. 2753 CAMINO CAPISTRANO SUITE A-100 SAN CLEMENTE, CA 92672 PHONE: (949) 388-3300 FAX: (949) 388-3330 EMAIL: brian@studio6architects.com
CIVIL:	TOTAL ENGINEERING INC. 1878 AVENUE KAMARANG SAN CLEMENTE, CA 92672 PHONE: (949) 465-8918 CONTACT: CALVIN KIM EMAIL: CALVIN@TOTAL-ENGINEERING.COM
GEOTECHNICAL:	NOVA SERVICE, INC. 3000 NORTH SHORELINE SUITE 200 SAN CLEMENTE, CA 92672 PHONE: (949) 388-7770
LANDSCAPE ARCHITECT:	JAMES PEACOCK 1291 S. AVENUE SAN CLEMENTE, CA 92672 PHONE: (949) 369-8888

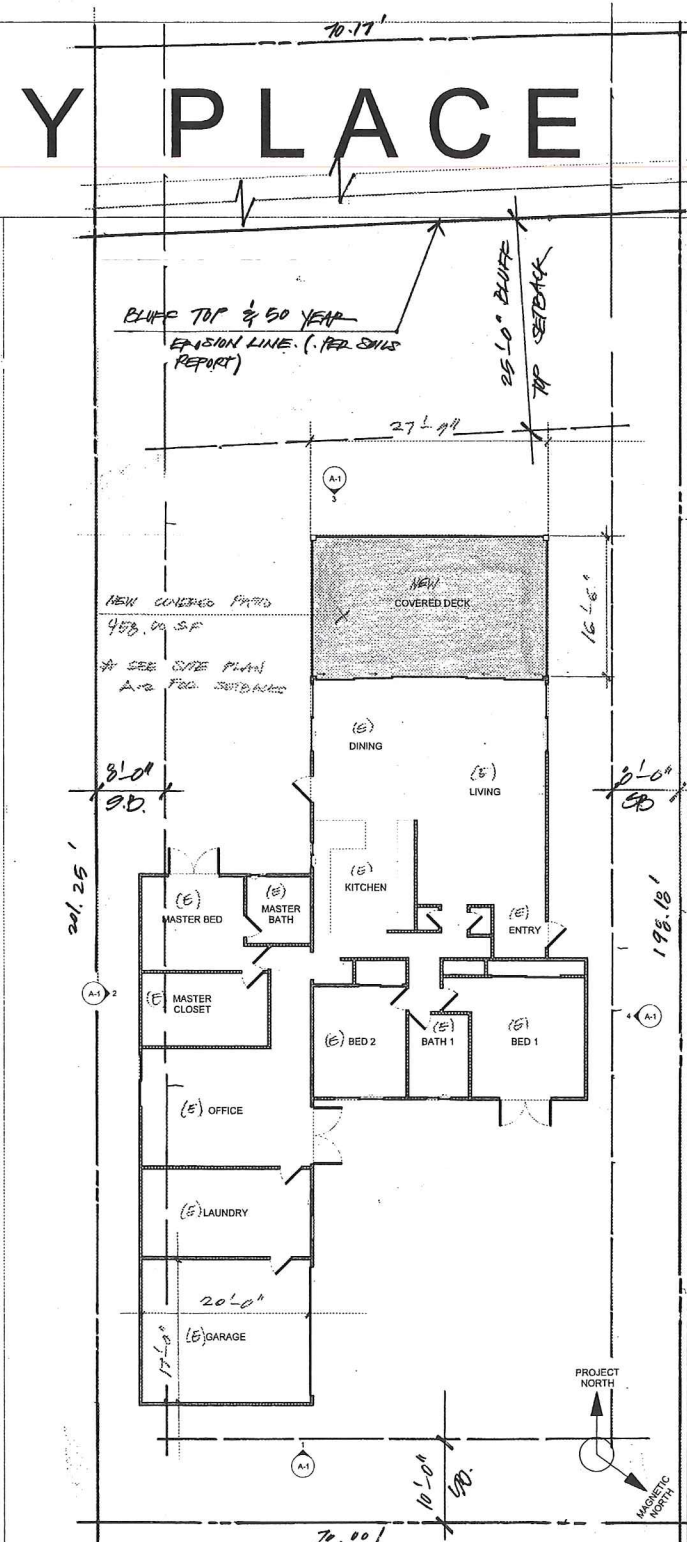
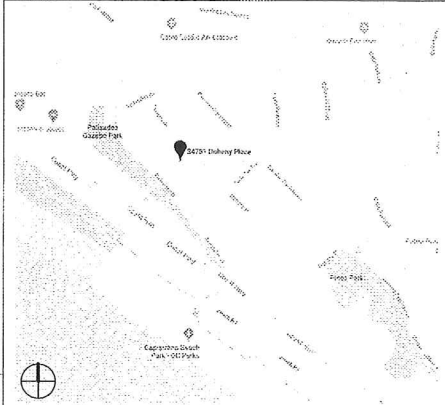
PROJECT SUMMARY

PROJECT ADDRESS	AREA CALCULATIONS
34781 DOHENY PLACE CAPISTRANO BEACH, CA 92624	EXISTING LIVING AREA: 2,088 SF EXISTING LOT AREA: 14,900 SF 0.32 ACRES
LEGAL LOT DESCRIPTION	TRACT: 822 LOT: 8
BUILDING TYPE	1.5 STORY RESIDENCE
CONSTRUCTION TYPE: V/S	(UNUSUAL CONSTRUCTION)
OCCUPANCY: R3M	2,924.00 BLDG + 20.8%
ASSESSORS PARCEL NUMBER	123-233-06

PROJECT SCOPE

NEW REAR COVERED PATIO 458 SF & LANDSCAPE DESIGN, SITE RESTRICTIONS WALL, NEW DRAINAGE

VICINITY MAP



SETBACKS/ZONING:

SETBACKS:	REQUIRED:	EXISTING:
FRONT	10'-0"	19'-0"
SIDE	8'-0"	4'-0"-6'-0"
REAR	25'-0" BLUFF TOP SETBACK PER DPMS	
ZONE:	RSF-3	

NOTE: ON SITE DRAINAGE SHALL BE IN ACCORDANCE WITH 2019 DPMS § 8.05.0

ALL WALLS, DOORS, WINDOWS, CASEWORK AND DIMENSIONS TO BE VERIFIED IN FIELD. THESE PLANS ARE FOR REFERENCE ONLY.
FLOOR PLAN 1/8" = 1'-0" 1

LUKE RESIDENCE
34781 DOHENY PLACE
DANA POINT, CALIFORNIA

PROJECT NUMBER:
2020010

MILESTONES / REVISIONS
NO. DATE DESCRIPTION

LICENSE STAMP:



SHEET TITLE:

SHEET NUMBER:

T-1

DEC 07 2020

LUKE RESIDENCE
34781 DOHENY PLACE
DANA POINT, CALIFORNIA

PROJECT NUMBER:
2020010

MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION

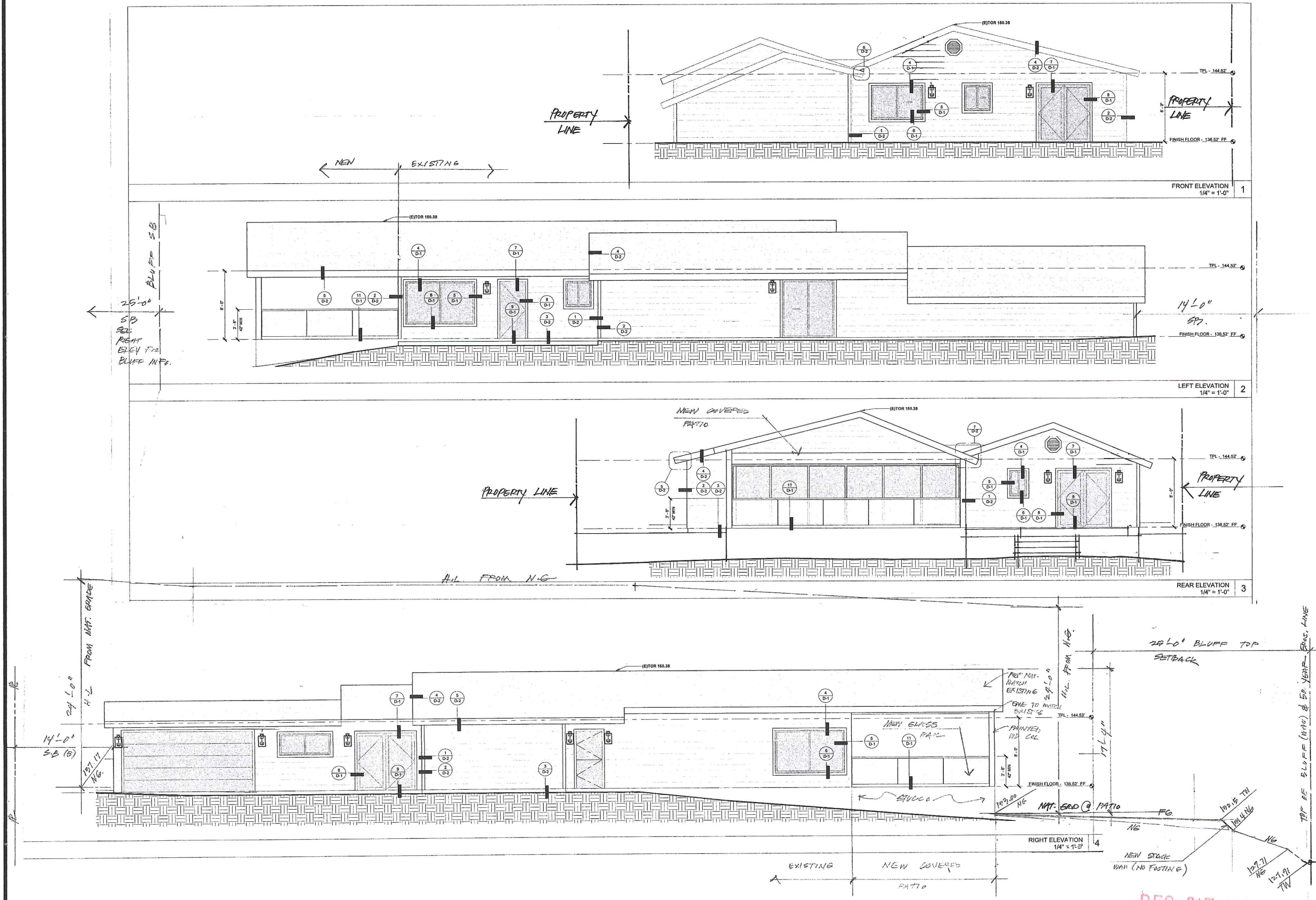
LICENSE STAMP:



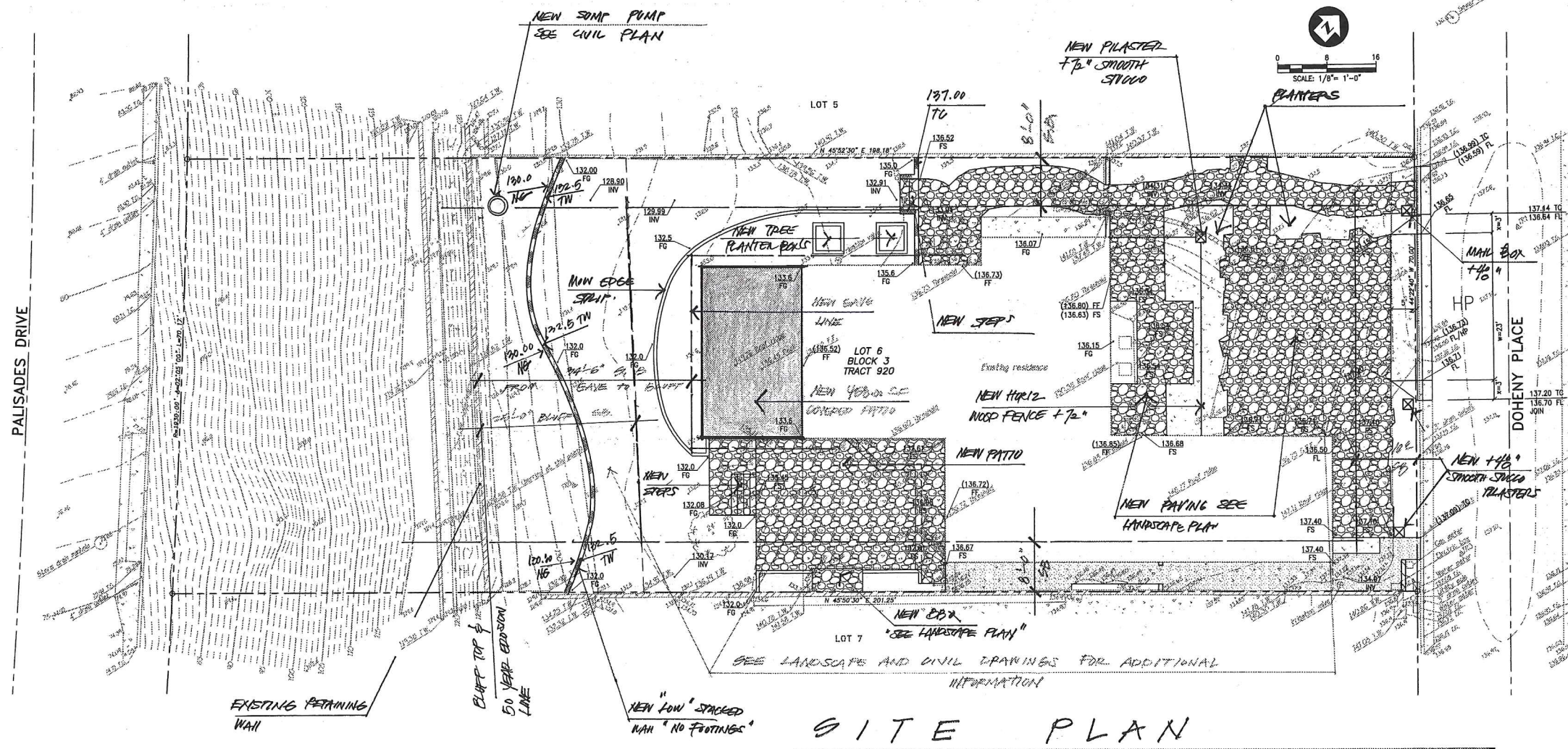
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SHEET NUMBER:

A-1



DEC 07 2020



LUKE RESIDENCE
 34781 DOHENY PLACE
 DANA POINT, CALIFORNIA

PROJECT NUMBER:
 2020010

MILESTONES / REVISIONS		
NO.	DATE	DESCRIPTION



SHEET TITLE:
 A.2

SHEET NUMBER:

DEC 07 2020



CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY
138 Avenida Haverro
San Clemente, CA 92672
949.492.8284
www.toalengineering.com



VIKTOR P. MEUM
P.L.S. 8682
DATE:

PREPARED FOR:
PATRICK LUKE

REVISIONS			
NO.	DATE	BY	DESCRIPTION

TOPOGRAPHIC SURVEY
LOT 6, BLOCK 3, TRACT 920, APN 123-233-06
34781 DOHENY PLACE, DANA POINT, CALIFORNIA

DATE	H. SCALE	
11-11-19	1/8"=1'	
SURVEY DATE	V. SCALE	
11-4-19		
DRN: MSF	DWG. NO.	
CHD: -	TP-01	
APP: VM		
JOB NO.	SHEET	OF
19182	1	1

LUKE RESIDENCE
34781 DOHENY PLACE
DANA POINT, CALIFORNIA

PROJECT NUMBER:
2020010

MILESTONES / REVISIONS		
NO.	DATE	DESCRIPTION

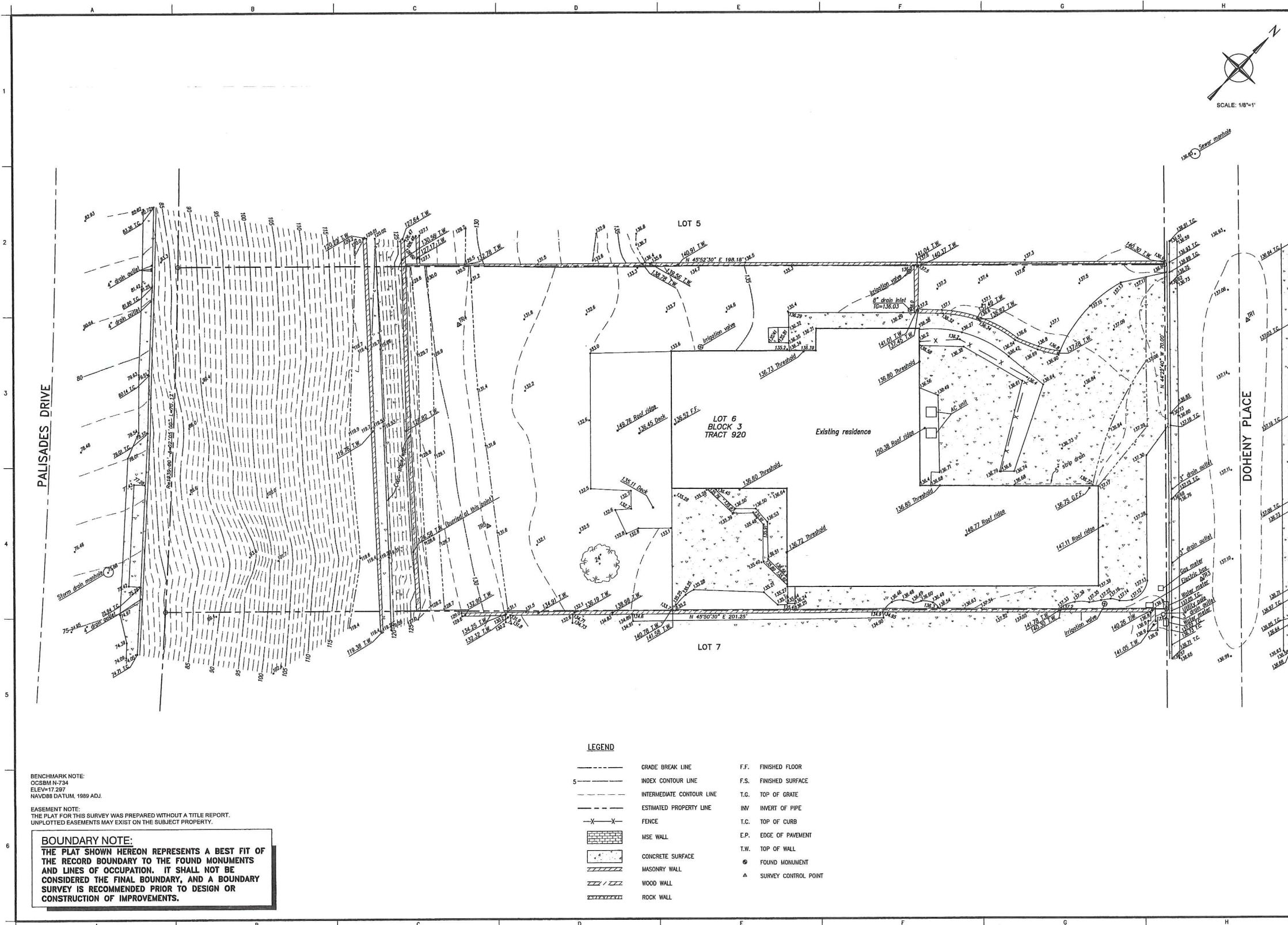
LICENSE STAMP:



SHEET TITLE:

TP-01

SHEET NUMBER:



BENCHMARK NOTE:
OCSBM N-734
ELEV=17.287
NAVD88 DATUM, 1989 ADJ.

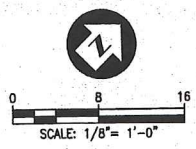
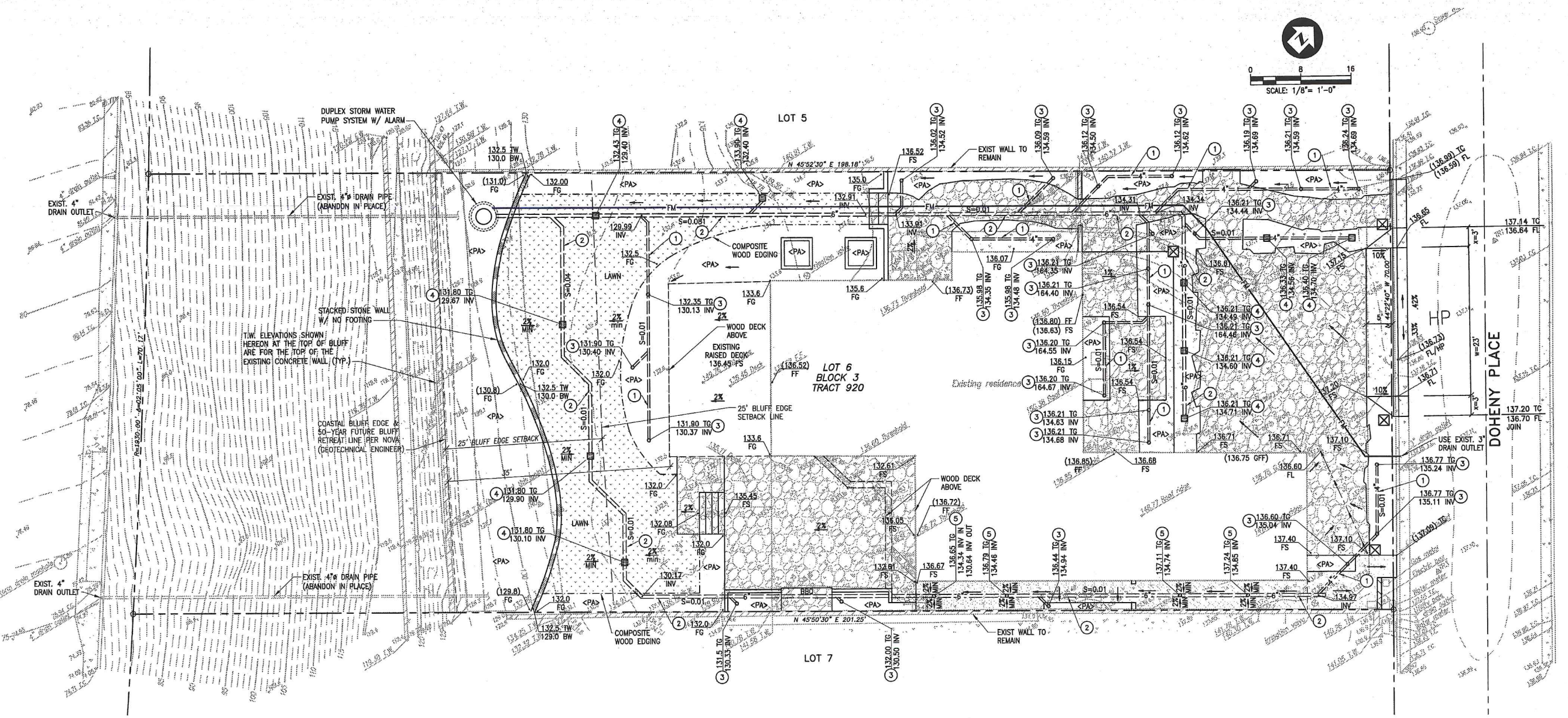
EASEMENT NOTE:
THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT.
UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

BOUNDARY NOTE:
THE PLAT SHOWN HEREON REPRESENTS A BEST FIT OF
THE RECORD BOUNDARY TO THE FOUND MONUMENTS
AND LINES OF OCCUPATION. IT SHALL NOT BE
CONSIDERED THE FINAL BOUNDARY, AND A BOUNDARY
SURVEY IS RECOMMENDED PRIOR TO DESIGN OR
CONSTRUCTION OF IMPROVEMENTS.

DEC 07 2020

PALISADES DRIVE

DOHENY PLACE



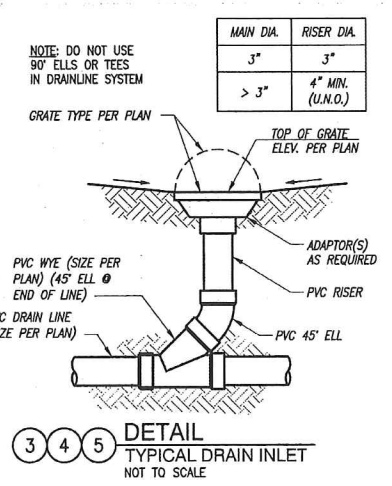
LEGEND

	EXISTING CONTOUR		GRADING LIMITS
	PROPOSED CONTOUR		PROPERTY LINE
	SPOT ELEVATION		FENCE (PER LANDSCAPE PLAN)
	EXIST. ELEVATION		BOTTOM OF WALL
	PROPOSED CONCRETE PAVING		FINISHED FLOOR
	PROPOSED FLAGSTONE PAVING		PROPOSED FINISHED SURFACE
	PROPOSED SYNTHETIC TURF		FLOW LINE
	PROPOSED STORM DRAIN		PROPOSED FINISHED GROUND
	PROPOSED SUBDRAIN		HIGH POINT
	SUBDRAIN OUTLET PIPE		INVERT OF PIPE
	EXISTING RETAINING WALL		SYNTHETIC TURF (SEE LANDSCAPE PLAN)
	PROPOSED SCREEN WALL		MINIMUM
	PROPOSED RETAINING WALL		MAXIMUM
			PLANTER AREA (SEE LANDSCAPE PLAN)
			PROPERTY LINE
			TOP OF CURB
			TOP OF FOOTING
			TOP OF GRADE
			TOP OF WALL
			SUBDRAIN
			TYPICAL

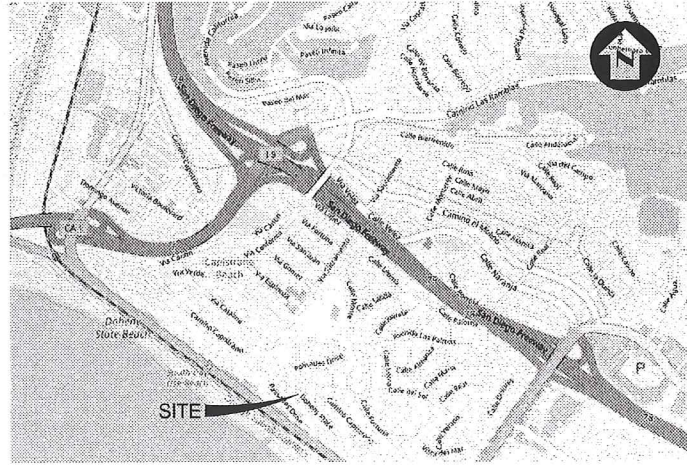
CONSTRUCTION NOTES AND QUANTITY ESTIMATE

- ① - INSTALL 4" DIA SCHEDULE 40 PVC PIPE DRAIN SYSTEM. 303 L.F.
- ② - INSTALL 6" DIA SCHEDULE 40 PVC PIPE DRAIN SYSTEM. 319 L.F.
- ③ - INSTALL 6" ATRIUM DRAIN NDS TYPE 90 W/ RISER & ADAPTOR OR EQUAL SEE DETAIL HEREON. 28 EA.
- ④ - INSTALL 12" ATRIUM DRAIN NDS TYPE 1280 W/ RISER & ADAPTOR OR EQUAL SEE DETAIL HEREON. 11 EA.
- ⑤ - INSTALL 4" DECK DRAIN NDS TYPE 40 W/ RISER & ADAPTOR OR EQUAL SEE DETAIL HEREON. 4 EA.

EARTHWORK	CUT	FILL
EXCAVATION	20 CY	30 CY
EMBANKMENT		30 CY
IMPORT	10 CY	
TOTAL	30 CY	30 CY



③ ④ ⑤ **DETAIL**
TYPICAL DRAIN INLET
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

811 DIAL TOLL FREE 8 1 1
Know what's below. Call before you dig.
AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA
DATE REVISED: 7-1-06



NOTE TO CONTRACTOR:
CIVIL ENGINEER OF RECORD APPROVAL REQUIRED PRIOR TO BACKFILL OF ALL DRAIN PIPES, CONTACT CIVIL ENGINEER TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF DRAIN SYSTEM.

DEC 07 2020

REVISION	DESCRIPTION	APPROVED	DATE	SCALE: 1/8"=1'	DESIGNED: M.F.B.	DRAWN: WC	CHECKED: C.R.	PLANS PREPARED BY: TOAL ENGINEERING, INC.	BENCHMARK: O.C.S.B.M.: 3P-31-86 DATUM: NAVD 88 ELEVATION: 193.947 FT. ADJUSTED: 2004	APPROVED BY THE CITY OF DANA POINT: PLANNING DEPARTMENT	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES	CITY OF DANA POINT	C1
				DATE: 10/22/20							MATTHEW V. SINACORI, CITY ENGINEER	DRAINAGE PLAN	PLAN CHECK NO.
				PROJECT NO.: 19182	ENGINEER OF WORK						RCE #59239 EXP. 06/30/21	LUKE RESIDENCE	1 OF 2 SHEETS
											THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.	34782 DOHENY PLACE	
												LOT 6, BLOCK 3, TRACT 920	

COASTAL NATIVE PLANT MATERIAL REAR YARD (Coastal Bluff facing)

SHRUBS

(A)	Arctostaphylos Edmondii	(Little Sur Manzanita)	1 Gal.	(1' to 2' Tall)
(B)	Baccharis Pilularis 'Twin Peaks #2'	(Coyote Bush)	1 Gal.	(1' to 2' Tall)
(C)	Conocarpus Californica	(California Conepops)	1 Gal.	(2' Tall)
(D)	Dudleya Lanceolata	(Lance-leaved Dudleya)	1 Gal.	(1' Tall)
(E)	Ribes Speciosum	(Fuchsia Flowering Gooseberry)	1 Gal.	(4' to 6' Tall)
(F)	Solanum Xanthi	(Purple Nighthade)	1 Gal.	(2' Tall)

GROUND COVER

(G)	Heliotropium Curassavicum	(Salt Halimolope)	4" Pot	Ground Cover
(H)	Nassella (Slips) Lepida	(Football Needle Grass)	1 Gal.	(1' to 2' Tall)
(I)	Silybium Bellum	(Blue-eyed Grass)	Flats	(1' Tall)

NOTE: These plants are native drought-tolerant and are on the approved OOFA Fuel Mod. Plant List

CONSTRUCTION LEGEND

- EXISTING SITE ITEMS (E)**
- A Existing Property Line
 - B Existing Curb and Gutter - To be Replaced (per Precise Grading Plan)
 - C Existing Dry Utilities - To Remain
 - D Existing 1" Water Meter - To Remain
 - E Existing A/C Units - To Remain
 - F Existing Masonry Property Line Walls - To Remain
 - G Existing Rear Yard Low Masonry Walls at top of bluff edge - To Remain
 - H Existing Concrete Drainage Channel at top of bluff edge - To Remain
 - I Existing Rear Yard Trees - To Remain
 - J Existing Shrub planting at top of bluff edge - To Remain
- NEW CONSTRUCTION ITEMS (N)**
- 1 New Concrete Driveway Approach - (per Precise Grading Plan)
 - 2 New Random Stone Paving (grouted) at Driveway
 - 3 New Random Stone Steps (grouted)
 - 4 New Random Stone Paving with Gravel / Ground Cover between
 - 5 New Horizontal Wood Fence (6' High)
 - 6 New Synthetic Wood Steps
 - 7 New Synthetic Wood Decking
 - 8 New sand-finish Concrete Paving
 - 9 New smooth stucco-finish Masonry Planter Walls (+15" High)
 - 10 New smooth stucco-finish Masonry Pilasters (see Plan for heights)
 - 11 New Glass Wind Screen / Railing Panels (42" High) - (Optional)
 - 12 New Decorative Wood Entry Gate (6'-0" High)
 - 13 New Wood Side Yard Security Gates (6'-0" High)
 - 14 New Wood Gate (48" High) at Trash Can Storage Area
 - 15 New Wood Bench
 - 16 New Sliding Wood Storage Access Door (8' Long)
 - 17 New low "raised" Vegetable Planter Box (+24" High)
 - 18 New Tree Planter Boxes (30" High)
 - 19 New Synthetic Lawn Area with Composite Wood Edging
 - 20 New Duplex Storm Water Pump System w/ alarm (See Engineer's Drainage Plan)
 - 21 New built-in smooth stucco-finish Masonry Gas BBQ
 - 22 New Stacked Stone Wall w/ no footing
 - 23 New Built-in low smooth stucco-finish Masonry Water Feature - (Optional)
 - 24 New Courtyard Seating Area
 - 25 New Trash Can Storage Area

LOT AREAS / PERCENTAGES

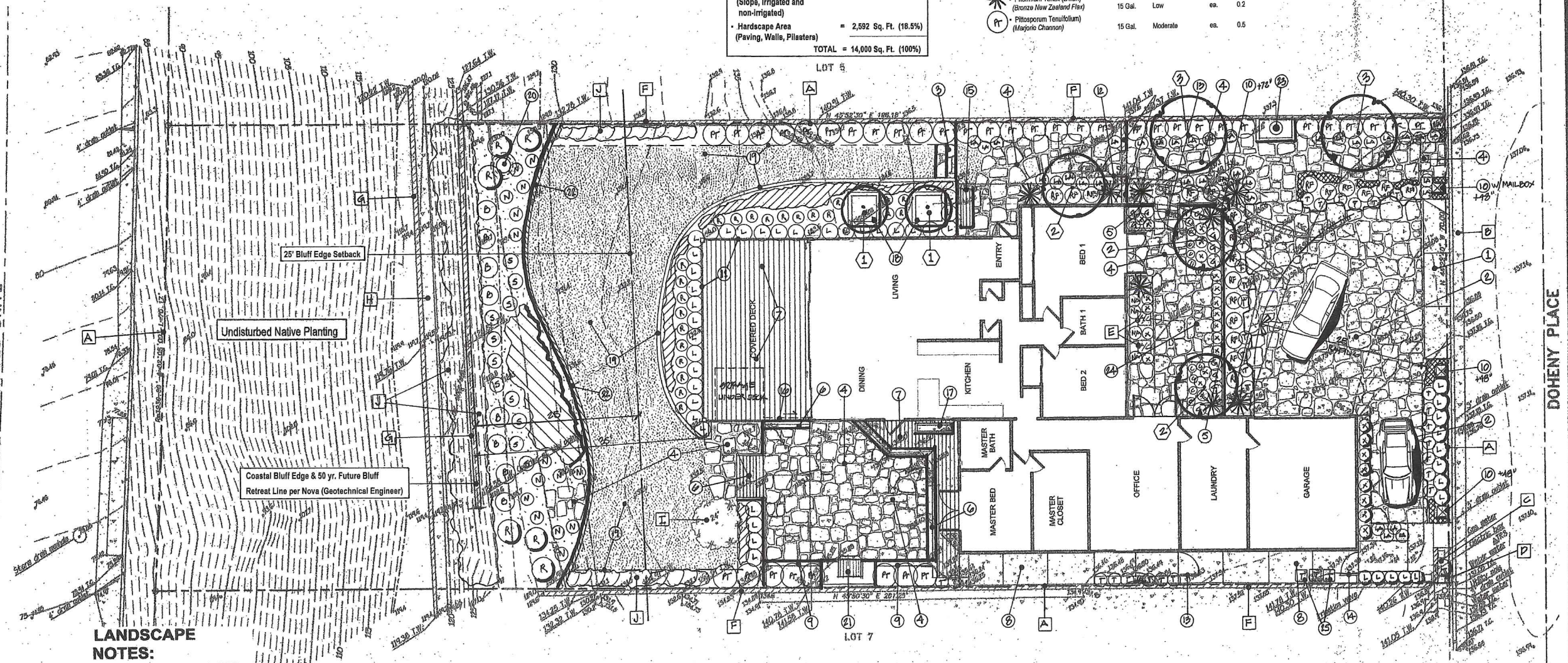
Total Lot Area	= 14,000 Sq. Ft. (100%)
(70' x 200')	= .32 Acres
Building Area (Includes: Garage and proposed Deck)	= 2,924 Sq. Ft. (20.9%)
Landscape (Softscape) Area (Slope, Irrigated and non-irrigated)	= 8,484 Sq. Ft. (60.6%)
Hardscape Area (Paving, Walls, Pilasters)	= 2,592 Sq. Ft. (18.5%)
TOTAL	= 14,000 Sq. Ft. (100%)

PLANT MATERIAL

Botanical Name / Common Name	Size	Rating	Qty.	Plant Factor
TREES				
1 Citrus Species (Dwarf Orange, Lemon)	24" Box	Moderate	2 ea.	0.5
2 Magnolia Grandiflora - 'Little Gem' (Dwarf Southern Magnolia)	24" Box	Moderate	2 ea.	0.5
3 Olea Europaea (Field Grown Olive)	FG	Low	3 ea.	0.2
SHRUBS				
4 Cupressus Hissopifolia (Frisco Heather)	1 Gal.	Moderate	ea.	0.5
5 Gardenia Jasminoides (Klein's Hardy)	5 Gal.	Moderate	ea.	0.5
6 Lantana Montevidenis (Trailing Lantana)	1 Gal.	Low	ea.	0.2
7 Lavandula Angustifolia (English Lavender)	1 Gal.	Low	ea.	0.2
8 Ligustrum Texanum (Privet)	15 Gal.	Moderate	ea.	0.5
9 Nandina 'Nana' (Dwarf Nandina)	1 Gal.	Moderate	ea.	0.5
10 Nassella Tenusisina (Mexican Feather Grass)	1 Gal.	Low	ea.	0.2
11 Philodendron Xanadu (Dwarf Philodendron)	5 Gal.	Moderate	ea.	0.5
12 Phormium Tenax (Dwarf) (Bronze New Zealand Flax)	15 Gal.	Low	ea.	0.2
13 Pittosporum Tenuifolium (Majorie Channon)	15 Gal.	Moderate	ea.	0.5
WUCOLS WATER USE RATING - REGION 3				
R Rosa 'Floral Carpet' (Carpet Rose)	5 Gal.	Moderate	ea.	0.5
Rp Rosa Floribunda (White Ice Berg Rose)	5 Gal.	Moderate	ea.	0.5
T Trachelospermum Jasminoides (Star Jasmine)	1 Gal.	Moderate	ea.	0.5
VINES				
J Jasminum Polyanthum (Pink Jasmine)	5 Gal.	Moderate	ea.	0.5
GROUND COVER				
4 Felicia Glauca - Elijah Blue (Blue Fescue)	1 Gal.	Moderate	ea.	0.5
5 Polargonium Peltatum (Ivy Geranium)	4" Pots	Moderate	ea.	0.5
6 Thymus Pseudolanuginosus (Woolly Thyme)	Flats @ 12" oc	Moderate	ea.	0.5

PLANTING NOTES

- 1 All Non-Irrigated Planter areas are to receive a 3" thick layer of 3/8" minus crushed Aggregate California Gold Rock Mulch over black Geo-mat. (optional) Crushed Aggregate available thru SWB, (Southwest Boulder & Stone) www.southwestboulder.com or approved equal.
- 2 All remaining Shrub planting areas are to receive a 3" min. thick layer of organic mulch - Forest Floor by Aguanaga or approved equal.



LANDSCAPE NOTES:

- 1 ALL EXISTING IRRIGATION WITHIN THE APPROVED SETBACK FROM EDGE OF COASTAL BLUFF TO BE REMOVED
- 2 NO NEW IRRIGATION ALLOWED WITHIN THE APPROVED SETBACK FROM EDGE OF COASTAL BLUFF
- 3 ALL LANDSCAPING WITHIN THE AREA OF THE APPROVED SETBACK FROM EDGE OF COASTAL BLUFF SHALL BE OF A VARIETY THAT IS NATIVE TO LOCAL CALIFORNIA & DROUGHT TOLERANT TO THE SATISFACTION OF THE PLANNING DIVISION

LOW IMPACT AND SOURCE CONTROL BMP NOTES:

1. MINIMIZE SOIL COMPACTION I PROPOSED LANDSCAPE AREAS
2. OMIT WEATHER-FLOW DIVERSION BASIN PER PERD 202
3. STENCIL ALL STORM DRAIN CATCH BASIN WITH CITY APPROVED "NO DUMPING" MESSAGES
4. SWEEP DRIVEWAY AND PARKING AREAS A MINIMUM OF ONCE A MONTH
5. LANDSCAPING TO UTILIZE NATIVE, NON-INVASIVE AND/OR LOW WATER SPECIES AS MUCH AS FEASIBLE

IRRIGATION SYSTEM DESIGN

Irrigation System to utilize existing Water Meter point of connection and have new Backflow Device, Mainlines, Valves and Laterals

New Irrigation System design will utilize separate Control Valves as follows:

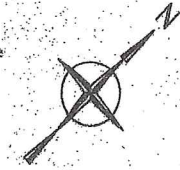
- All new Trees to have a separate Drip / Emittor watering system within the Tree's Dripline.
- All Drip system irrigation control valves are to have the necessary drip filter with cleanouts upstream of valve.

NO IRRIGATION IN THE BLUFF SETBACK AREA

SITE PLAN

ALL DRAINAGE SHALL BE MAINTAINED AND IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE AND THE CITY OF DANA POINT MUNICIPAL CODE.

SCALE: 1/8"=1'



DEC 07 2020



REVISIONS	BY

LANDSCAPE ARCHITECT
JAMES PEKARSKIE
 1219 Gamado
 San Clemente, Ca. 92673
 P/H/Fax: (949) 366-6865 Cal.
 Lic.# 1630 Nev. Lic. #487



LUKE RESIDENCE
 34781 Doheny Place
 Dana Point, CA 92624
 Lot 6, Block 3, Tract 920

PRELIMINARY
 LANDSCAPE
 PLAN FOR CDP

DRAWN JP
CHECKED PL / SL / MM
DATE 10-23-2020
SCALE 1/8" = 1'-0"
JOB NO. 8229-002
DATE 04/27
L-1