

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** MARCH 9, 2020

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
BRENDA WISNESKI, DIRECTOR  
DANNY GIOMETTI, ASSOCIATE PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP20-0001 TO ALLOW ADDITIONS  
TOTALING 859 SQUARE FEET TO AN EXISTING SINGLE-STORY,  
SINGLE-FAMILY DWELLING LOCATED AT 169 MONARCH BAY DRIVE.

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**RECOMMENDATION:** That the Planning Commission adopt the draft Resolution approving Coastal Development Permit CDP20-0001 (Action Document 1).

**APPLICANT(S):** Eyoh Design/Dustin Morris

**OWNER:** James and Vanessa Sampson

**REQUEST:** Approval of coastal development permit to allow additions totaling 859 square feet to an existing single-story, single-family dwelling (SFD).

**LOCATION:** 169 Monarch Bay Drive (APN 670-111-42)

**NOTICE:** Notice of the Public Hearing was mailed via first class mail to property owners within a 500-foot radius and occupants within a 100 foot radius, of the subject site, published within a newspaper of general circulation on February 28, 2020, and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, and the Dana Point Library on February 28, 2020.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15301 of the CEQA Guidelines (Class 1 – Existing Facilities) since the project consists of additions to an existing SFD.

**ISSUES:**

1. Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).
2. Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
3. Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The subject site is located west of the intersection of Crown Valley Parkway and Pacific Coast Highway within the Residential Single Family 4 (RSF 4) Zoning District and within the appeals jurisdiction of the City's Coastal Overlay District. The 10,417 square foot lot borders Monarch Bay Drive along the front yard and similar single-family development along the side and rear property lines. Existing site improvements include a 2,638 square-foot, single-family dwelling (SFD) with an attached 535 square foot garage, a pool and spa, hardscape and landscaping (Supporting Document 2 – Project Vicinity Map and Site Photos).

Since the scope of work exceeds the limitations identified in Section 9.69.040(b)(2) (Exemptions) of the DPZC for properties located in the CCC Appeal Jurisdiction, a major CDP is required to implement the proposed project.

**DISCUSSION:** The project would result in an increase in square footage of more than ten (10) percent, which necessitates a CDP. Additions totaling 859 square feet are proposed to the entry, kitchen & living areas, and the garage as well as a new bedroom, and two additional bathrooms. The 859 square feet of additions to the existing 2,607 square foot SFD, results in an updated gross floor area of 3,647 square feet. A portion of the existing garage will be converted into conditioned space (laundry and pantry), and the garage addition is necessary to maintain the two (2) required parking stalls for SFDs (20-feet by 20-feet of unobstructed vehicular clearance – Supporting Document 3). All additions to the single-story home are under the City's height limit, and meet the prescribed development standards. Table 1 below demonstrates the proposed projects compliance with the required RSF 4 development standards.

**Table 1: Compliance with RSF 4 and General Development Standards**

Development Standard	Requirement	Proposed	Compliant with Standard
Maximum Lot Coverage	40%	39.95%	Yes
Maximum Building Height	<ul style="list-style-type: none"> <li>• 24 feet – &lt; 3:12 roof</li> <li>• 26 feet – 3:12 or greater, but &lt; 6:12</li> </ul>	14'-2"	Yes
Minimum Front Yard Setback	20 feet	20 feet	Yes
Minimum Side Yard Setbacks:	5 feet	5 feet	Yes
Minimum Rear Yard Setback	25'-0"	26'-0.5"	Yes
Minimum Landscape Coverage	25%	25.41%	Yes
Parking Required	2 stalls in a garage	2 stalls in a garage	Yes

The exterior of the home will be finished with smooth, white plaster, walls and a limestone veneer entry, a slate-gray standing seam metal roof over the pitched portions, and a grey gravel roof over flat portions. Openings include matte black metal trim windows and skylights and a modern black aluminum and glass garage door. All existing and new site walls are proposed to be finished in smooth white plaster to match the exterior of the updated SFD, and include a wood entry gate. New drought tolerant landscaping and natural concrete flatwork will surround the exterior of the home. The aforementioned improvements blend together to update the look of the existing SFD, to a style, as viewed from the street, commensurate with modern architecture (Supporting Documents 4 and 5 – Materials and Rendering). The current design has been reviewed and approved by the Monarch Bay Architectural Review Committee.

Pursuant to Section 9.69.070 “Basis for Action on Coastal Development Permit Applications” of the DPZC, every Coastal Development Permit requires the following findings:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code; and,
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act; and,
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment; and,
4. That the proposed development be sited and designed to prevent adverse

- impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources; and,
5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards; and,
  6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas; and
  7. That the proposed development conforms to the General Plan, Local Coastal Program and Zoning Code.

Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting the above-mentioned findings are detailed in the attached draft Planning Commission Resolution (Action Document 1).

**CORRESPONDENCE:**

To date, the City has received no correspondence related to the subject application.

**CONCLUSION:**

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. Since justifications can be made supporting the requested discretionary actions, staff recommends the Planning Commission adopt the attached draft Resolution, approving CDP20-0001 subject to the findings and conditions of approval contained therein.

  
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Danny Giometti  
Associate Planner

  
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Brenda Wisneski, Director  
Community Development Department

**ACTION DOCUMENT:**

1. Draft Planning Commission Resolution No. 20-03-09-XX

**SUPPORTING DOCUMENTS**

2. Project Vicinity Map and Site Photos
3. Architectural Plans
4. Materials Board
5. Rendering



**Action Document 1:           Draft Planning Commission Resolution No. 20-03-09-XX**

**RESOLUTION NO. 20-03-09-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF  
DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT  
PERMIT CDP20-0001 TO ALLOW ADDITIONS TOTALING 859 SQUARE  
FEET TO AN EXISTING SINGLE-STORY, SINGLE-FAMILY DWELLING  
LOCATED AT 169 MONARCH BAY DRIVE**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, James and Vanessa Sampson (the "Owner"), owns the real property commonly referred to as 169 Monarch Bay Drive (APN 670-111-42) (the "Property"); and

WHEREAS, the Owner authorized Eyoh Design/Dustin Morris (the "Applicant") and the Applicant caused to be filed a verified application for a Coastal Development Permit to allow additions totaling 859 square feet to an existing single-story, single-family dwelling located at 169 Monarch Bay Drive.; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15301 of the CEQA Guidelines (Class 1 – Existing Facilities) because the project consists of additions to an existing single-family dwelling; and

WHEREAS, the Planning Commission did, on the 9<sup>th</sup> day of March, 2020, held a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said Planning Commission review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0001.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP20-0001, subject to conditions:
  1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code **in that**

the site and architectural design of the proposed improvements comply with the polices of the Dana Point General Plan, specifically furthering General Plan Urban Design Element Goal Number 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by enlarging and updating an existing single-family dwelling (SFD) that is similar to other SFD’s in the Monarch Bay community. Additionally, the proposed additions comply with the requisite Residential Single Family 4 (RSF 4) development standards and provide the necessary parking required for the site and use as prescribed in Chapter 9.75 of the Zoning Code, and consequently, the proposed development conforms to those elements comprising the City’s Local Coastal Program applicable to the subject site.

2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that the proposed development does not alter existing public access or recreation areas in the vicinity as there are none on or adjacent to the property. Moreover, adequate access to public beaches and areas of recreation exist nearby at County and State beaches and accordingly, the site is in conformance with all policies of Chapter Three (3) of the California Coastal Act.**
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that the project is qualified as Categorical Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facilities) because the project consists of additions to an existing single-story, SFD on a residential lot.**
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject lot is a previously developed parcel zoned for single-family residential development. Additionally, the subject site is surrounded by similar SFD development, and is not located adjacent to parks or recreation areas containing environmentally sensitive habitats and scenic resources, and consequently implementation of the project will not impact such habitats/resources and buffer areas are not necessary.**

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5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is a previously improved property located within the established residentially developed community of Monarch Bay. The project proposes additions to a previously constructed SFD and will be in conformance with applicable regulations for geological and erosional forces, flood, and fire thereby minimizing undue risks from these or other hazards.**
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed additions and exterior improvements include finish materials and architecture resulting in a design that is complementary to surrounding development in terms of mass, size and scale, in an area containing an eclectic mix of architectural styles, and where no visually degraded areas exist.**
7. That the proposed development conforms to the General Plan, Zoning Code applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs **in that the proposed project has been reviewed by Planning and Building/Safety Division staffs as well as the Public Works & Engineering Services, and conforms with the City's regulations regarding development of SFDs in the RSF 4 Zoning District of the Dana Point Zoning Code, the Residential 3.5-7 DU/AC designation in the Land Use Element of the City's General Plan, and the requirements of the City's Coastal Overlay District.**

Conditions:

**A. General:**

1. Approval of this application allows additions totaling 859 square feet to an existing single-story, single-family dwelling located at 169 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable

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grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.

3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

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6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
9. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
10. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
11. A grading permit shall be obtained prior to any work including demolition activities.
12. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
13. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
14. Separate review, approval, and permits are required for:
  - Fire Sprinklers
  - Site walls over 3'
  - Retaining Walls

**B. Prior to the issuance of a grading permit the applicant shall meet the following conditions:**

15. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

16. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code and with the *Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC*, as may be applicable.

The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

17. A performance bond shall be required for all grading activities up to 100% of the proposed improvements. A separate performance bond may be required for shoring activities to ensure completion of grading activities and protection of adjoining improvements.

**C. Prior to Building Plan Check Submittal:**

18. Building(s) shall comply with the 2019 editions of the Building Code with all local amendments.

19. This resolution shall be copied in its entirety, placed directly onto a

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separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.

20. Building plan check submittal shall include the following construction documents:

- Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
- Energy Calculations (2 sets)
- Structural Calculations (2 sets)
- Soils/Geology Report (3 sets)

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

21. Fire Department review may be required. Submit plans directly to the Orange County Fire Authority for their review.

**D. Prior to the Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:**

22. Approvals are required from:

- Planning Division
- Public Works & Engineering Services
- Obtain Orange County Fire Authority Approval
- Obtain "Will Serve" letter from Water District.
- Provide an SDG&E service work order for proposed service location

23. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.

24. Prior to commencement of framing, the applicant shall verify, by survey, that each structure will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of this entitlement. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.

25. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved

grading plans and reports.

26. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
27. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.

**E. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:**

28. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
29. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
30. Verification of all conditions of approval is required by all City Departments.
31. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to final project sign-off by the Building Division. The final inspection shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.



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32. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
33. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.

DRAFT

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 9<sup>th</sup> day of March 2020, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Mary Opel, Chairwoman  
Planning Commission

ATTEST:

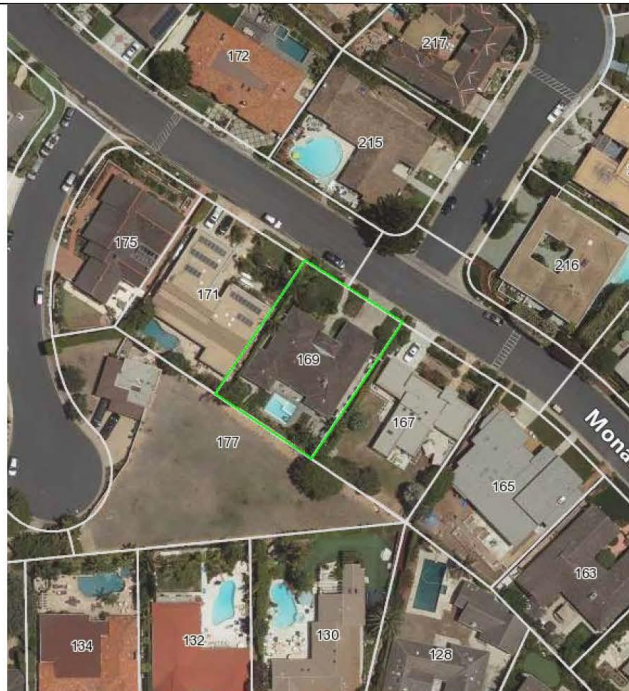
\_\_\_\_\_  
Brenda Wisneski, Director  
Community Development Department

Supporting Document 2: Project Vicinity Map and Site Photos



City of Dana Point  
**CDP20-0001**  
**Danny Giometti, Associate Planner**  
Community Development Department  
33282 Golden Lantern (Danny Giometti, Associate Planner)  
Dana Point, CA 92629-1805

**VICINITY MAP**



**Project:** CDP20-0001(M)  
**Applicant:** Eyoh Design/ Dustin Morris  
**Location:** 169 Monarch Bay Drive









**Supporting Document 3:** Architectural Plans

ATTACHMENT



# SAMPSON RESIDENCE



REVISIONS:

PLANS PREPARED BY:

D.MORRIS DATE

1050 CALLE  
CORDILLERA  
SAN CLEMENTE  
CALIFORNIA 92673  
(949) 218-4110

**SAMPSON REMODEL**  
169 MONARCH BAY DRIVE  
DANA POINT, CA



SAMPSON RESIDENCE  
169 MONARCH BAY DRIVE  
DANA POINT, CA 92629

PROJECT NAME:  
SAMPSON REMODEL  
SCALE:  
1/4" = 1'-0"  
DATE:  
03.03.2020

**G1**

## SHEET INDEX

- G1 TITLE SHEET
- G2 TOPOGRAPHIC SURVEY
- G3 GENERAL NOTES
- G4 SITE PLAN
- G5 DEMO PLAN
- A1 FIRST FLOOR PLAN
- A2 ROOF PLAN
- A3 ELEVATIONS
- A4 ELEVATIONS
- A5 ELEVATIONS
- A6 ELEVATIONS
- A7 SECTIONS
- L1 PRELIMINARY LANDSCAPE PLAN

## SCOPE OF WORK

594 S.F. REMODEL AND 859 S.F. ADDITION TO EXISTING SINGLE STORY SINGLE FAMILY RESIDENCE. NEW WINDOWS AND DOORS THROUGHOUT. REPLACE ROOF WITH NEW METAL ROOF. NEW FRONT ENTRY STEPS AND LANDSCAPING IN FRONT YARD.

## CODE DATA

CALIFORNIA RESIDENTIAL CODE, 2019 EDITION  
CALIFORNIA BUILDING CODE, 2019 EDITION  
CALIFORNIA PLUMBING CODE, 2019 EDITION  
CALIFORNIA ELECTRICAL CODE, 2019 EDITION  
CALIFORNIA MECHANICAL CODE, 2019 EDITION  
CALIFORNIA FIRE CODE, 2019 EDITION  
CALIFORNIA ENERGY CODE, 2019 EDITION  
CALIFORNIA FIRE CODE, 2019 EDITION  
CITY OF SAN CLEMENTE'S 2019 CALIFORNIA CAL GREEN CODE  
CITY OF SAN CLEMENTE'S 2019 CALIFORNIA CAL GREEN CODE  
TITLE 24, STATE OF CALIFORNIA ADMINISTRATIVE CODE  
ALL OTHER APPLICABLE LOCAL, STATE AND / OR NATIONAL CODES  
OCCUPANCY: RES1 U  
CONSTRUCTION: VB,

CALGREEN COMPLIANT PLUMBING FIXTURES:  
TOILET - MANUFACTURED TO USE LESS THAN 1.28 GALLON OF WATER PER FLUSH  
SINGLE SHOWER-HEAD - MANUFACTURED TO HAVE A FLOW CAPACITY OF LESS THAN 2.0 GALLONS OF WATER PER MINUTE AT 80 PSI  
INTERIOR FAUCETS - MANUFACTURED TO EMIT LESS THAN 1.2 GALLONS OF WATER PER MINUTE AT 80 PSI

## PROJECT DIRECTORY

### OWNER

JAMES AND VANESSA SAMPSON  
169 MONARCH BAY DRIVE  
DANA POINT, CA, 92629

### LOT DESCRIPTION

APN: 670-111-42  
ZONE: RSF-4  
LOT: 120  
TRACT: 3748

### DESIGNER

DUSTIN MORRIS  
EYOH DESIGN  
1050 CALLE CORDILLERA SUITE 102  
SAN CLEMENTE, CA 92673  
PH: 949.245.8960  
EMAIL: dustin@eyohdesign.com

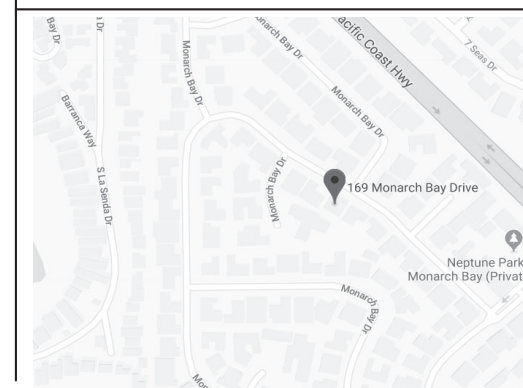
### STRUCTURAL ENGINEER:

COASTLINE ENGINEERING, INC.  
HANNAH ROGERS  
5927 BALFOUR COURT, STE. 108  
CARLSBAD, CA, 92008  
(760) 436-1344

### TITLE 24:

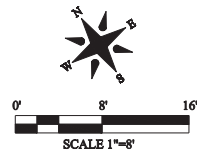
BEAR TECHNOLOGIES CONSULTING, INC.  
WAYNE AND SEENA SEAWARD  
3431 DON ARTURO DR.  
CARLSBAD, CA, 92010  
760.636.2327  
wayne@beartechconsulting.com

## VICINITY MAP



## SITE ANALYSIS

LOT AREA	10,417 SQFT
(N) BUILDING FOOTPRINT INCLUDING GARAGE	4,127 SQFT
(E) LOT COVERAGE	3,153 SQFT (30.27%)
PROPOSED LOT COVERAGE	4,127 (39.62%)
PROPOSED LANDSCAPE COVERAGE	2,647 (25.41%)
BUILDING AREA:	
<b>LIVING SPACE</b>	
EXISTING RESIDENCE:	2,607 SQFT
DEMO OF (E) RESIDENCE:	-7 SQFT
ADDITION TO RESIDENCE:	+859 SQFT
AREA OF REMODEL OF RESIDENCE:	594 SQFT
AREA OF EXISTING GARAGE TO BE CONVERTED TO LIVING SPACE:	+188 SQFT
<b>TOTAL RESIDENCE AREA</b>	<b>3,647 SQFT</b>
<b>GARAGE</b>	
EXISTING GARAGE:	546 SQFT
ADDITION TO GARAGE:	+122 SQFT
AREA OF EXISTING GARAGE TO BE CONVERTED TO LIVING SPACE:	-188 SQFT
<b>TOTAL GARAGE AREA:</b>	<b>480 SQFT</b>
<b>NEW COURTYARD:</b>	<b>176 SQFT</b>
BUILDING SET BACKS:	
FRONT YARD (20'-0" PERMITTED)	20' - 0"
LEFT SIDE YARD (5'-0" PERMITTED)	12' - 8-1/2"
RIGHT SIDE YARD (5'-0" PERMITTED)	5' - 0"
REAR YARD (25'-0" PERMITTED)	26' - 0-1/2"
BUILDING HEIGHT	14.21'
MAX BLDG. HT. PERMITTED	28.00'



NOTE: RECORD EASEMENTS ARE NOT PLOTTED IF ANY.

LEGEND	
(123.45)	MEAS. ELEVATIONS
( )	REC. BRG. & DIST.
—	DECK
#	BRICK
—	WALL
—	BUILDING
—	PROPERTY LINE
X	FENCE
⊙	BENCH MARK
N.G.	NATURAL GRADE
P.P.	POWER POLE
WM	WATER METER
F.F.	FINISH FLOOR
G.F.	GARAGE FLOOR
CONC.	CONCRETE
F.S.	FINISH SURFACE
M.H.	MAN-HOLE
P	PLANTER
A.C.	ASPHALT
T.G.	TOP-GRADE

ADDRESS OF PROJECT:

**169 MONARCH BAY  
DANA POINT, CA**

BENCH MARK:  
BENCH MARK #3P-35-04  
NAVD88 DATUM  
ELEVATION = 157.96

NAIL ELEVATION = 151.70

LEGAL DESCRIPTION:  
LOT 120 OF TRACT MAP NO. 3748

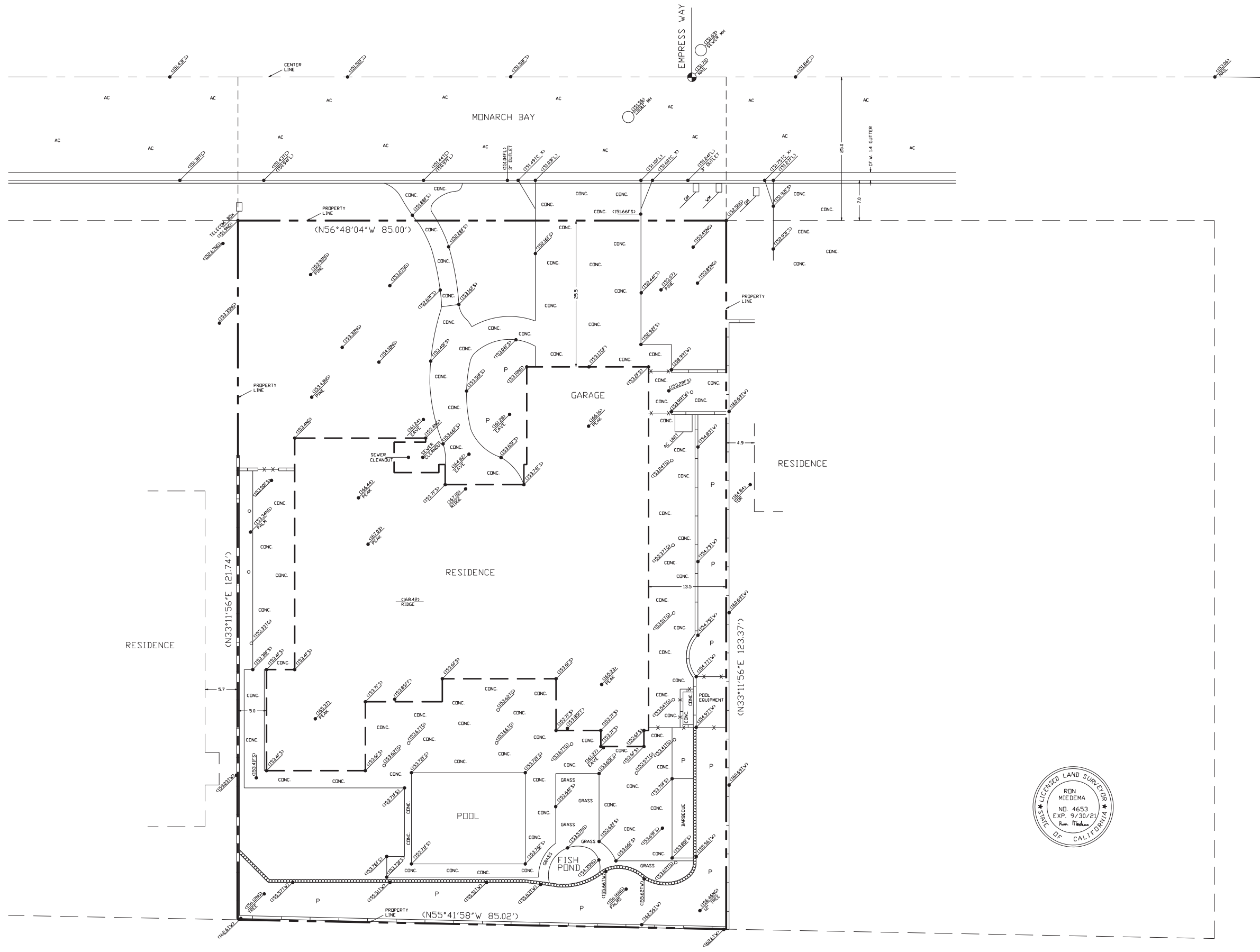
OWNER:  
JAMES AND VANESSA SAMPSON

TOPOGRAPHIC SURVEY

JOB: 74-34      DATE: 9/12/19

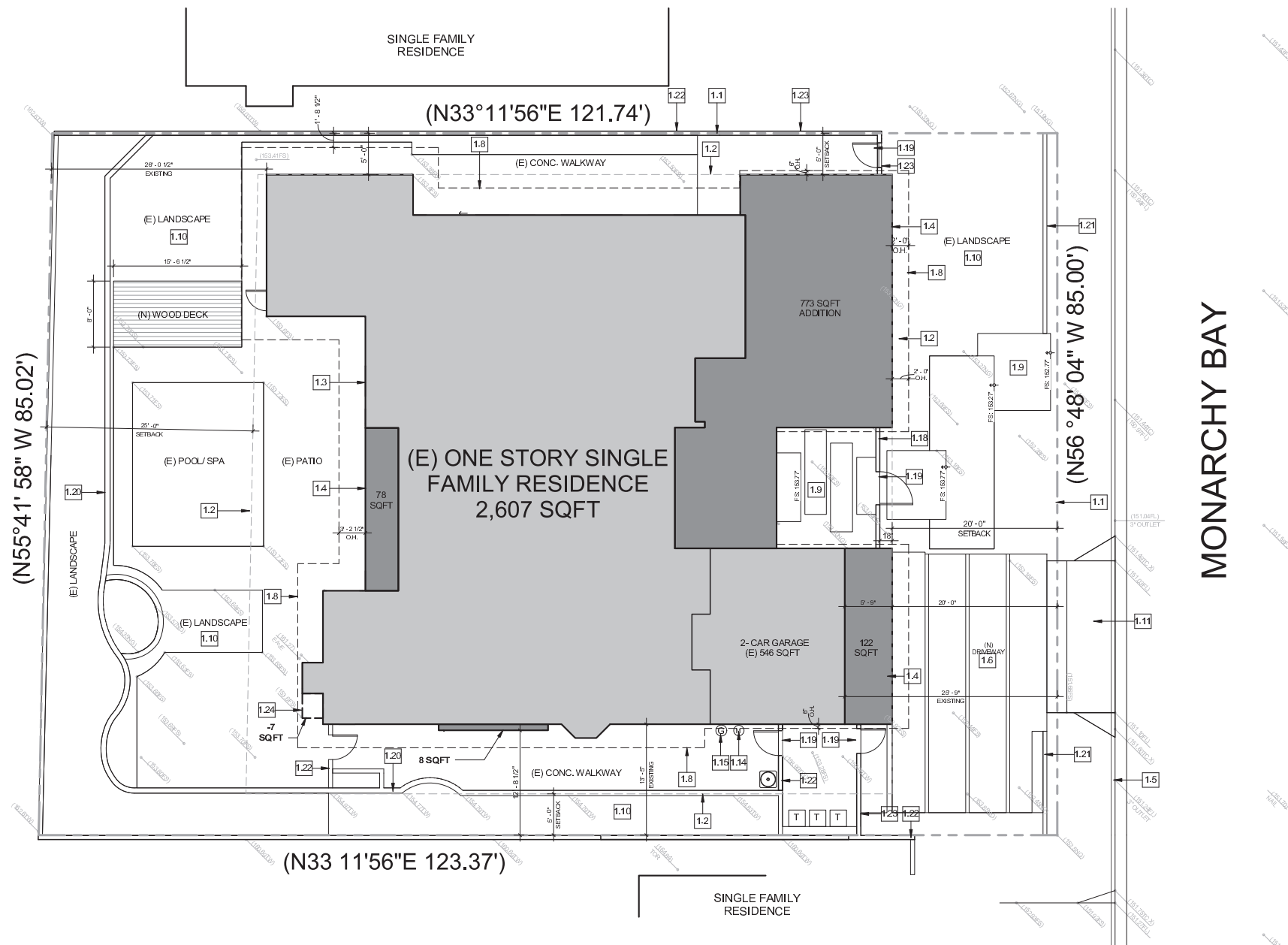
**RdM SURVEYING INC.**

RdM MIEDEMA L.S. 4653  
23016 LAKE FOREST DR. #409  
LAGUNA HILLS, CA 92653  
(949) 858-2924      OFFICE  
(949) 858-3438      FAX  
RDMSURVEYING@CDX.NET









**SITE PLAN NOTES**

- 1.1 PROPERTY LINE
- 1.2 SETBACK LINE
- 1.3 LINE OF EXISTING BUILDING FOOTPRINT
- 1.4 AREA OF NEW BUILDING ADDITION
- 1.5 EXISTING CURB AND GUTTER TO REMAIN
- 1.6 NEW CONCRETE DRIVEWAY
- 1.8 LINE OF ROOF OVERHANG
- 1.9 NEW CONCRETE PAVERS
- 1.10 EXISTING LANDSCAPE AREA
- 1.11 EXISTING DRIVEWAY APRON
- 1.14 EXISTING ELECTRICAL PANEL
- 1.15 EXISTING GAS METER LOCATION
- 1.18 NEW 5'-6" WALL W/ LIMESTONE FINISH
- 1.19 NEW WOOD GATE
- 1.20 EXISTING RAISED PLANTER TO REMAIN
- 1.21 NEW LANDSCAPE WALL W/ STUCCO FINISH 3'-6" MAX ABOVE F.S.
- 1.22 EXISTING SITE WALL
- 1.23 NEW 6'-0" WALL w/ NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE
- 1.24 EXISTING AREA TO BE DEMOLISHED

**REVISIONS:**

NO.	DATE	DESCRIPTION

PLANS PREPARED BY:

D.MORRIS DATE

1050 CALLE CORDILLERA  
SAN CLEMENTE  
CALIFORNIA 92673  
(949) 218-4110

**SAMPSON REMODEL**  
169 MONARCH BAY DRIVE  
DANA POINT, CA



SAMPSON RESIDENCE  
169 MONARCH BAY DRIVE  
DANA POINT, CA 92629

PROJECT NAME:  
SAMPSON REMODEL  
SCALE:  
As indicated  
DATE:  
03.03.2020

**G4**

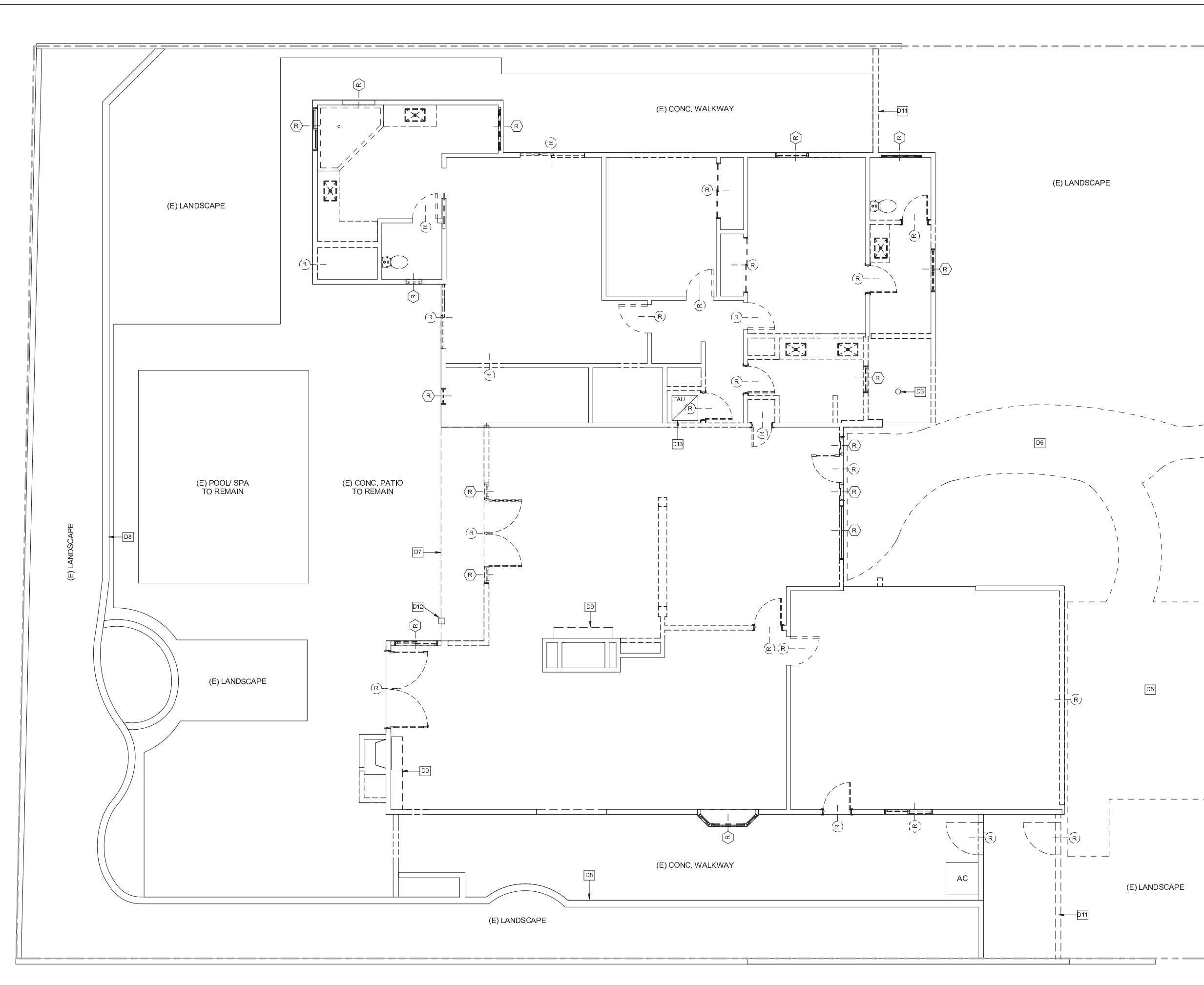
**SITE LEGEND**

- EXISTING BUILDING FOOTPRINT
- AREA OF NEW ADDITION
- AREA TO BE DEMOLISHED

NOTE:  
THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAINAGE SYSTEM.

SITE PLAN





DEMO NOTES		REVISIONS:
D3	EXISTING SEWER CLEANOUT TO BE RELOCATED	
D5	EXISTING DRIVEWAY TO BE REMOVED	
D6	EXISTING CONCRETE WALKWAY TO BE REMOVED	
D7	PORTION OF EXISTING CONCRETE PATIO TO BE REMOVED	
D8	EXISTING RAISED PLANTERS TO REMAIN	
D9	REMOVE EXISTING MANTLE AND HEARTH	
D11	REMOVE EXISTING SITE WALL	
D12	EXISTING WOOD POST TO REMAIN	
D13	FAU TO BE RELOCATED TO CEILING	

PLANS PREPARED BY:  
 D.MORRIS DATE

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 SAN CLEMENTE  
 CALIFORNIA 92673  
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**SAMPSON REMODEL**  
 169 MONARCHBAY DRIVE  
 DANA POINT, CA



DEMO LEGEND	
	EXISTING WALL TO DEMOLISHED
	EXISTING WALL TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO BE REMOVED

**ADDITIONAL NOTES**

1. SEE SHEET G2 FOR GENERAL NOTES AND SPECIFICATIONS

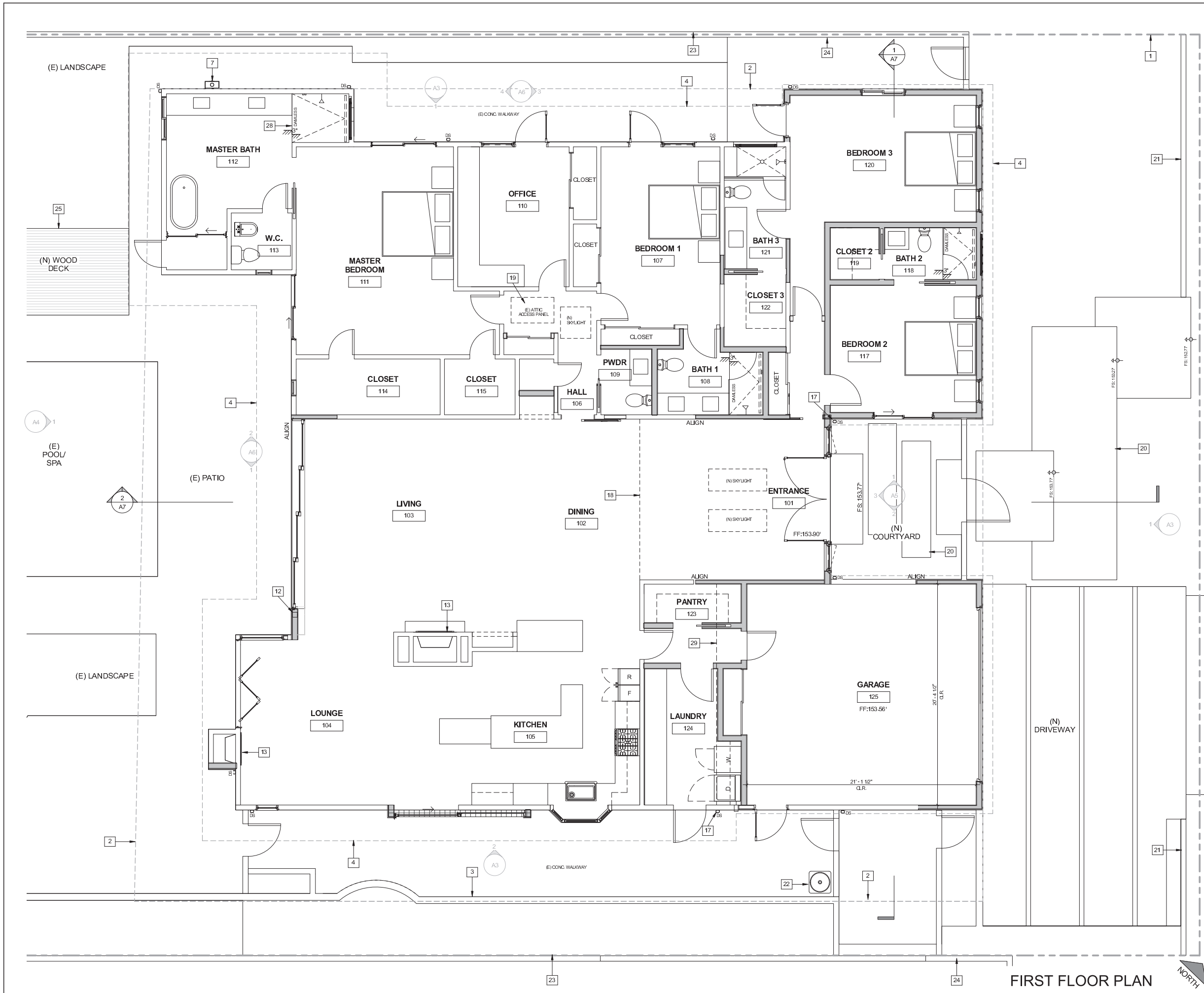
PROJECT NAME:  
SAMPSON REMODEL

SCALE:  
1/4" = 1'-0"

DATE:  
03.03.2020

SAMPSON RESIDENCE  
 169 MONARCH BAY DRIVE  
 DANA POINT, CA. 92629

**G5**



FIRST FLOOR PLAN

FLOOR PLAN NOTES

- 1 PROPERTY LINE
- 2 LINE OF SETBACK
- 3 EXISTING RAISED PLANETER TO REMAIN
- 4 LINE OF ROOF EAVE ABOVE
- 7 TANKLESS WATER HEATER BY ETERNAL, MODEL GV195S, DIRECT VENT. 96% EFFICIENCY. PROVIDE SEISMIC RESTRAINT IN ACCORDANCE W/ CPC508.2. CONTRACTOR TO CONTACT MANUFACTURER AND VERIFY UNIT SIZING PRIOR TO PURCHASING AND INSTALLATION. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 12 EXISTING WOOD POST TO REMAIN
- 13 EXISTING FIREPLACE TO REMAIN
- 17 DOWNSPOUT FROM ROOF
- 18 LINE OF CEILING/SOFFIT
- 19 22"X30" ATTIC ACCESS PANEL
- 20 CONCRETE STEPS ON GRADE
- 21 NEW LANDSCAPE WALL
- 22 EXISTING AC CONDENSOR
- 23 EXISTING SITE WALL
- 24 NEW SITE WALL- MATCH EXISTING
- 25 NEW WOOD DECK ON GRADE
- 28 MINIMUM 3" DROP REQUIRED FOR DAMLESS SHOWER
- 29 LINE OF EXISTING 4" SLAB DEPRESSION- RAISE TO MATCH F.F.

REVISIONS:

NO.	DESCRIPTION	DATE

PLANS PREPARED BY:  
D.MORRIS

**SAMPSON REMODEL**  
169 MONARCH BAY DRIVE  
DANA POINT, CA



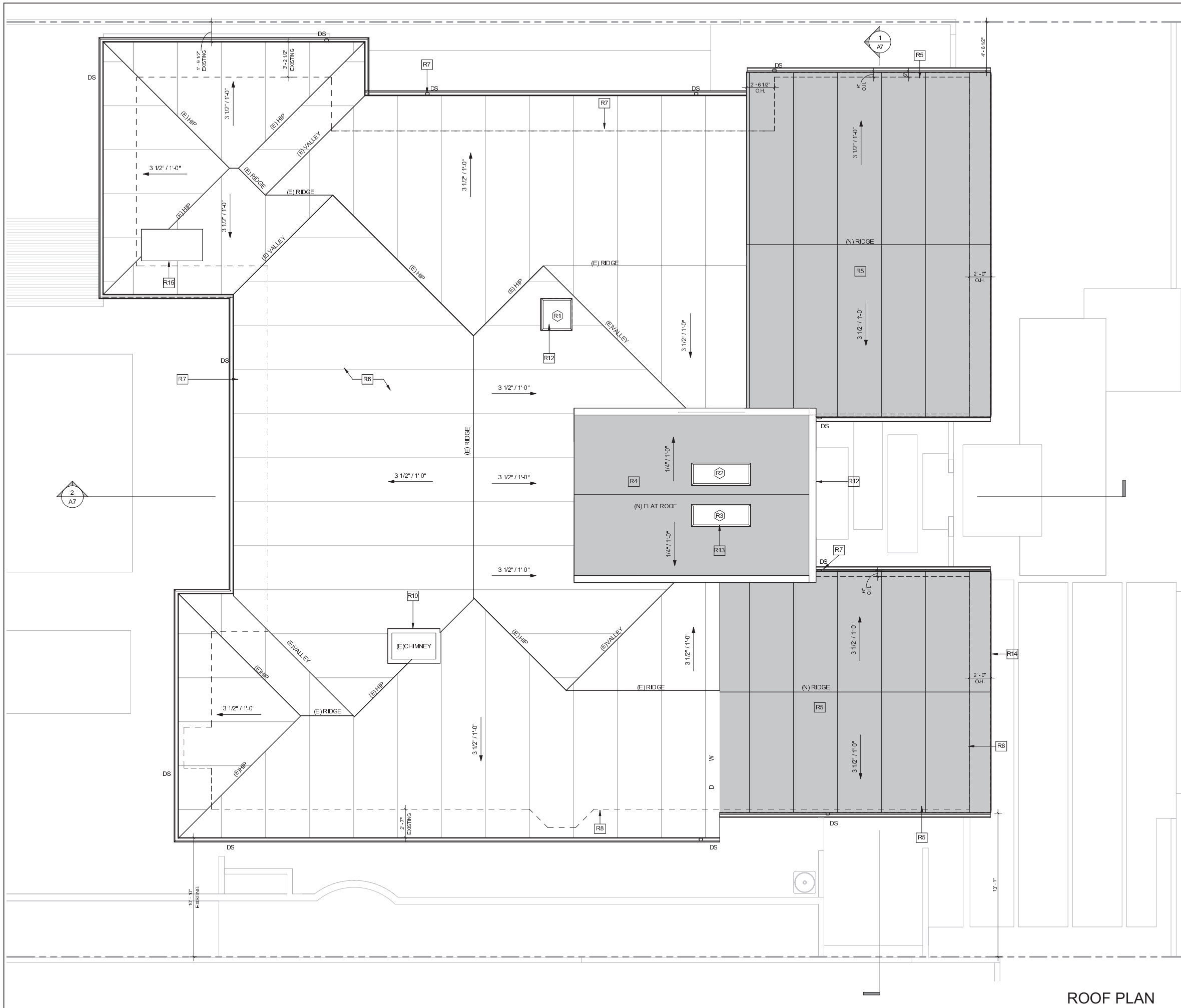
SAMPSON RESIDENCE  
169 MONARCH BAY DRIVE  
DANA POINT, CA. 92629

WALL LEGEND

- NEW WALL
- EXISTING WALL

PROJECT NAME:  
SAMPSON REMODEL  
SCALE:  
1/4" = 1'-0"  
DATE:  
03.03.2020

**A1**



**ROOF PLAN NOTES**

- R4 CLASS "A" BUILT-UP HOT MOPPED ASPHALT ROOFING SYSTEM W/ GRAVEL BY GAF, SPEC # N-1-2-20/MSG, ESR-1274. GRAVEL TO BE SELECTED BY DESIGNER. SYSTEM TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. SLOPE IS A MIN. 1/4" PER FOOT
- R5 NEW STANDING SEAM METAL ROOF
- R6 EXISTING ROOF TO BE REPLACED W/ STANDING SEAM METAL
- R7 NEW GUTTER AND DOWNSPOUT-PER DETAILS
- R8 LINE OF WALL BELOW
- R10 EXISTING CHIMNEY TO REMAIN
- R12 NEW PARAPET WITH STONE VENEER FINISH
- R13 NEW VELUX SKYLIGHT
- R14 NEW WINDSOR ONE FASCIA- PAINTED TO MATCH ROOF
- R15 NEW OPENING IN ROOF

**REVISIONS:**


PLANS PREPARED BY:

D.MORRIS DATE

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**SAMPSON REMODEL**  
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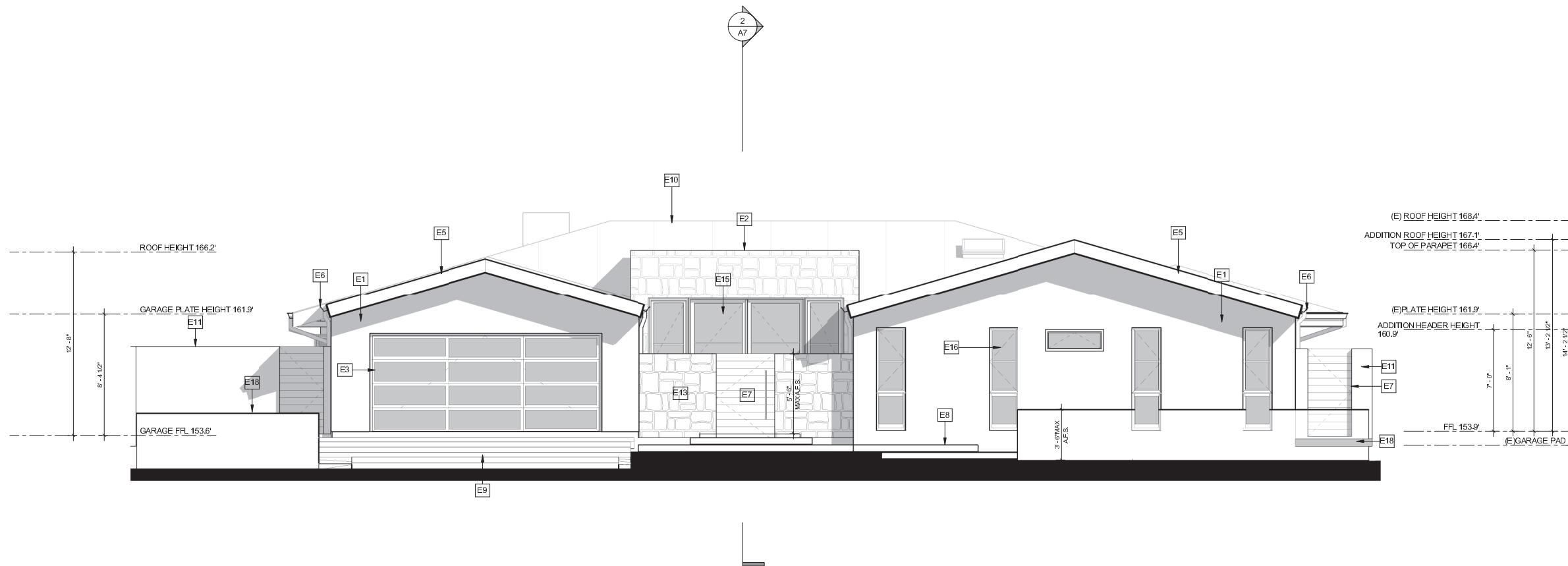
**A2**

**ROOF LEGEND**

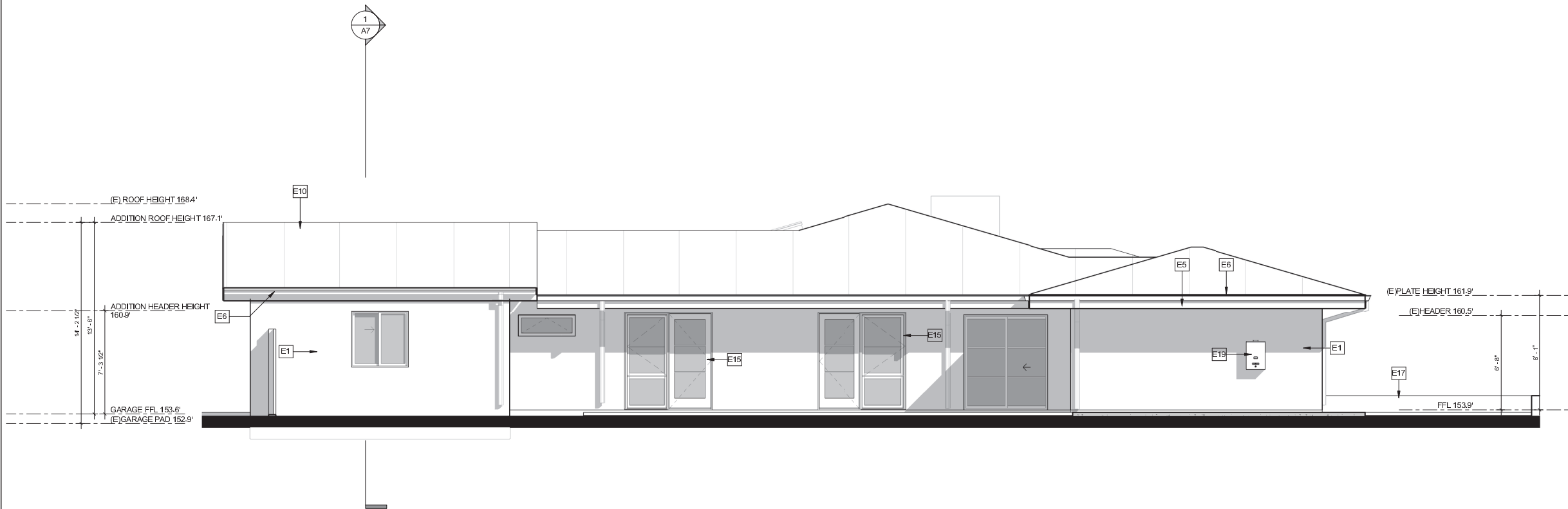
- NEW STANDING SEAM METAL ROOF OVER EXISTING ROOF FRAMING
- NEW ROOF TO BE CONSTRUCTED W/ STANDING SEAM METAL ROOF FINISH
- NEW ROOF TO BE CONSTRUCTED W/ ASPHALT ROOF SYSTEM FINISH

**ROOF PLAN**





NORTH ELEVATION



WEST ELEVATION

ELEVATION NOTES

- E1 NEW 7/8", 3-COAT LA HABRA EXTERIOR PLASTER WALL FINISH OVER METAL LATH- SANTA BARBARA FINISH- COLOR: CRYSTAL WHITE
- E2 NEW RATTLESNAKE LIMESTONE W/ OVEGROUTED JOINTS
- E3 NEW GARAGE DOOR
- E5 WINDSOR ONE FASCIA- PAINTED- DESIGNER TO SPECIFY COLOR
- E6 NEW GUTTER AND DOWNSPOUTS- PAINT TO MATCH ROOF
- E7 NEW IPE WOOD GATE
- E8 NEW CONCRETE PAVERS ON GRADE
- E9 NEW NATURAL CONCRETE DRIVEWAY
- E10 METAL SALES STANDING SEAM METAL PANELS. LAID VERTICALLY PER MANUFACTURERS SPECIFICATIONS. OVER MINIMUM 1 LAYER DUPONT TYVEK WATER RESISTIVE BARRIER OVER WOOD STRUCTURAL PANEL SHEATHING. COLOR: SLATE GREY AND TO BE APPROVED BY DESIGNER.
- E11 NEW 6'-0" WALL w/ NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE
- E13 NEW 5'- 6" WALL w/ RATTLESNAKE LIMESTONE FINISH
- E15 DOOR PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTURERS SPECIFICATIONS
- E16 WINDOW PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTURERS SPECIFICATIONS
- E17 EXISTING WALL w/ NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE
- E18 NEW LANDSCAPE WALL W/ NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE. 3'-6" MAX ABOVE F.S
- E19 WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVE OUTLET, PIPE TO EXTERIOR. OUTLET NO LESS THAN 6 INCHES OR MORE THAN 24 INCHES OR MORE THAN 24 INCHES ABOVE GRADE OR PAVING

ADDITIONAL NOTES

- A. SEE SHEET G2 FOR GENERAL NOTES AND SPECIFICATIONS
- B. CLEARANCES FOR LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE SPECIFIED IN THE LISTING. UNLISTED APPLIANCE CLEARANCES SHALL COMPLY WITH CMC REQUIREMENTS.
- C. MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION
- D. ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR LEAKAGE AND VISIBLE TRANSMITTANCE. CAL ENERGY CODE: 116(a)4 AND 10-111(a)1
- E. WINDOWS AND DOORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- F. TEMPERED GLASS IS REQUIRED AT HAZARDOUS LOCATIONS PER CBC 2406.3
- G. TEMPERED (SAFETY) GLAZING IS REQUIRED TO BE PERMANENTLY MARKED (ETCHED) AS REQUIRED BY CRC R308.1
- H. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. SEE SHEET G3, TABLES 4.504.1 AND 4.504.2 FOR REQUIREMENTS.
- J. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. SEE SHEET G3, TABLE 4.504.3 FOR REQUIREMENTS.
- K. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. SEE SHEET G3, AEROSOL COATING AND PVMIR LIMITS TABLE FOR REQUIREMENTS.
- L. DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- M. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. MATERIALS SHALL BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RCFI) FLOOR SCORE PROGRAM.
- N. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE A MINIMUM STROKE WIDTH OF 1/2 INCH.
- O. FIRE SPRINKLERS TO BE INSTALLED
- P. GARAGES REQUIRE ONE-HOUR SEPARATION FROM DWELLING AREAS-INSTALL 5/8" TYPE "X" GYPSUM BOARD FROM SILL TO PLATE AND 5/8" ENTIRE CLG ON GARAGE SIDE. SEE DETAIL 24/A03
- Q. PENETRATIONS OF WALL ASSEMBLIES REQUIRED TO BE FIRE RESISTANCE RATED IN ACCORDANCE WITH SECTION R302.2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH R302.4. DETAIL.
- R. OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3. SEE DETAIL 24/A03

REVISIONS:

PLANS PREPARED BY:

D.MORRIS DATE

1050 CALLE CORDILLERA  
SAN CLEMENTE  
CALIFORNIA 92673  
(949) 218-4110

**SAMPSON REMODEL**  
169 MONARCH BAY DRIVE  
DANA POINT, CA



SAMPSON RESIDENCE  
169 MONARCH BAY DRIVE  
DANA POINT, CA. 92629

PROJECT NAME:  
SAMPSON REMODEL

SCALE:

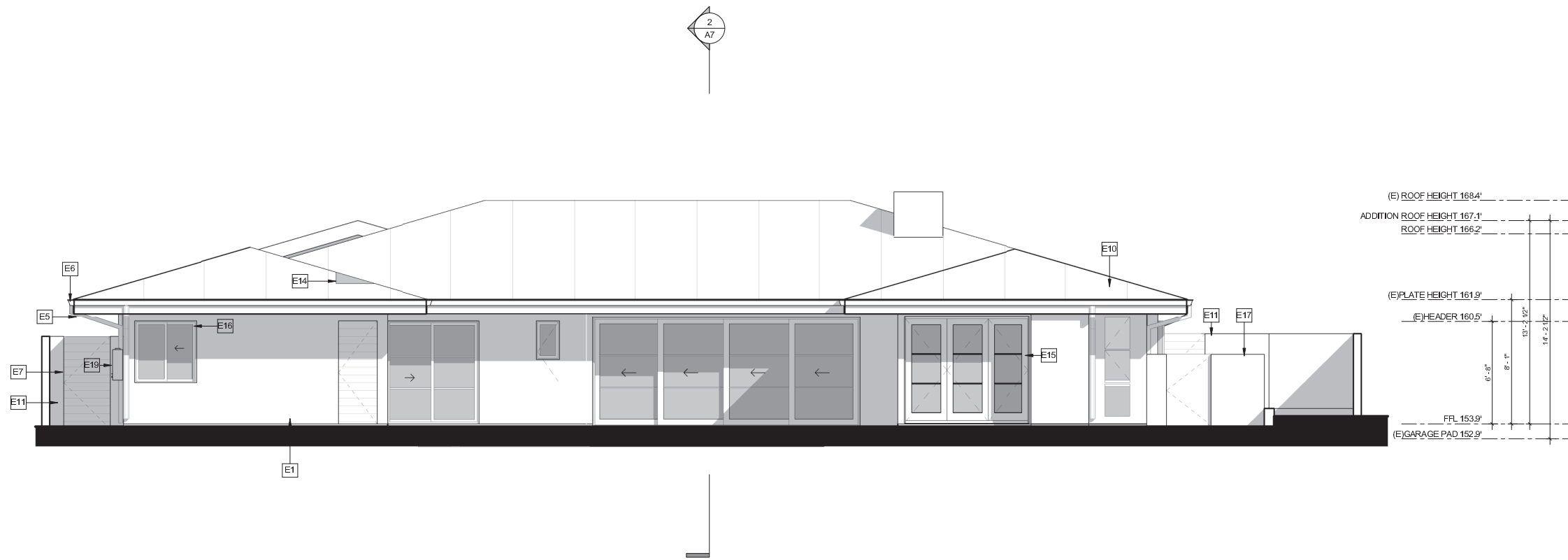
1/4" = 1'-0"

DATE:

03.03.2020

**A3**





SOUTH ELEVATION



EAST ELEVATION

ELEVATION NOTES

- E1 NEW 7/8" 3-COAT LA HABRA EXTERIOR PLASTER WALL FINISH OVER METAL LATH- SANTA BARBARA FINISH-COLOR: CRYSTAL WHITE
- E5 WINDSOR ONE FASCIA- PAINTED-DESIGNER TO SPECIFY COLOR
- E6 NEW GUTTER AND DOWNSPOUTS- PAINT TO MATCH ROOF
- E7 NEW IPE WOOD GATE
- E9 NEW NATURAL CONCRETE DRIVEWAY
- E10 METAL SALES STANDING SEAM METAL PANELS. LAID VERTICALLY PER MANUFACTURERS SPECIFICATIONS. OVER MINIMUM 1 LAYER DUPONT TYVEK WATER RESISTIVE BARRIER OVER WOOD STRUCTURAL PANEL SHEATHING. COLOR: SLATE GREY AND TO BE APPROVED BY DESIGNER.
- E11 NEW 6'-0" WALL w/ NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE
- E14 NEW OPENING IN ROOF
- E15 DOOR PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTURERS SPECIFICATIONS
- E16 WINDOW PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTURERS SPECIFICATIONS
- E17 EXISTING WALL w/ NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE
- E19 WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVE OUTLET, PIPE TO EXTERIOR. OUTLET NO LESS THAN 6 INCHES OR MORE THAN 24 INCHES OR MORE THAN 24 INCHES ABOVE GRADE OR PAVING

ADDITIONAL NOTES

- A. SEE SHEET G2 FOR GENERAL NOTES AND SPECIFICATIONS
- B. CLEARANCES FOR LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE SPECIFIED IN THE LISTING. UNLISTED APPLIANCE CLEARANCES SHALL COMPLY WITH CMC REQUIREMENTS.
- C. MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION
- D. ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR LEAKAGE AND VISIBLE TRANSMITTANCE. CAL ENERGY CODE 116(a)4 AND 10-111(a)1
- E. WINDOWS AND DOORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- F. TEMPERED GLASS IS REQUIRED AT HAZARDOUS LOCATIONS PER CBC 2406.3
- G. TEMPERED (SAFETY) GLAZING IS REQUIRED TO BE PERMANENTLY MARKED (ETCHED) AS REQUIRED BY CRC R308.1
- H. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. SEE SHEET G3, TABLES 4.504.1 AND 4.504.2 FOR REQUIREMENTS.
- J. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. SEE SHEET G3, TABLE 4.504.3 FOR REQUIREMENTS.
- K. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. SEE SHEET G3, AEROSOL COATING AND PVMR LIMITS TABLE FOR REQUIREMENTS.
- L. DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- M. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. MATERIALS SHALL BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RCFI) 'FLOOR SCORE' PROGRAM.
- N. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE A MINIMUM STROKE WIDTH OF 1/2 INCH.
- O. FIRE SPRINKLERS TO BE INSTALLED
- P. GARAGES REQUIRE ONE-HOUR SEPARATION FROM DWELLING AREAS-INSTALL 5/8" TYPE 'X' GYPSUM BOARD FROM SILL TO PLATE AND 5/8" ENTIRE CLG ON GARAGE SIDE. SEE DETAIL 24/A03
- Q. PENETRATIONS OF WALL ASSEMBLIES REQUIRED TO BE FIRE RESISTANCE RATED IN ACCORDANCE WITH SECTION R302.2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH R302.4. DETAIL
- R. OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3. SEE DETAIL 24/A03

REVISIONS:


PLANS PREPARED BY:

D.MORRIS DATE

1050 CALLE CORDILLERA  
SAN CLEMENTE  
CALIFORNIA 92673  
(949) 218-4110

SAMPSON REMODEL  
169 MONARCH BAY DRIVE  
DANA POINT, CA



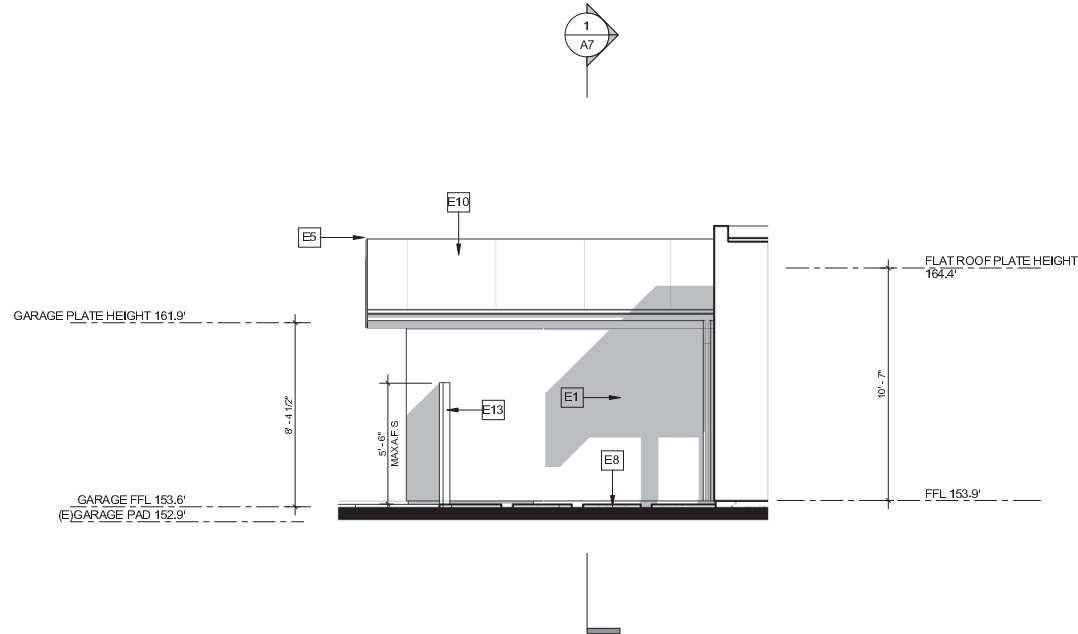
SAMPSON RESIDENCE  
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PROJECT NAME:  
SAMPSON REMODEL

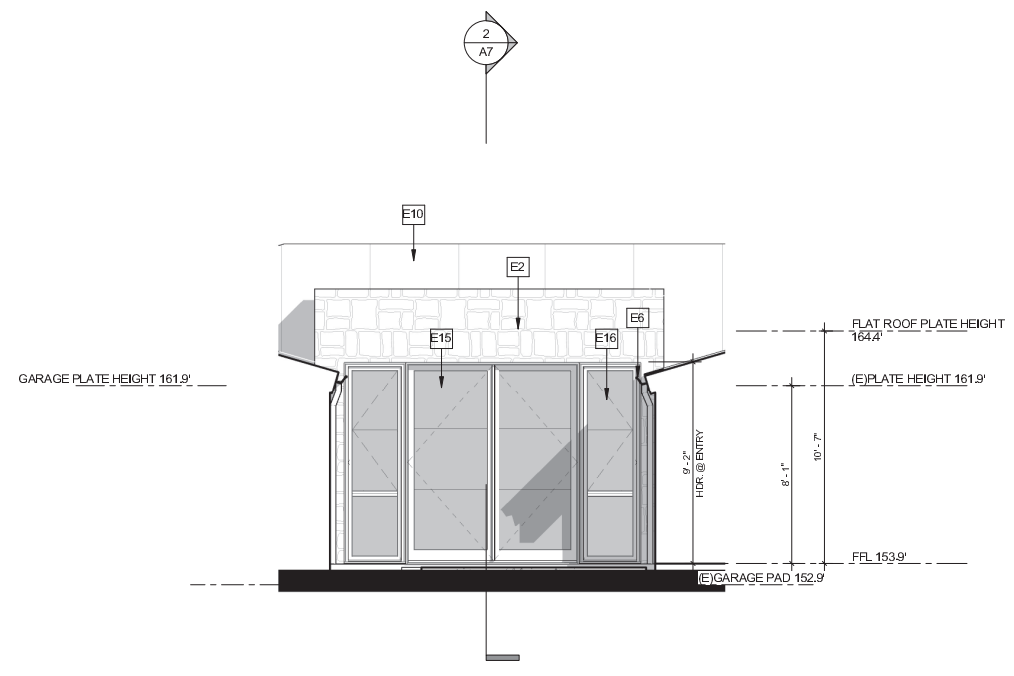
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1/4" = 1'-0"

DATE:  
03.03.2020

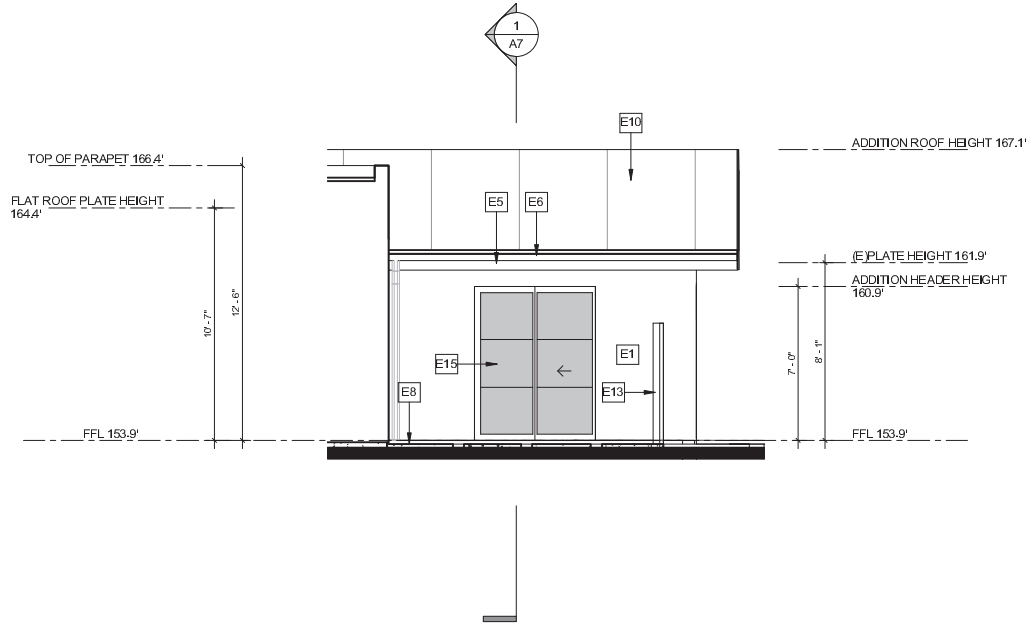
A4



COURTYARD- EAST ELEVATION



COURTYARD- NORTH ELEVATION



COURTYARD- WEST ELEVATION

ELEVATION NOTES

- E1 NEW 7/8", 3-COAT LA HABRA EXTERIOR PLASTER WALL FINISH OVER METAL LATH-SANTA BARBARA FINISH-COLOR: CRYSTAL WHITE
- E2 NEW RATTLESNAKE LIMESTONE W/ OVEGROUTED JOINTS
- E5 WINDSOR ONE FASCIA- PAINTED-DESIGNER TO SPECIFY COLOR
- E6 NEW GUTTER AND DOWNSPOUTS- PAINT TO MATCH ROOF
- E8 NEW CONCRETE PAVERS ON GRADE
- E10 METAL SALES STANDING SEAM METAL PANELS. LAID VERTICALLY PER MANUFACTURERS SPECIFICATIONS. OVER MINIMUM 1 LAYER DUPONT TYVEK WATER RESISTIVE BARRIER OVER WOOD STRUCTURAL PANEL SHEATHING. COLOR: SLATE GREY AND TO BE APPROVED BY DESIGNER.
- E13 NEW 5'-6" WALL w/ RATTLESNAKE LIMESTONE FINISH
- E15 DOOR PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTURERS SPECIFICATIONS
- E16 WINDOW PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTURERS SPECIFICATIONS

ADDITIONAL NOTES

- A. SEE SHEET G2 FOR GENERAL NOTES AND SPECIFICATIONS
- B. CLEARANCES FOR LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE SPECIFIED IN THE LISTING. UNLISTED APPLIANCE CLEARANCES SHALL COMPLY WITH CMC REQUIREMENTS.
- C. MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION
- D. ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR LEAKAGE AND VISIBLE TRANSMITTANCE. CAL ENERGY CODE: 116(a)4 AND 10-111(a)1
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- P. GARAGES REQUIRE ONE-HOUR SEPARATION FROM DWELLING AREAS-INSTALL 5/8" TYPE "X" GYPSUM BOARD FROM SILL TO PLATE AND 5/8" ENTIRE CLG ON GARAGE SIDE. SEE DETAIL 24/AD3
- Q. PENETRATIONS OF WALL ASSEMBLIES REQUIRED TO BE FIRE RESISTANCE RATED IN ACCORDANCE WITH SECTION R302.2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH R302.4. DETAIL.
- R. OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3. SEE DETAIL 24/AD3

REVISIONS:

PLANS PREPARED BY:

DMORRIS DATE

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SAN CLEMENTE  
CALIFORNIA 92673  
(949) 218-4110

**SAMPSON REMODEL**  
169 MONARCH BAY DRIVE  
DANA POINT, CA



SAMPSON RESIDENCE  
169 MONARCH BAY DRIVE  
DANA POINT, CA 92629

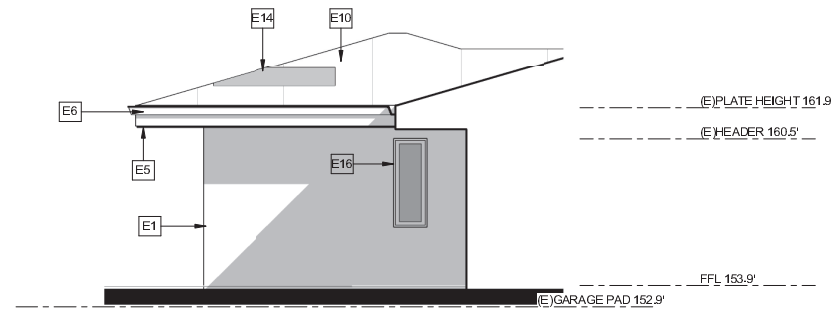
PROJECT NAME:  
SAMPSON REMODEL

SCALE:  
1/4" = 1'-0"

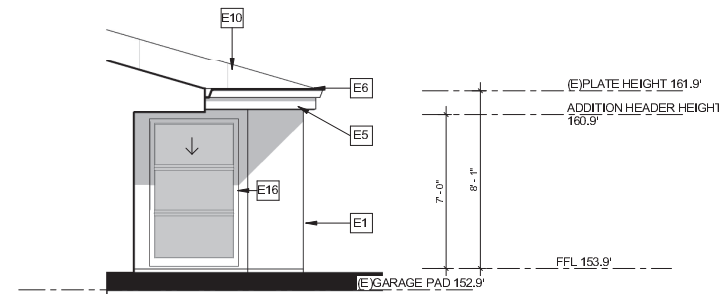
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03.03.2020

**A5**

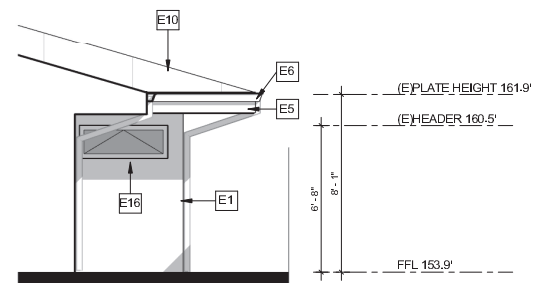




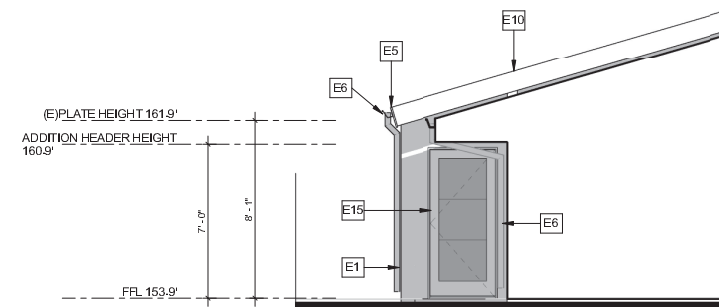
REAR- EAST ELEVATION



REAR- WEST ELEVATION



RIGHT -NORTH ELEVATION



RIGHT -SOUTH ELEVATION

ELEVATION NOTES

- E1 NEW 7/8", 3-COAT LA HABRA EXTERIOR PLASTER WALL FINISH OVER METAL LATH- SANTA BARBARA FINISH- COLOR: CRYSTAL WHITE
- E5 WINDSOR ONE FASCIA- PAINTED- DESIGNER TO SPECIFY COLOR
- E6 NEW GUTTER AND DOWNSPOUTS- PAINT TO MATCH ROOF
- E10 METAL SALES STANDING SEAM METAL PANELS. LAID VERTICALLY PER MANUFACTURERS SPECIFICATIONS. OVER MINIMUM 1 LAYER DUPONT TYVEK WATER RESISTIVE BARRIER OVER WOOD STRUCTURAL PANEL SHEATHING. COLOR: SLATE GREY AND TO BE APPROVED BY DESIGNER.
- E14 NEW OPENING IN ROOF
- E15 DOOR PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTURERS SPECIFICATIONS
- E16 WINDOW PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTURERS SPECIFICATIONS

REVISIONS:

PLANS PREPARED BY:

D.MORRIS DATE

1050 CALLE CORDILLERA  
SAN CLEMENTE  
CALIFORNIA 92673  
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ADDITIONAL NOTES

- A. SEE SHEET G2 FOR GENERAL NOTES AND SPECIFICATIONS
- B. CLEARANCES FOR LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE SPECIFIED IN THE LISTING. UNLISTED APPLIANCE CLEARANCES SHALL COMPLY WITH CMC REQUIREMENTS.
- C. MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION
- D. ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR LEAKAGE AND VISIBLE TRANSMITTANCE. CAL ENERGY CODE: 116(a)4 AND 10-111(a)1
- E. WINDOWS AND DOORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- F. TEMPERED GLASS IS REQUIRED AT HAZARDOUS LOCATIONS PER CBC 2406.3
- G. TEMPERED (SAFETY) GLAZING IS REQUIRED TO BE PERMANENTLY MARKED (ETCHED) AS REQUIRED BY CRC R308.1
- H. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. SEE SHEET G3, TABLES 4.504.1 AND 4.504.2 FOR REQUIREMENTS.
- J. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. SEE SHEET G3, TABLE 4.504.3 FOR REQUIREMENTS.
- K. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. SEE SHEET G3, AEROSOL COATING AND PVMIR LIMITS TABLE FOR REQUIREMENTS.
- L. DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- M. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. MATERIALS SHALL BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RCFI) 'FLOOR SCORE' PROGRAM.
- N. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE A MINIMUM STROKE WIDTH OF 1/2 INCH.
- O. FIRE SPRINKLERS TO BE INSTALLED
- P. GARAGES REQUIRE ONE-HOUR SEPARATION FROM DWELLING AREAS-INSTALL 5/8" TYPE "X" GYPSUM BOARD FROM SILL TO PLATE AND 5/8" ENTIRE CLG ON GARAGE SIDE. SEE DETAIL 24/A03
- Q. PENETRATIONS OF WALL ASSEMBLIES REQUIRED TO BE FIRE RESISTANCE RATED IN ACCORDANCE WITH SECTION R302.2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH R302.4. DETAIL
- R. OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3. SEE DETAIL 24/A03

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SAMPSON REMODEL

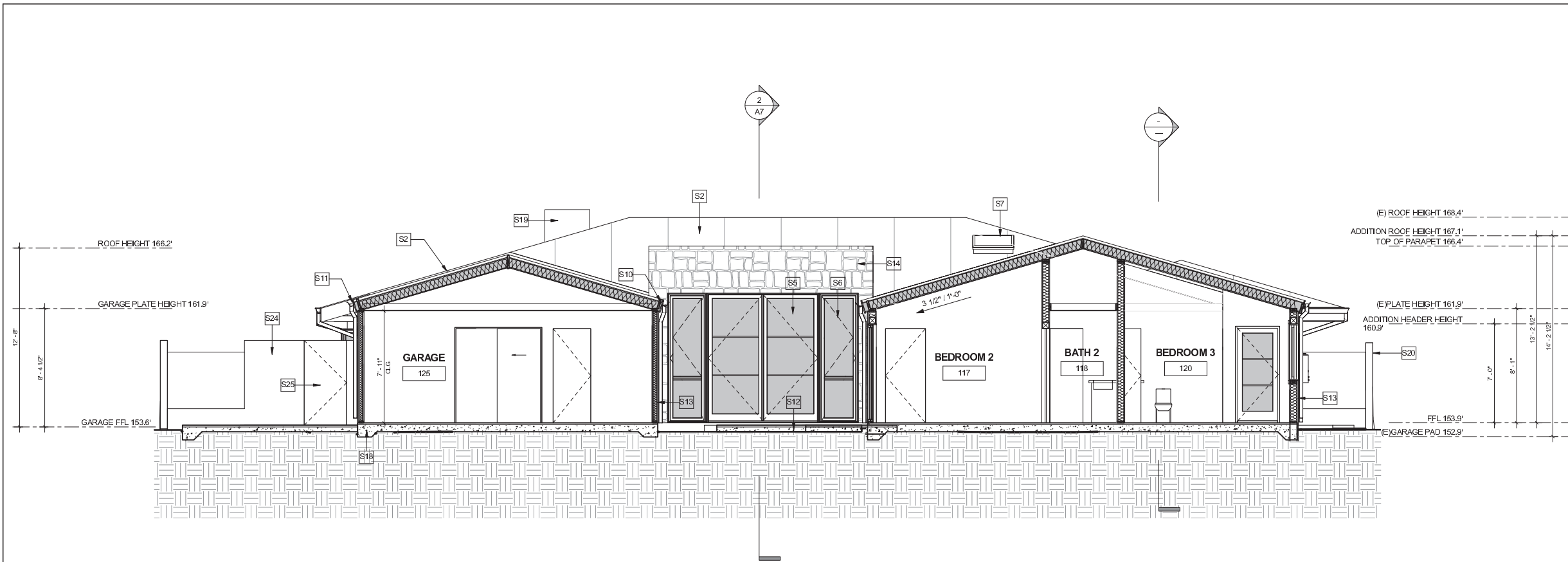
SCALE:

1/4" = 1'-0"

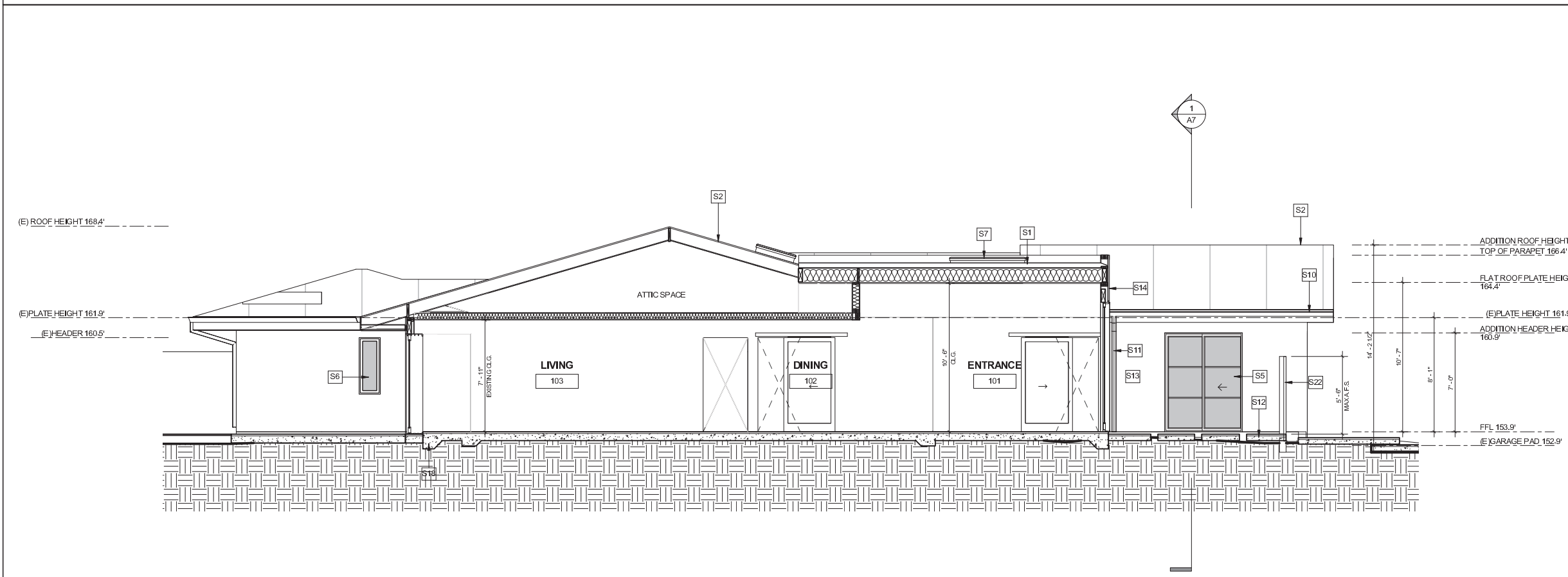
DATE:

03.03.2020

**A6**



SECTION A-A



SECTION B-B

SECTION NOTES		REVISIONS:
S1	CLASS "A" BUILT-UP HOT MOPPED ASPHALT ROOFING SYSTEM W/ GRAVEL BY GAF. SPEC # N-1-2-20MSG, ESR- 1274. GRAVEL TO BE SELECTED BY DESIGNER. SYSTEM TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. SLOPE IS A MIN. 1/4" PER FOOT	
S2	METAL SALES STANDING SEAM METAL PANELS. LAID VERTICALLY PER MANUFACTURERS SPECIFICATIONS. OVER MINIMUM 1 LAYER DUPONT TYVEK WATER RESISTIVE BARRIER OVER WOOD STRUCTURAL PANEL SHEATHING. COLOR: SLATE GREY AND TO BE APPROVED BY DESIGNER.	
S5	DOOR PER PLAN, SIERRA PACIFIC. INSTALL PER MANUFACTURERS SPECIFICATIONS	
S6	WINDOW PER PLAN, SIERRA PACIFIC. INSTALL PER MANUFACTURERS SPECIFICATIONS	
S7	NEW VELUX FIXED SKYLIGHT- SEE SKYLIGHT SCHEDULE- INSTALL PER MANUFACTURERS SEPCIFICATIONS	
S10	WINDSOR ONE FASCIA- PAINTED- DESIGNER TO SPECIFY COLOR	
S11	GUTTER AND DOWNSPOUT- MATCH EXISTING	
S12	NEW CONCRETE PAVERS ON GRADE	
S13	NEW 7/8", 3-COAT LA HABRA CEMENT EXTERIOR PLASTER WALL FINISH OVER METAL LATH WITH SMOOTH STEEL TROWEL FINISH. MINIMUM 2 LAYERS GRADE 'D' PAPER OVER WOOD STRUCTURAL PANEL SHEATHING. DESIGNER TO SELECT COLOR.	
S14	NEW RATTLESNAKE LIMESTONE VENEER W/ OVERGROUTED JOINTS $\alpha$ 3/4" REINFORCED BACKING- MODERN BUILDING SUPPLY-	
S18	CONCRETE FOOTING PER STRUCTURAL	
S19	EXISTING CHIMNEY TO REMAIN	
S20	EXISTING SITE WALL TO REMAIN	
S22	NEW 5'-6" SITE WALL w/ NEW RATTLESNAKE LIMESTONE VENEER W/ OVERGROUTED JOINTS $\alpha$ 3/4" REINFORCED BACKING- MODERN BUILDING SUPPLY	
S24	EXISTING SITE WALL w/ 7/8" EXTERIOR PLASTER WALL FINISH	
S25	NEW WOOD GATE	

PLANS PREPARED BY:  
D.MORRIS DATE

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169 MONARCH BAY DRIVE  
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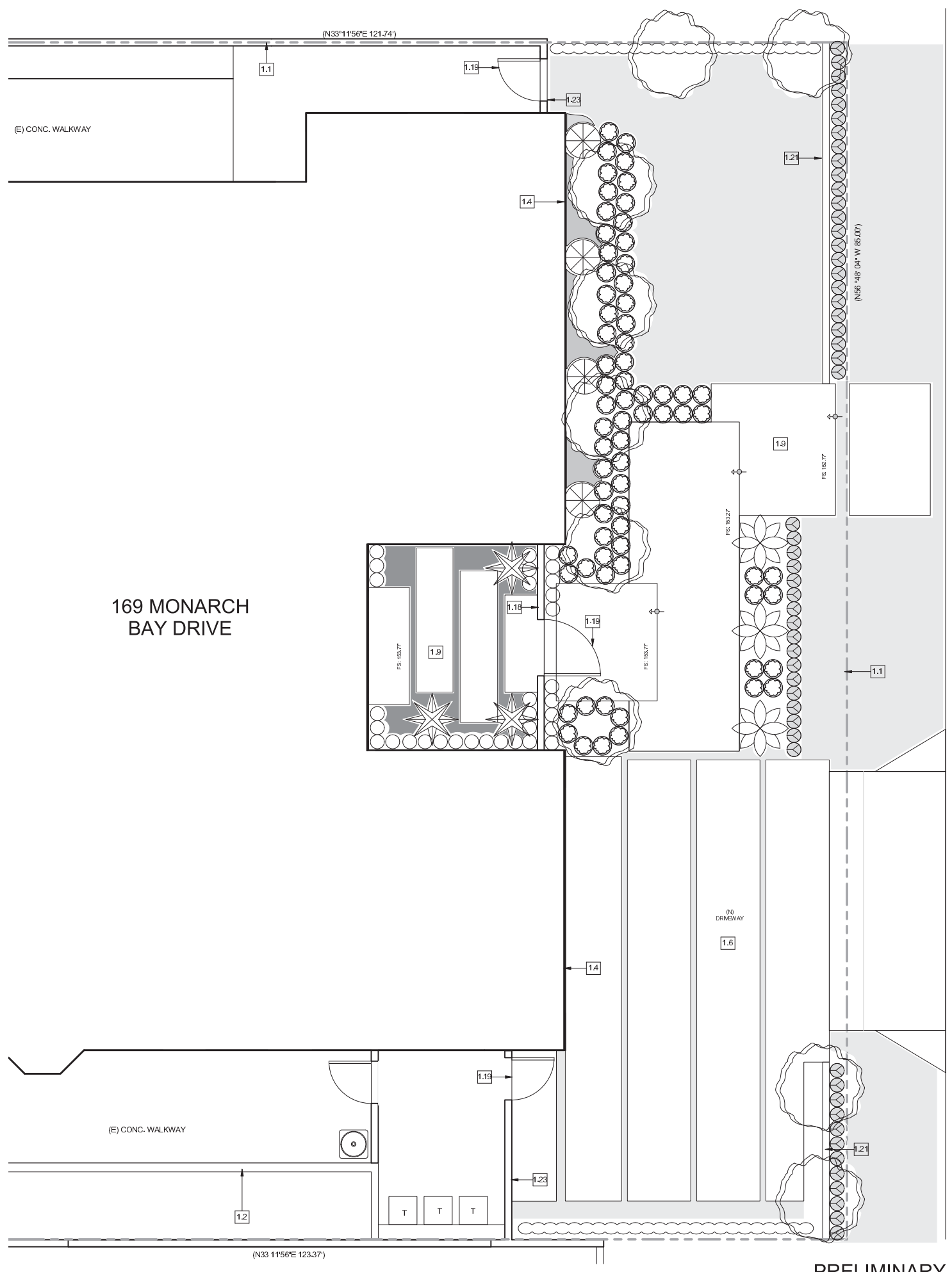
SAMPSON RESIDENCE  
169 MONARCH BAY DRIVE  
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PROJECT NAME:  
SAMPSON REMODEL

SCALE:  
1/4" = 1'-0"

DATE:  
03.03.2020

**A7**



MONARCHY BAY  
DRIVE

- NOTES**
- 1.1 PROPERTY LINE
  - 1.2 SETBACK LINE
  - 1.4 AREA OF NEW BUILDING ADDITION
  - 1.6 NEW CONCRETE DRIVEWAY
  - 1.9 NEW CONCRETE PAVERS
  - 1.18 NEW 5'-6" WALL W/ LIMESTONE FINISH
  - 1.19 NEW WOOD GATE
  - 1.21 NEW LANDSCAPE WALL W/ STUCCO FINISH 3'-6" MAX ABOVE F.S.
  - 1.23 NEW 6'-0" WALL w/ NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE

REVISIONS:




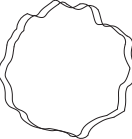







PLANS PREPARED BY:  
D.MORRIS      DATE

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NOTE: ALL PLANTS TO BE NATIVE SPECIES AND DROUGHT TOLERANT

**PLANTING LEGEND**

-  BLACK RIVER ROCK
-  PEA GRAVEL
-  MARATHON TURF
-  FRUITLESS OLIVE TREE
-  YUCCA
-  AGAVE OVATIFOLIA
-  MEXICAN FEATHER GRASS
-  BLUE FESCUE
-  PODOCARPUS
-  MOTHER IN LAWS TONGUE

*eyobh*  
DESIGN

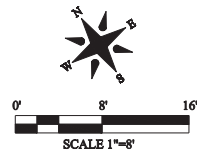
SAMPSON RESIDENCE  
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PROJECT NAME:  
SAMPSON REMODEL  
SCALE:  
1/4" = 1'-0"  
DATE:  
03.03.2020

**L1**

PRELIMINARY LANDSCAPE PLAN





NOTE: RECORD EASEMENTS ARE NOT PLOTTED IF ANY.

LEGEND	
(123.45)	MEAS. ELEVATIONS
( )	REC. BRG. & DIST.
—	DECK
#	BRICK
—	WALL
—	BUILDING
—	PROPERTY LINE
X	FENCE
⊙	BENCH MARK
N.G.	NATURAL GRADE
P.P.	POWER POLE
WM	WATER METER
F.F.	FINISH FLOOR
G.F.	GARAGE FLOOR
CONC.	CONCRETE
F.S.	FINISH SURFACE
M.H.	MAN-HOLE
P	PLANTER
A.C.	ASPHALT
T.G.	TOP-GRADE

ADDRESS OF PROJECT:

**169 MONARCH BAY  
DANA POINT, CA**

BENCH MARK:  
BENCH MARK #3P-35-04  
NAVD88 DATUM  
ELEVATION = 157.96

NAIL ELEVATION = 151.70

LEGAL DESCRIPTION:  
LOT 120 OF TRACT MAP NO. 3748

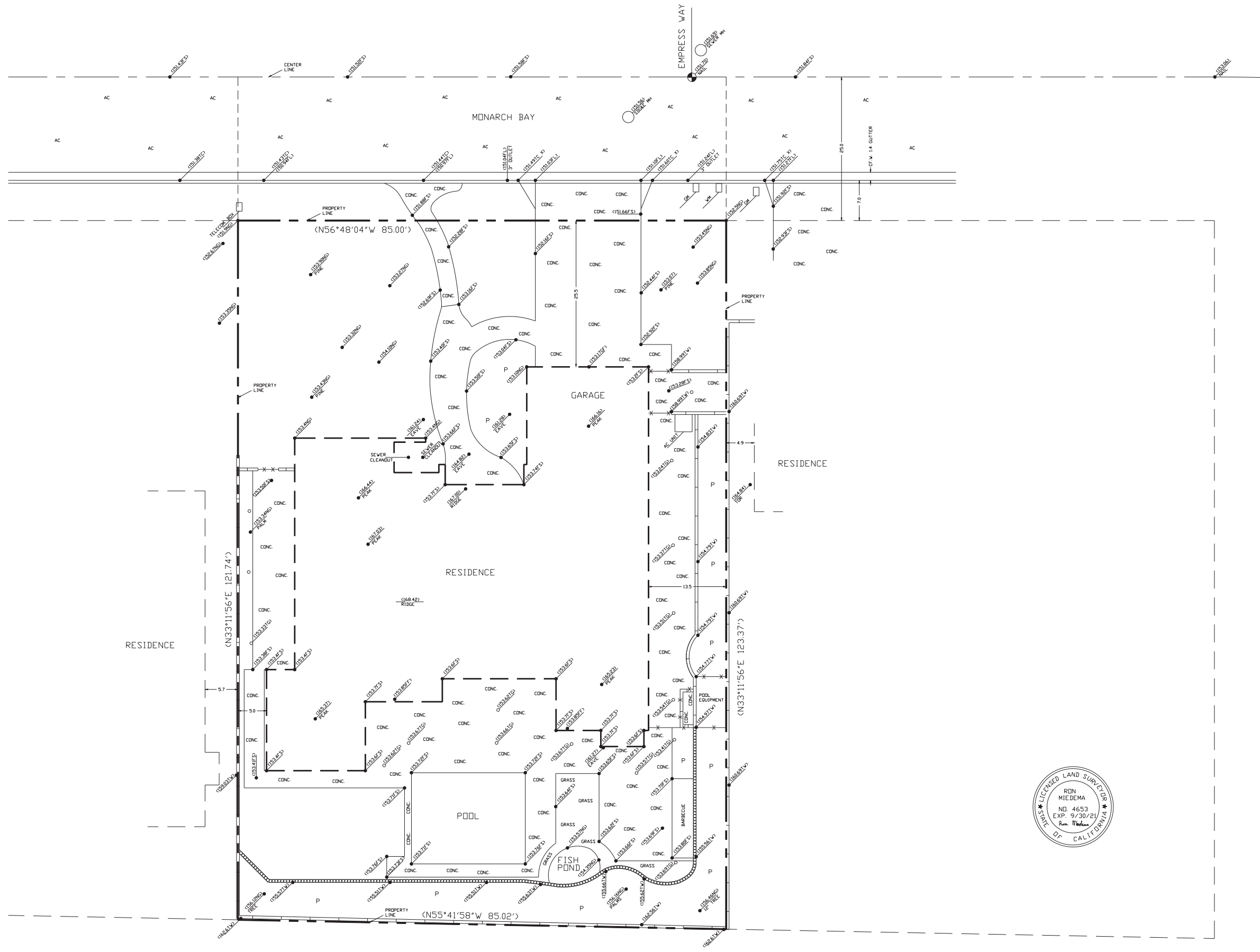
OWNER:  
JAMES AND VANESSA SAMPSON

TOPOGRAPHIC SURVEY

JOB: 74-34      DATE: 9/12/19

**RdM SURVEYING INC.**

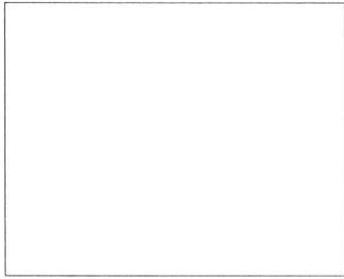
RdM MIEDEMA L.S. 4653  
23016 LAKE FOREST DR. #409  
LAGUNA HILLS, CA 92653  
(949) 858-2924      OFFICE  
(949) 858-3438      FAX  
RDMSURVEYING@CDX.NET



**Supporting Document 4:**            Materials Board

ATTACHMENT

## WALL FINISHES

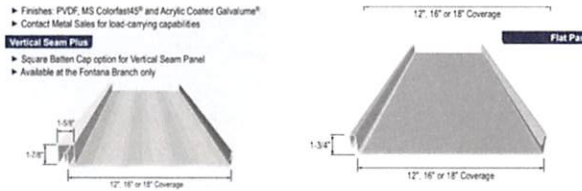


LAHABRA, 'CRYSTAL WHITE, #50(79),  
SANTA BARBARA FINISH



MODERN BUILDING SUPPLY, '  
RATTLESNAKE LIMESTONE', OVERGROUT JOINTS

## ROOFING



METAL SALES, 'STANDING SEAM PANELS', SLATE GREY  
FASCIA, GUTTERS & DOWN SPOUTS TO MATCH COLOR

## FLAT ROOF



GREY GRAVEL

## ENTRY GATE & FENCE



CLEAR SEALED IPE

## HARDSCAPE



NATURAL CONCRETE

**RECEIVED**

MAR 04 2020

CITY OF DANA POINT  
COMMUNITY DEVELOPMENT  
DEPARTMENT

SAMPSON RESIDENCE  
169 MONDARCH BAY DRIVE



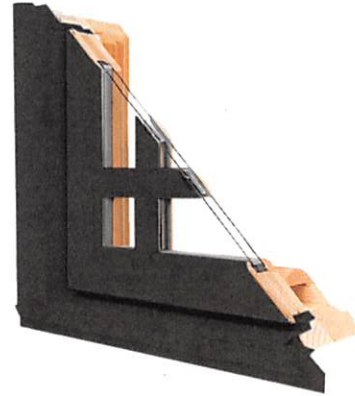


## SKYLIGHTS



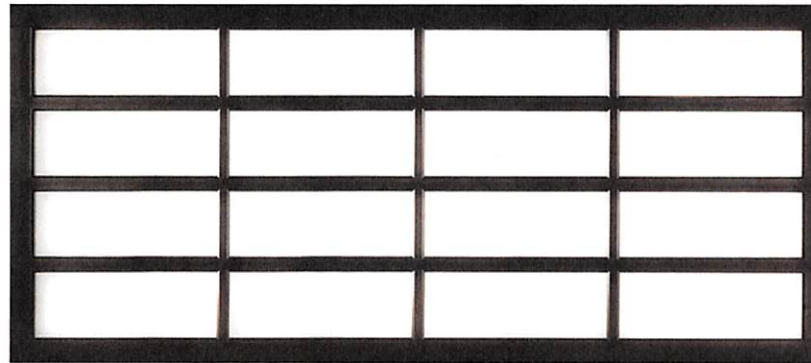
VELUX FIXED SKYLIGHTS, DARK GREY

## WINDOW & DOORS



SIERRA PACIFIC ALUMINUM CLAD, MATTE BLACK

## GARAGE DOOR



BLACK ALUMINUM & GLASS GARAGE DOOR



SAMPSON RESIDENCE  
169 MONDARCH BAY DRIVE

**Supporting Document 5:**            Rendering

ATTACHMENT



eyoh  
DESIGN

