

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** FEBRUARY 10, 2020

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
BRENDA WISNESKI, DIRECTOR  
JOHN CIAMPA, SENIOR PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP19-0006 AND SITE DEVELOPMENT PERMIT SDP19-0013 FOR A 74 SQUARE-FOOT ADDITION AND REMODEL TO CONVERT A DUPLEX TO A SINGLE-FAMILY RESIDENCE LOCATED AT 35131 BEACH ROAD

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**RECOMMENDATION:** That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP19-0006 and Site Development Permit SDP19-0013.

**APPLICANT:** Melissa Irani

**REPRESENTATIVE:** David Gutierrez

**REQUEST:** Approval of a Coastal Development Permit and Site Development Permit for a 74 square-foot addition and remodel to convert a duplex to a single-family residence located within the City's Floodplain Overlay District, Coastal Overlay District, and the Appeals Jurisdiction of the California Coastal Commission.

**LOCATION:** 35131 Beach Road (APN 691-142-03)

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on January 31, 2020, published within a newspaper of general circulation on January 31, 2020, and posted on January 31, 2020, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301(e) (Class 1 – Existing Facilities) in that the project involves the addition and remodel to convert a duplex to a single-family residence in an urbanized residential area.

**ISSUES:**

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC) and Local Coastal Program (LCP);
- Project compliance with the City's Floodplain Regulations;
- Project compatibility with and enhancement of the site and surrounding neighborhood; and
- Project satisfaction of all findings required pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP).

**BACKGROUND:** The subject site is a 4,702 square-foot beachfront lot located in the Capistrano Beach Community Association, which consists of an established built-out neighborhood of single-family and duplex residences. The project site is situated with the Pacific Ocean to the south and the railroad tracks and Pacific Coast Highway to the north (Supporting Document 2). The site is improved with a 3,312 square-foot, two-story duplex (Unit A first floor & Unit B second floor), and an attached two-car garage.

The property is located within the "Residential Beach Road 18" (RBRD 18) zone and is located within the City's Floodplain Overlay District (FP-3), Coastal Overlay District (the California Coastal Zone), and the Appeals Jurisdiction of the California Coastal Commission. The Floodplain Overlay designation identifies the property as potentially subject to inundation by wave action and requires specific structure design and location requirements.

**DISCUSSION:**

The project proposes to convert the duplex to a single-family residence by enclosing a deck on the east elevation to provide internal access from the first floor (currently unit A) to the second floor (currently unit B). The second-floor kitchen and living area would be remodeled into a larger master bedroom and closet. Additional second-floor improvements include the remodel of the second-floor wet bar area and bathroom. Proposed exterior improvements include the removal of the exterior stairs on the west elevation, new window/doors, and wood siding on the side elevations. The proposed exterior modifications would enhance the structure's 1950s mid-century architecture.

Development standards for this property are set forth in the City's Zoning Code Chapter 9.09 (Residential Development Standards) specifically for the RBRD-18 zone. Table 1 summarizes applicable development standards and the project's conformance with those requirements:

**Table 1: Compliance with RBRD 18 Development Standards**

<b>Development Standard</b>	<b>Requirement</b>	<b>Proposed/Existing</b>	<b>Compliance with Standard</b>
Front Setback	20 feet minimum	20 feet	Yes
Side Setbacks	3'-6" minimum	3'-6"	Yes
Structure Stringline	113' east/west	105'	Yes
Patio Stringline	128' East/West	128'	Yes
Height	24 feet maximum from FP-3 + 18" = 21'	17.75 feet	Yes
Parking Required	2 covered parking spaces	2 covered parking spaces	Yes

The structure is legal non-conforming per the Floodplain Overlay District (FP-3) requirements of Section 9.31.050(c) because it has a slab on grade foundation that is not elevated above the Base Flood Elevation in a high coastal hazard area. As identified in Table 1, the project complies with the development standards of the RBRD-18 zone.

**Coastal Development Permit CDP19-0006**

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, construction of an addition on land located in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires the approval of a Coastal Development Permit (CDP).

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas,*

*and will provide adequate buffer areas to protect such resources.*

5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 20-2-10-XX, attached to this report as Action Document 1.

Section 9.69.070 of the DPZC further stipulates that findings be made to require or exempt a project from dedicating one of five types of coastal public access (lateral, bluff top, vertical, trail, or recreational). As applied to the subject property, only a lateral access dedication would be applicable. However, pursuant to Section 9.27.030, the project qualifies for an exception from the requirement to dedicate, as public access to the coast exists in close proximity to the north at Capistrano Beach and to the south at Poche Beach.

#### Site Development Permit SDP19-0013

The subject property is located in the FP-3 and pursuant to Chapter 9.31 of the DPZC, new development and additions require the approval of a Site Development Permit (SDP) to ensure the development conforms with the provisions identified in Section 9.31 of the Dana Point Zoning Code. Additionally, the structure is legal nonconforming because it has a slab on grade foundation that is located below the FP-3, which triggers the requirement for an SDP.

Proposed additions and remodels to legal nonconforming structures in the FP-3 are subject to the Section 9.31.050(c)(3)(A) of the DPZC, which limits these structures to a one-time expansion of 10 percent of the structure's gross square footage, and the annual remodel of no more than 10 percent of the current value of the structure. The remodel value is established by the Building Division's Structure and Improvement Valuation Rates. The project complies with the nonconforming limitations of the FP-3 because the 74 square-foot addition (2.2 percent) is less than 10 percent of the structure's gross square footage. The applicant proposes a remodel of \$189,597 (35 percent of the structure's value), which would exceed the allowable 10 percent by 25 percent of the structure's value. To allow the increase in the value of the remodel up to 35 percent, Condition of Approval #26 is proposed to limit future remodeling or alterations until the value limit for the proposed improvements is exhausted, which would result in permit restrictions for three and a half years. Additional conditions of approval (#17-21) are proposed to ensure no new foundations are proposed as part of the remodel portion of the project to comply with the limitations for legal nonconforming

structures in the FP-3, as outlined in Section 9.31.050(c)(3)(A) of the DPZC.

Section 9.71.050 of the DPZC stipulates a minimum of four findings for approval of an SDP, requiring:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

The recommended findings for approval of the SDP are outlined in the draft Resolution No. 20-02-10-XX, attached to this report as Action Document 1.

**CORRESPONDENCE:** To date, no correspondence has been received regarding this project.

**CONCLUSION:** Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project complies with all standards of development, staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 19-0006 and Site Development Permit 19-0013, subject to the findings and conditions of approval contained therein.

  
John Ciampa, Senior Planner

  
Brenda Wisneski, Director of  
Community Development

**ATTACHMENTS:**

**Action Document**

1. Draft Planning Commission Resolution No. 20-2-10-xx

**Supporting Documents**

2. Vicinity Map
3. Site Photos
4. Architectural Plans

**Action Document 1: Draft Planning Commission Resolution No. 20-2-10-xx**

**RESOLUTION NO. 20-02-10-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP19-0006 AND SITE DEVELOPMENT PERMIT SDP19-0013 FOR A 74 SQUARE-FOOT ADDITION AND REMODEL TO CONVERT A DUPLEX TO A SINGLE-FAMILY RESIDENCE LOCATED AT 35131 BEACH ROAD**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, David Gutierrez (the "Representative") has filed an application on behalf of Melissa Irani, ("Applicant"), the owner of real property commonly referred to as 35131 Beach Road (APN 691-142-03) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit and Site Development Permit to allow the addition and remodel to convert a legal nonconforming duplex into a single-family residence at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 – Existing Facility) in that the application proposes the construction of a 74 square-foot addition and remodel to convert a legal nonconforming duplex into a single-family residence; and

WHEREAS, the Planning Commission did, on the 10<sup>th</sup> day of February, 2020, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP19-0006 and Site Development Permit SDP19-0013.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP19-0006 and SDP19-0013 subject to the following conditions of approval:

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Findings:

Coastal Development Permit CDP19-0006

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that, the site and architectural design of proposed addition and remodel are found to comply with all applicable development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property). The project will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by maintaining the project’s current Mid-Century design that is compatible and complementary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that, while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located in a private community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exists nearby at City, County, and State beaches. For the reasons stated the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that, the project qualifies as Categorical Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facility) in that the application proposes the construction of a 74 square foot addition and remodel to convert the duplex to a single-family residence.**
4. That the proposed development will not encroach upon any existing physical access-way legally utilized by the public or any proposed public accessway identified in an adopted Local Coastal Program Land Use Plan, nor will it obstruct any existing public views to and along the coast from any public road or from a recreational area **in that, no public access-ways exist on the subject property, and as a result, none would be adversely**



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affected with implementation of the proposed project. Public access to Trust lands (the beach and ocean) exist in close proximity at Poche Beach and would be unaffected with the implementation of the project. The subject property fronts (private) Beach Road, which borders a sound/privacy wall, with railroad tracks and Pacific Coast Highway beyond the project would not result in adverse impacts to any existing coastal public views.

5. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources in that, the subject property lies adjacent to the Pacific Ocean, a noted sensitive habitat area, park, and recreation area; however, the scope-of-work comprises development permitted by the Dana Point Local Coastal Program. The project conforms to all development standards (including design criteria) intended to minimize to the greatest extent feasible, potentially adverse impacts to shoreline processes and no EHSA buffer is required in that the addition to enclose the second story deck is on the landward side of the structure and the remodel is for the interior of the structure, new siding, and windows/doors.
6. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards in that, the proposed addition and remodel to the structure does not expand the structure's building footprint on the seaward side of the structure. The addition to enclose the second story deck is located on the landward side of the structure's second floor and would not alter any natural landforms. The addition and remodel comply with the one-time 10 percent addition and 10 percent remodel valuation thresholds established by the DPZC, as conditioned, to ensure the project does not result in undue risks from geologic and erosional forces from coastal flooding.
7. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas in that, the subject application proposes the construction of a 74 square-foot addition and remodel to convert the duplex to a single-family residence within an established community of residential uses. The project enhances the structure's 1950s Mid-Century architecture and is compatible with the varying architectural character of the neighborhood. The proposed addition and remodel conform to all of the applicable development standards of the RBRD-18 zone.
8. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted

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plans and programs in that, the project was reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). The project retains the residential use and improves the parking condition with the conversion of the duplex to a single-family residence. There are no adopted specific plans that apply to the subject property.

Site Development Permit 19-0013

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code (DPZC) in that, the addition and remodel strictly comply with all development standards of the Dana Point Zoning Code for the RBRD-18 zone. The project also complies with the Floodplain Overlay District (FP-3) requirements in Section 9.31.050(c)(3)(A) in that the addition does not exceed the one time allowed expansion of 10 percent of the gross square footage of the single-family residence and the remodel does not exceed the 10 percent of the structure's value, as conditioned. The project also demolishes less than 50 percent of the walls of the structure to allow it to remain as a legal nonconforming per Section 9.63.040.d of the Dana Point Zoning Code.
2. That the site is suitable for the proposed use and development in that the project converts the duplex to a single-family residence and the addition and remodel improvements comply with the setback requirements of the RBRD-18 zoning district. The project retains the residential use and improves the parking condition with the conversion of the duplex to a single-family residence. The project also demolishes less than 50 percent of the walls of the structure to allow it to remain legal nonconforming per Section 9.63.040.d of the Dana Point Zoning Code. The project design complies with the limitations and construction design requirements for nonconforming Floodplain Overlay District (FP-3) requirements, as identified in Section 9.31.050(c)(3)(A) because the addition is located on the second floor and on the landward side of the structure.
3. That the project is in compliance with all elements of the General Plan and all applicable provision of the Urban Design Guidelines in that, the proposed improvements are found to be consistent with all elements of the Dana Point General Plan and will further General Plan Urban Design Element Goal No. 2, which states that development should *"preserve the individual positive character and identity of the City's*

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**communities” by enhancing the 1950s structure with new windows/doors and siding is compatible and complementary to surrounding neighborhood. The second story addition complies with the Design Guideline II.C. Architectural Character Section 2 - Reduction of Building Bulk in that it is not visible from the street and preserves the architecture of the structure.**

4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture, **in that, the project is appropriate for the site as the structure would comply with the development standards of the RBRD-18 zoning district. The project design addresses the requirements of the Floodplain Overlay District to avoid hazards associated with the FP-3 by limiting the addition to two percent of the structure’s current square footage and the remodel is 10 percent of the value of the structure, as conditioned. The project preserves the 1950s Mid-Century modern architecture of the house and its compatibility with the mix of architectural styles in the neighborhood.**

Conditions:

General:

1. Approval of this application permits the 74 square foot addition and remodel to convert a duplex to a single-family residence at 35131 Beach Road in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
3. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material,

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not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.

5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.
7. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
8. The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
9. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
10. Based on Public Works review of the submitted plans, all work associated with the proposed remodel/addition of the existing single-family residence is within private property, does not include grading or drainage improvements. The scope of work shall be reviewed during the plan check process by

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Planning and Building Departments to ensure the work for the remodel is permitted within the flood plain by a one-time exemption.

11. The scope of work shall be reviewed during the plan check process by Planning and Building Departments to ensure the proposed building addition is located at the landward side of the existing residence and consists of living area located above (and no new foundation elements proposed within the existing residence for the remodel portion of the project scope). The plan check process shall ensure a wave runup and coastal hazard study is not being requested as part of this review.
12. As the proposed building addition is located at the landward side of the existing residence above the garage (and no new foundation elements are proposed within the existing residence seaward of the garage), a wave runup and coastal hazard study is not being requested as part of this review.
13. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion control measures of a type, size and location as approved by the Director of Public Works. The erosion control measures shall be constructed to the satisfaction of the Director of Public Works prior to the start of construction. The applicant shall maintain the erosion control devices until the final approval of all work.
14. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling.
15. Please note that no concentrated storm water may be outlet to the beach or Pacific Ocean, as it is an Environmentally Sensitive Area. All concentrated drainage shall be directed toward Beach Road. Open roof gutter downspouts discharging to a splash block are not acceptable on Beach Road; the downspouts must discharge to an approved outlet such as an infiltration system (an infiltration system with an overflow to Beach Road is a typical drainage outlet system on Beach Road). Pervious surfaces are allowed to drain uncollected and infiltrate directly into the existing site. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
16. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The Applicant, or Applicant's

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agent(s), shall be responsible for coordinating any potential conflicts or existing easements.

**Prior to Issuance of a Building Permit:**

17. Prior to Building Permit application, the applicant shall conduct sufficient Destructive Testing (multiple locations) to thoroughly determine and verify the existing foundation system. The application shall include a report presenting the results of the destructive testing and description of the existing foundation system (including descriptions of the destructive testing, logs of test pits, test pit location map, photos, and plans of the existing foundation system, etc.). The testing shall be conducted by the project Geotechnical Professional or other project licensed professional.
18. Based on the results of the required destructive testing and prior to Building Permit application, an existing foundation plan and structural calculations based on the existing foundation shall submit for review and approval.
19. The proposed project scope of the remodel shall be revised should any new or additional foundation elements be required through the review and approval process. Revisions to the proposed project may be required to limit the scope of work to only those improvements that are supported by the existing foundation system, as tested and verified by the destructive testing.
20. The Planning Department shall review and approve all project revisions required due to foundation revisions. The Planning Department shall review and approval all revisions regarding the allowable valuation impacts and any needed entitlement permitting. This may include a revision to Coastal Development Permit and an additional public hearing.
21. At the conclusion of demolition activities, a separate Demolition Inspection shall be conducted by Planning, Public Works, and Building departments. The demolition inspection shall verify the limit of demolition per the approved plans, and include exposing and verification of the existing foundation elements of the structure.
22. The applicant shall provide a drainage plan for the proposed building remodel/addition in accordance with the City of Dana Point standards. If all site surface water drainage conditions are to remain as-is; please show the existing information and add a note to the plans stating such. Please note that all impervious surface storm drainage shall be directed to Beach Road. Pervious surfaces will be allowed to drain uncollected and infiltrate directly into the existing site. Concentrated flow is not permitted to discharge to the Pacific Ocean, an Environmentally Sensitive Area (ESA).

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23. The proposed landward addition requires the applicant submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval. The geotechnical report provided as part of this submittal is preliminary and not complete at this time. The consultant has provided an opinion that the proposed construction is feasible from a geotechnical standpoint. The report has been reviewed as it relates to this Coastal Development Permit. However, as the report is not complete, it has not been thoroughly reviewed at this time. A thorough review of the report will be performed as part of the building plan permit process.
24. Any geotechnical report, memo or input provided as part of the CDP submittal is preliminary and not complete for permitting purposes. A thorough review of the geotechnical report will be performed as part of the landward addition building permit process. The foundation to support the proposed building addition is considered to be a caisson/grade beam foundation system unless otherwise approved.
25. The applicant shall submit a separate retaining wall plan, as needed, for any and all proposed site walls, in compliance with all Building Department standards for review and approval. All walls shall be designed in conformance with the applicable flood plain standards.
26. The scope of work for the remodel must result in ordinary alterations. A deed restriction must be recorded on the property that restricts the ability for the owner to remodel or alter the structure until the value limit for the approved scope is exhausted (one-year results in a rundown of 10 percent of the value of the structure, i.e. a remodel that is 35 percent of the value of the structure will take 3.5 years to expire the restrictions for future permits).
27. The applicant shall submit a current title report listing the current owner, all easements on the property, and all other encumbrances to the lot. The legal description and Assessor's Parcel Number shall match those on the submitted plans for review and approval.
28. Any changes or revisions to the plans required upon the conditioned post-demolition inspection shall be reviewed and approved by Public Works. Additional geotechnical or coastal engineering recommendations may be required.
29. All documents prepared by a professional shall be wet-stamped and signed.
30. Prior to issuance of a Building Permit provide a note on first sheet of the plans stating "No new footings are permitted for the remodel area of the house."

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31. Prior to the issuance of Building Permit the Structural Engineer for the project shall verify and provide a letter that the existing footings and the house's structural design will accommodate the proposed remodel design per CDP19-0006 and SDP19-0013 with no new footings proposed in the remodel area (area not associated with the proposed addition above the garage).
32. Prior to issuance of a Building Permit the construction drawings shall include a demolition plan.
33. The project shall comply with the 2016 editions of the Building Code with all local amendments
34. The Applicant, or Applicant's Agent(s), shall submit payment for all supplemental fees, including school, park, water, sewer and other impact-related fees.
35. Submit a foundation and Soils investigation report by a Registered Design Professional and conducted in conformance with CBC.
36. Building plans shall show compliance and indicate method of verification of compliance with all CALGreen requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.
37. Prior to the issuance of a building permit approvals are required from the Planning Division, Building Division, Public Works, and the Orange County Fire Authority.
38. Separate review, approval, and permits are required for separate structures, retaining walls, site walls over three feet, and fire sprinklers.

**Prior to Issuance of a Certification of Use and Occupancy:**

39. Prior to commencement of framing, the Applicant, or Applicant's Agent(s), shall submit a foundation certification, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP19-0006 and SDP19-0013. The City's standard "Setback Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed Civil Engineer/Surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval. Certification shall verify that the location of the structure is in compliance with the structure and patio string-lines as indicated on the approved.
40. A Final or As-Built Drainage Plan shall be submitted for review and



**PLANNING COMMISSION RESOLUTION NO. 20-02-10-XX  
CDP19-0006 AND SDP19-0013  
PAGE 11**

approval by Public Works. The Final or As-Built Drainage Plan shall be approved by Public Works prior to Engineering Final Approval.

41. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual. The Final Geotechnical Report shall be reviewed and approved by the Public Works Department prior to Engineering Final Approval.
42. All landscaping and/or structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
43. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of finish architecture/materials and compliance with any outstanding project conditions of approval.

DRAFT

**PLANNING COMMISSION RESOLUTION NO. 20-02-10-XX  
CDP19-0006 AND SDP19-0013  
PAGE 12**

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 10<sup>th</sup> day of February, 2020 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Roy Dohner, Chairperson  
Planning Commission

ATTEST:

\_\_\_\_\_  
Brenda Wisneski, Director of  
Community Development

Supporting Document 2: Vicinity Map



## Vicinity Map

35131 Beach Road, CDP19-0006/SDP19-0013



Supporting Document 3:            Site Photos











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CHARLES HENRY, PBD

DATE:

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PROJECT:

**IRANI  
 RESIDENCE**

DEVELOPER:

PROJECT LOCATION:  
 35131 BEACH ROAD  
 DANA POINT, CA

SHEET NAME:

**AS BUILT  
 FLOOR PLAN**

REVISIONS:

No.	DATE	DESCRIPTION
1	12/10/2019	SUBMITTED TO CITY
1	01/20/2020	CITY REVISIONS #1

PROJECT INFORMATION:

OFFICE PROJECT NO.: CCHDG\_10\_18

REVIEWED BY:

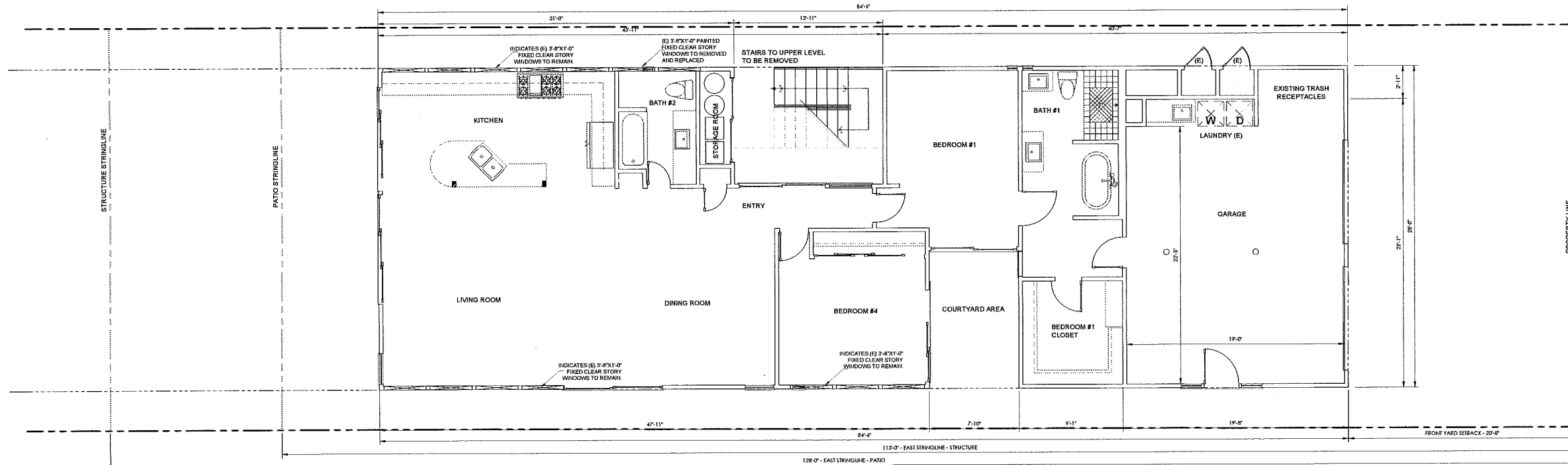
DRAWN BY: CH

SCALE: N/A

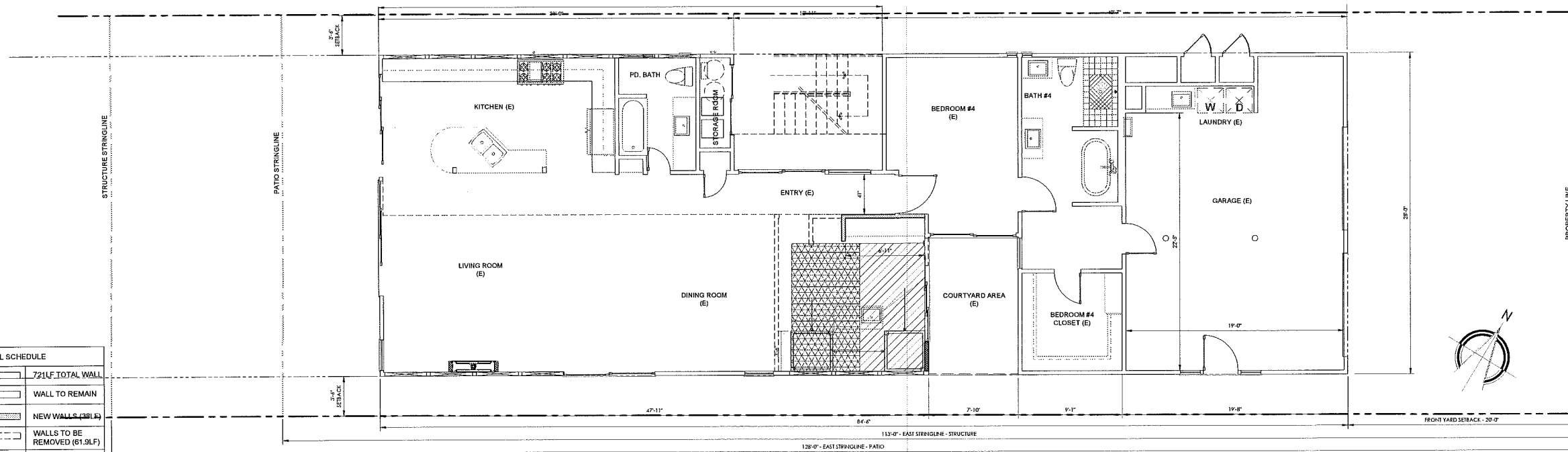
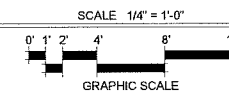
DATE: 01/20/2020

SHEET NO.

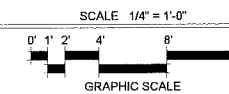
**A1.0**



**FIRST FLOOR AS-BUILT PLAN**



**FIRST FLOOR DEMOLITION PLAN**



WALL SCHEDULE	
[Symbol]	721LF TOTAL WALL
[Symbol]	WALL TO REMAIN
[Symbol]	NEW WALLS (381LF)
[Symbol]	WALLS TO BE REMOVED (61.9LF)
[Symbol]	STAIRS
[Symbol]	(E) CLEARSTORY WINDOWS TO REMAIN
[Symbol]	(E) SECOND FLOOR DECK AREA TO BE REMOVED (83SF)
[Symbol]	(E) SECOND FLOOR AREA TO BE REMOVED (66SF)
TITLES	
(N)	NEW
(E)	EXISTING
(COU)	CHANGE OF USE ONLY

**NOTE:**  
 NO NEW FOUNDATION ELEMENTS ARE ALLOWED FOR THE REMODEL OF THIS RESIDENCE.  
 THE PROPOSED IMPROVEMENTS ARE BASED UPON AN ASSUMED FOUNDATION SYSTEM. THE FOUNDATION SYSTEM SHALL BE VERIFIED THROUGH DESTRUCTIVE TESTING AND ON-SITE INVESTIGATION PRIOR TO PERMIT APPLICATION AND APPROVAL.



CHARLES HEINCY, PBD

DATE:

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PROJECT:

**IRANI RESIDENCE**

DEVELOPER:

PROJECT LOCATION:  
 35131 BEACH ROAD  
 DANA POINT, CA

SHEET NAME:

**AS BUILT FLOOR PLAN**

REVISIONS:

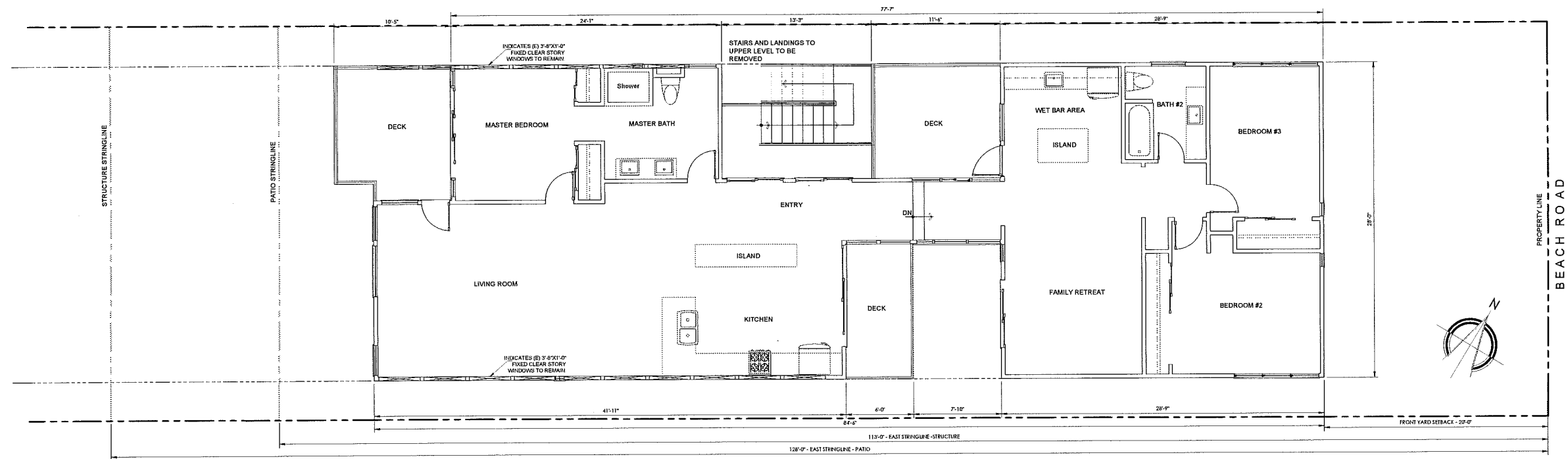
No.	DATE	DESCRIPTION
1	12/10/2019	SUBMITTED TO CITY
1	01/20/2020	CITY REVISIONS #1

PROJECT INFORMATION:

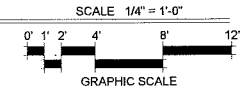
OFFICE PROJECT NO.: CCHDG 10\_18  
 REVIEWED BY:  
 DRAWN BY: CH  
 SCALE: N/A  
 DATE: 01/20/2020

SHEET NO.

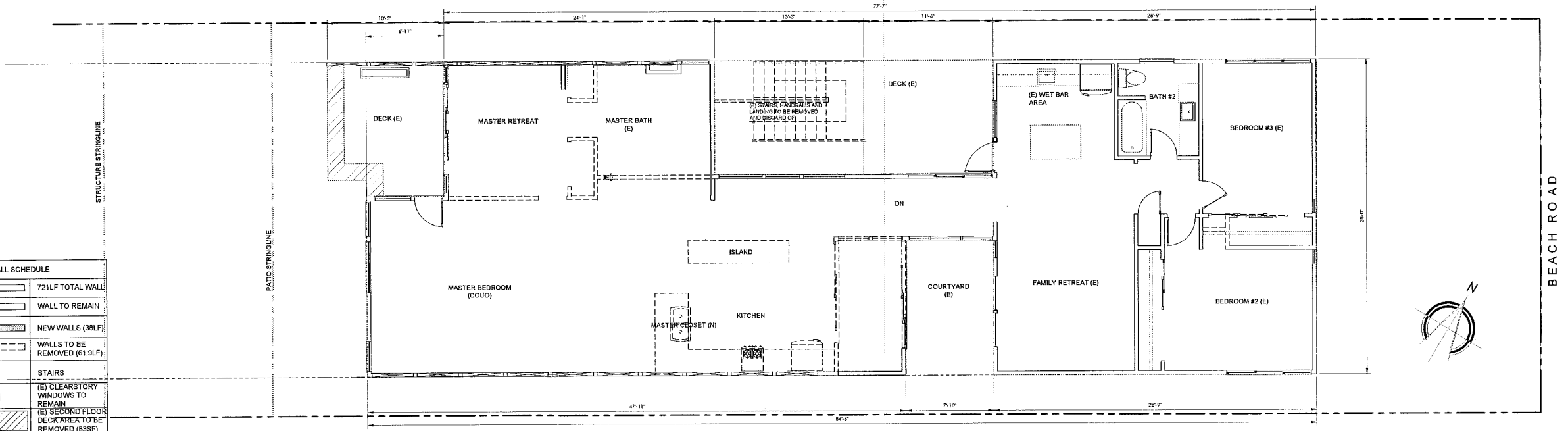
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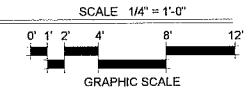
**SECOND FLOOR AS-BUILT PLAN**



**NOTE:**  
 NO NEW FOUNDATION ELEMENTS ARE ALLOWED FOR THE REMODEL OF THIS RESIDENCE.  
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**SECOND FLOOR DEMOLITION PLAN**



WALL SCHEDULE	
	721LF TOTAL WALL
	WALL TO REMAIN
	NEW WALLS (38LF)
	WALLS TO BE REMOVED (61.9LF)
	STAIRS
	(E) CLEARS STORY WINDOWS TO REMAIN
	(E) SECOND FLOOR DECK AREA TO BE REMOVED (83SF)
	(E) SECOND FLOOR AREA TO BE REMOVED (66SF)
TITLES	
(N)	NEW
(E)	EXISTING
(COUO)	CHANGE OF USE ONLY



**CCH DESIGN GROUP, INC.**  
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 32312 SHALLOT CT  
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CHARLES HEINCY, PBD

DATE:

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PROJECT:

**IRANI  
 RESIDENCE**

DEVELOPER:

PROJECT LOCATION:  
 35131 BEACH ROAD  
 DANA POINT, CA

SHEET NAME:

**PROPOSED  
 FLOOR PLAN**

REVISIONS:

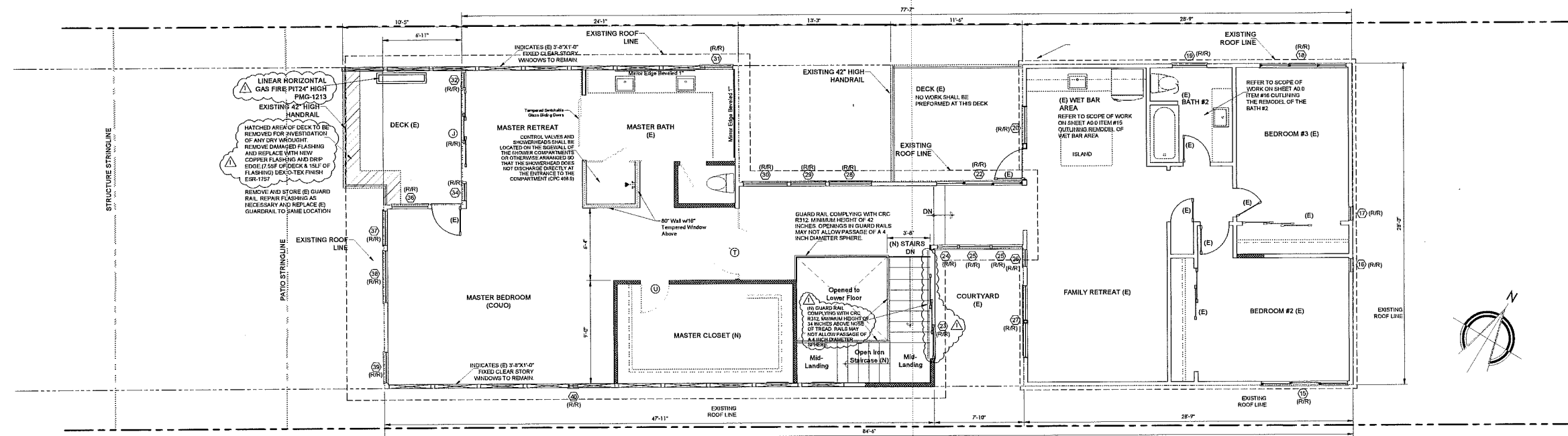
No.	DATE	DESCRIPTION
1	12/10/2019	SUBMITTED TO CITY
1	01/20/2020	CITY REVISIONS #1

PROJECT INFORMATION:

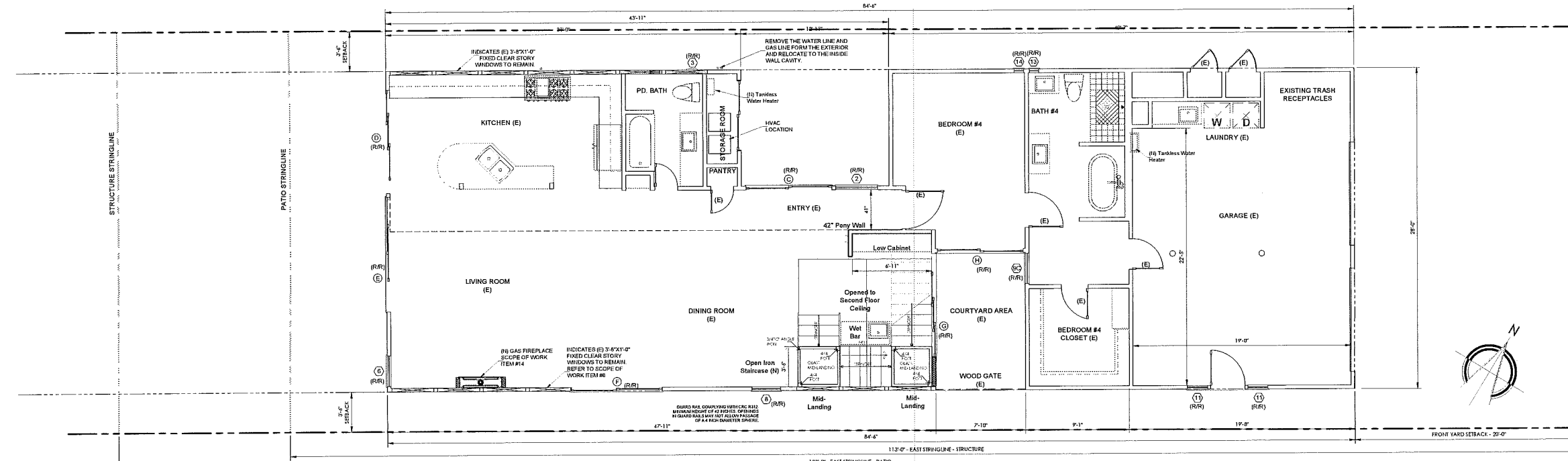
OFFICE PROJECT NO.: CCHDG 10\_18  
 DRAWN BY: CH  
 SCALE: N/A  
 DATE: 01/20/2020

SHEET NO.

**A1.2**



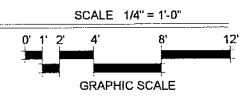
**PROPOSED 2ND FLOOR**

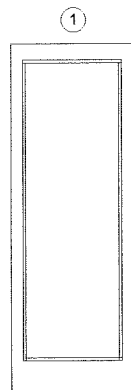


**PROPOSED 1ST FLOOR**

**PROPOSED FLOOR PLAN**

**NOTE:**  
 NO NEW FOUNDATION ELEMENTS ARE ALLOWED FOR THE REMODEL OF THIS RESIDENCE.  
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SLAB DOOR TO MATCH EXISTING INTERIOR DOORS

DOORS SCHEDULE

Table with columns: SYM., LOCATION, QNTY., WIDTH, SIZE HEIGHT, THICK, GLASS AREA, STYLE, NOTES, MATERIAL (FRAME, DOOR), S.C., H.C., HW'D, and Remarks. Rows include Master Bed Entry, Master Closet, Entry, Kitchen, Living Room, Courtyard Area, and Master Retreat.

NOTES:

- 1- EXTERIOR DOORS SHALL COMPLY WITH COUNTY BUILDING CODE 92.1.708A.3
2- EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL OR SOLID CORE WOOD WITH A MINIMUM THICKNESS OF 1 3/4"
3- GLASS DOOR DUEL PANE AND TEMP. BOTH PANES
4- MINIMUM 20 MINUTE FIRE RATED DOOR BETWEEN OCCUPIED LIVING SPACE AND THE GARAGE WITH SELF-CLOSING HINGES
5- MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1
6- DOORS BETWEEN GARAGES AND OCCUPIABLE SPACES (ENCLOSED SPACES INCLUDING HABITABLE SPACES, BATHROOMS, CLOSETS, HALLS, STORAGE AND UTILITY AREAS) SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING AND SELF CLOSING HINGES.
7- INTERIOR DOORS, 1 3/8" THICK, PRE-HUNG PRIMED COMPOSITE, OR EQUAL SIZE AS NOTED ABOVE
8- JELD-WEN FIBERGLASS DOOR WITH BRONZE ALUM. THRESHOLD; SWEEP; AURALAST EXT. FRAME OR EQUAL
9- BI-FOLD SECTION DOORS BY WINDOR PRODUCTS WITH RECESSES TRACKS AND CORNER LOCKING HARDWARE - BI-FOLD SECTION TO BE DUAL TEMP GLAZING
10- ALL HINGES ARE TO BE OIL RUBBED BRONZE

WINDOW SCHEDULE

Table with columns: SYM., LOCATION, EXIST., R/R, QTY, SIZE (WIDTH, HEIGHT), AREA SQ. FT., STYLE, TEMPERED (\*, \*\*), LOW-E, FRAME, HD'R HGT (7'-6", 8'-0"), DETAIL (HDR, JAMB, SILL), and Remarks. Rows include various rooms like Entry, Powder Bath, Living Room, Dining Room, Courtyard Area, Garage, Bath #4, Bedroom #4, and multiple bedrooms/bathrooms.

NOTES:

- EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS AND GLAZED OPENINGS WITHIN EXTERIOR GARAGE DOORS SHALL BE MULTI-PANED GLASS WITH MINIMUM ONE TEMPERED PANE (GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENTS IN INTERLOCK AREAS AND BE CERTIFIED TO ANSI/AAMA/HWDA 101/15.2-97 STRUCTURAL REQUIREMENTS) (COUNTY BUILDING CODE 92.1.708A.2)
1 - \* - TEMPERED AT INTERIOR PANE ONLY
\*\* - TEMPERED BOTH INTERIOR AND EXTERIOR PANE
2 - GLASS BLOCK UNITS
3 - MINIMUM 20-MINUTE FIRE RATER (PROVIDE LISTING OR TEST REPORT)
4 - MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2
WINDOWS BY: MILGARD OR EQUAL TO BE APPROVED BY DEVELOPER. STYLE LINE SERIES FRAME COLOR SELECTION BY DEVELOPER
CLEARSTORY WINDOWS: ALL EXISTING CLEARSTORY WINDOWS SHALL REMAIN. INSPECT EACH WINDOW AND REPAIR ANY DAMAGE THAT MAY BE FOUND.

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CHARLES HEINCY, PBD

DATE:

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PROJECT:

IRANI RESIDENCE

DEVELOPER:

PROJECT LOCATION: 35131 BEACH ROAD DANA POINT, CA

SHEET NAME:

DOOR/WINDOW

REVISIONS:

Table with columns: No., DATE, DESCRIPTION. Shows revision 1 on 01/20/2020 for CITY REVISIONS #1.

PROJECT INFORMATION:

OFFICE PROJECT NO.: CCHDG 10\_18
REVIEWED BY:
DRAWN BY: CH
SCALE: N/A
DATE: 01/20/2020

SHEET NO.

A1.3

REVISIONS:

No.	DATE	DESCRIPTION
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1	01/20/2020	CITY REVISIONS #1

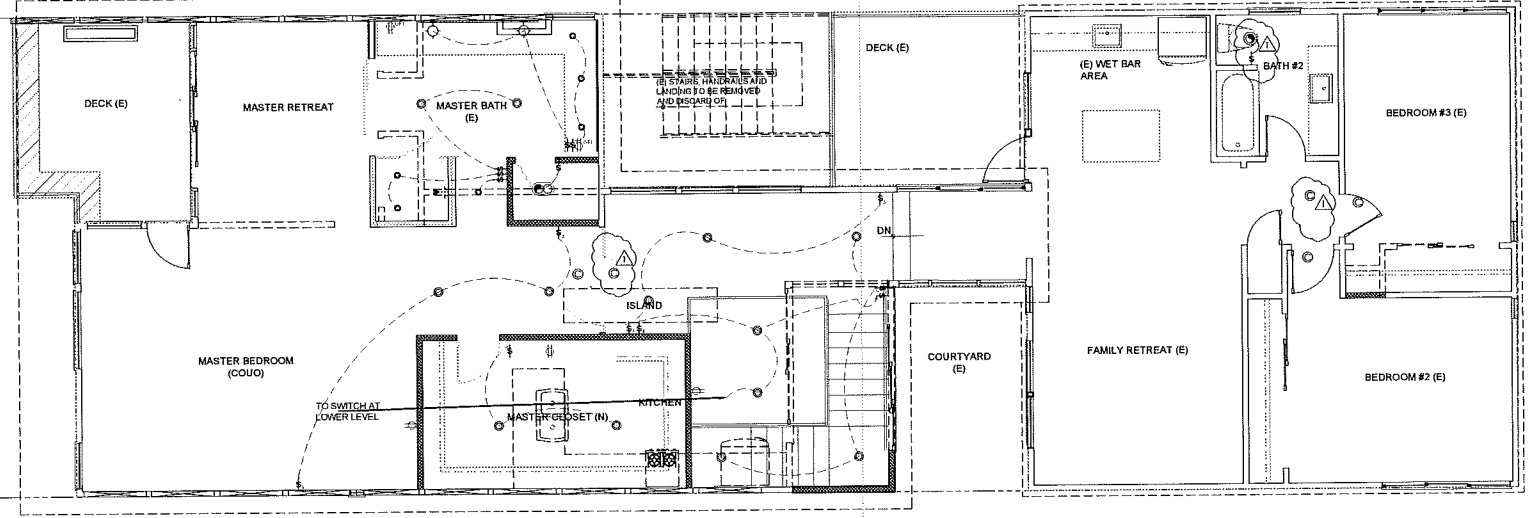
**ELECTRICAL & MECHANICAL SYMBOLS LEGEND**

- ⊕ 110v DUPLEX RECEPTACLE
- ⊕ 110v QUAD RECEPTACLE
- ⊕ 220V RECEPTACLE
- ⊕ 2HOT DUPLEX RECEPTACLE
- ⊕ IN CABINET RECEPTACLE W/ SWITCH
- ⊕ 110v GFI DUPLEX RECEPTACLE
- ⊕ 110v GFI RECEPTACLE W/ WP, COVER
- ⊕ SINGLE POLE SWITCH
- 3 3-WAY SWITCH
- 4 4-WAY SWITCH
- ⊕ DIMMER SWITCH - APPROVED TYPE
- ⊕ WALL FIXTURE
- ⊕ CEILING FIXTURE
- ⊕ CEILING FIXTURE W/ DIMMER
- ⊕ PORCELAIN CEILING FIXTURE
- ⊕ WALL SCONCE FIXTURE W/ DIMMER
- ⊕ UNDER CABINET LIGHTING
- ⊕ TRACK LIGHT FIXTURE
- ⊕ 48" HIGH EFFICACY FLUOR. FIXTURE
- ⊕ HIGH EFFICACY EXT. FLUOR. FIXTURE
- ⊕ HIGH EFFICACY EXT. FLUOR. FIXTURE
- ⊕ WEATHERPROOF GFI RECEPTACLE FOR X-MAS LIGHTS, SWITCH LOCATION PER OWNER
- ⊕ LANDSCAPE LIGHTING, LOCATE SWITCH
- = VACANCY SENSOR
- = OCCUPANCY SENSOR
- ⊕ LED FLUSH LIGHT WITH APPROVED DIMMER-AIRRIGHT REGMNT
- ⊕ INCANDESCENT FLUSH SPOT LIGHT W/ APPROVED DIMMER-AIRRIGHT REGMNT
- ⊕ HEAT LAMP FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN W/ APPROVED LIGHT
- ⊕ TELEPHONE JACK
- ⊕ COMPUTER NETWORKING
- ⊕ ALARM PANEL
- ⊕ SPEAKER LOCATION
- ⊕ CABLE TV
- ⊕ SMOKE DETECTOR - HARD WIRED
- ⊕ SMOKE DETECTOR - BATTERY ONLY
- ⊕ CARBON MONOXIDE SENSOR
- ⊕ COMBO SMOKE/MONOXIDE SENSOR
- ⊕ JUNCTION BOX W/ INTERIOR SWITCH
- ⊕ THERMOSTAT
- ⊕ DOORBELL BUTTON
- ⊕ DOOR CHIME
- ⊕ CEILING FAN W/ OR W/O LIGHTING VERIFY WITH OWNER
- ⊕ FUEL GAS SUPPLY
- ⊕ GAS VALVE W/ KEYED SHUTOFF
- ⊕ WATER SHUT OFF WITH HOSE BIB
- ⊕ ICE MAKER W/ SHUTOFF
- ⊕ HOSE BIBB W/ APPROVED BACKFLOW
- ⊕ RETURN AIR GRILL
- ⊕ AIR REGISTER
- ⊕ HIGH EFFICACY FIXTURE
- ⊕ INCANDESCENT FIXTURE

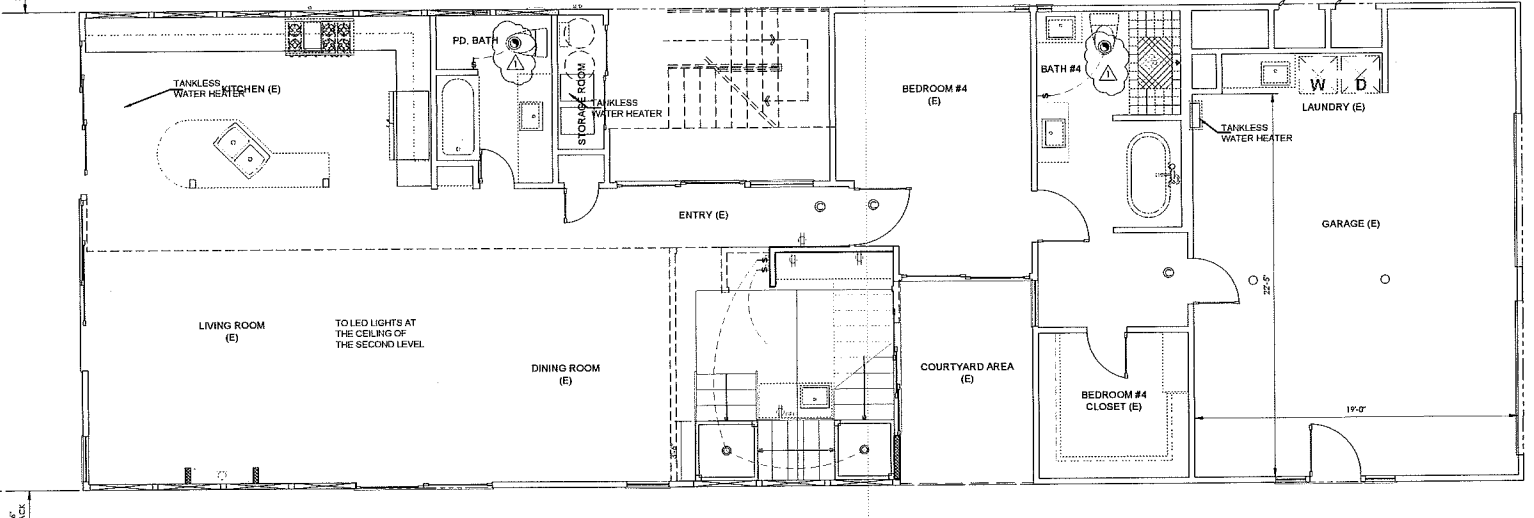
- A. General Lighting Requirements. All installed lighting shall be approved for installation and installed according to the listing. Fire clearances shall be maintained.
- B. High-Efficiency Lighting. High-efficiency luminaires shall meet the efficacy and fixture requirements of California Building Energy Efficiency Standards 150(A).
- C. Luminaires Efficacy. Installed luminaires shall be classified as high-efficiency or low-efficiency for compliance with Section 150(A)(9) in accordance with Table 150.0-A or Table 150.0-B, as applicable. CEC 150-K1-A, and per CEC 150(A).
- D. Switching Devices and Controls. A. High efficiency luminaires shall be switched separately from low efficiency luminaires. B. Exhaust fans shall be switched separately from lighting system. Exception to Section 150(A)(2) Lighting integral to an exhaust fan may be on the same switch as the fan provided the lighting can be switched OFF in accordance with the applicable provisions in Section 150(A)(2) while allowing the fan to continue to operate for an extended period of time. CEC 150(A)(2)
- E. Lighting in Kitchens. A minimum of 50 percent of the total rated wattage (except lighting integral to cabinets) of permanently installed lighting in kitchens shall be high efficacy. Low efficacy fixtures must be switched separately according to CEC 150(A)(3). Lighting integral to cabinets shall use no more than 20W of power per linear foot of illuminated cabinet.
- F. Lighting in Bathrooms. Lighting installed in bathrooms shall meet the following requirements: A. A minimum of one high efficiency luminaire shall be installed in each bathroom. B. All other lighting installed in each bathroom shall be high efficiency or controlled by vacancy sensors. CEC 150(A)(5)
- G. Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans shall meet the applicable requirements of Section 150(A). Exception to Section 150(A)(1): Lighting installed by the manufacturer in kitchen exhaust hoods. CEC 150(A)(1)
- H. Lighting in Garages, Laundry Rooms and Utility Rooms. Lighting installed in attached and detached garages, laundry rooms and utility rooms shall be high efficiency luminaires or controlled by vacancy sensors. CEC 150(A)
- I. Lighting other than in Kitchens, Bathrooms, Garages, Laundry Rooms, and Utility Rooms. Lighting installed in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms and utility rooms shall be high efficiency or shall be controlled by either dimmers or vacancy sensors. Exception 1 to Section 150(A)(7): Luminaires in closets less than 70 square feet. Exception 2 to Section 150(A)(7): Lighting in detached storage buildings less than 1,000 square feet located on a residential site. CEC 150(A)(7)
- J. Luminaires in Wet or Damp Locations. Luminaires installed in wet or damp locations shall conform CEC 410.10 (A) (7), (C), and (D).
- K. Recessed Luminaires in Ceilings. Luminaires recessed into ceilings shall meet all of the requirements listed in CEC 150(A)(8).
- L. Combustible Insulation Clearance. Combustible insulation shall be separated a minimum of 3 inches from recessed luminaires, fan motors, and other heat-producing devices. CEC 150(A)(9)
- M. Luminaires in Clothes Closets. Luminaires in clothes closets shall be per CEC 410.16
- N. Ceiling Fans. Outlet boxes for paddle fans shall conform to CEC 314.27 (C)
- O. Lighting Integral to Cabinets. Permanently installed lighting that is integral to cabinets shall use no more than 20 watts of power per linear foot and per CEC 150(A)(4)
- P. Residential Outdoor Lighting. Provide high efficiency luminaires, or a manually switched low efficacy luminaires controlled with a motion sensor and either a photo-control, an astronomical time clock, or a energy management control system, for each outdoor light fixture. Luminaires providing residential outdoor lighting shall meet the requirements, as applicable, of CEC 150(A)(5) (A) and (B)

- UTILITY SERVICE SHALL BE UNDERGROUND
- OUTDOOR RECEPTACLES SHALL BE WEATHER RESISTANT
- A MINIMUM OF (1) 20 amp CIRCUIT FOR BATHROOM OUTLETS. SUCH OUTLETS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM
- PROVIDE (2) 20 amp SMALL APPLIANCE CIRCUIT FOR KITCHEN COUNTER TOPS
- PROVIDE (1) 20 amp CIRCUIT FOR THE LAUNDRY ROOM. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS

- Electrical Service Grounding. Install a concrete encased electrode per CEC 250.52 and provide an approved bond.
- Exterior Lighting. All projects built in the County of San Diego shall comply with the County of San Diego Lighting Ordinance.
- GFCI Outlets. Ground Fault Circuit Interrupter (GFCI) outlets are required in bathrooms, at kitchen countertops, at laundry and wet bar sinks, in garages, in crawlspaces, in unfinished basements, and outdoors. CEC 210.8
- Branch Circuits. Branch circuits for lighting and for appliances, including motor-operated appliances, shall be provided per CEC 210.11
- AFCI Outlets. Bedroom electrical circuits must be protected by Arc Fault Circuit Interrupters (AFCI), per CEC 210.12
- Damp or Wet Area Ventilation. Each bathroom containing a bathtub, shower or tub-shower combination shall be mechanically ventilated in accordance with CMC, Chapter 4, and the CGSBS Code, Chapter 4, Division 4.1, R203.3.1. The mechanical exhaust fan for bathrooms shall be Energy Star compliant and ducted to terminate outside the building. Fan shall be controlled by a readily accessible humidistat - unless fan functions as a component of a whole house ventilation system with controls capable of adjustment of between a relative humidity of 50% to 85%. CALGreen 4.605.6
- Flexible Cords. Flexible cords for garbage disposals, dishwashers, trash compactors, wall mounted ovens, counter mounted cooking units, and range hoods, etc. shall conform to CEC 422.16
- Circuit Cords. A complete circuit card shall be provided the building official at the time of electrical rough-in inspection.
- Integral Exhaust Fan/Lights. Lighting integral to exhaust fans must be controlled by a separately from the exhaust fan.
- Mechanical Ventilation. Provide mechanical ventilation directed directly to the outside capable of providing 50 cfm exhaust in bathrooms, water closets compartments, laundry rooms, and similar rooms. CMC Table 4-1. The mechanical exhaust fan for bathrooms shall be Energy Star compliant and ducted to terminate outside the building. Fan shall be controlled by a readily accessible humidistat - unless fan functions as a component of a whole house ventilation system with controls capable of adjustment of between a relative humidity of 50% to 85%. CALGreen 4.605.6
- Heating, Air Conditioning, and Refrigeration Equipment Outlet. A 125-volt, single-phase, 15- or 20-ampere-rated receptacle outlet shall be installed at an accessible location for the servicing of heating, air-conditioning, and refrigeration equipment per CEC 210.63
- Appliances Accessed from the Outside. Where such appliances installed within a garage are enclosed in a separate, approved compartment having access from outside of the garage, such appliances shall be permitted to be installed at floor level, provided the required combustion air is taken from and discharged to the exterior of the garage. R 1508.1.2
- AC Condensing Unit Placement. AC condensers shall be located at least 5' away from an laundry vent termination.
- Lighting Outlets in Storage or Equipment Spaces. Attics, underfloor spaces, utility rooms, and basements, shall have at least one lighting outlet containing a switch or controlled by a wall switch installed where these spaces are used for storage or contain equipment requiring servicing. At least one point of control shall be at the usual point of entry to these spaces. The lighting outlet shall be provided at or near the equipment requiring servicing. CEC 210.7(6)
- Outdoor Junction Boxes. Junction boxes, switches, and covers, etc. used in outdoor locations shall be approved for outdoor use, and installed in code compliant with the following: (1) Ducts shall be of galvanized steel or a material having equivalent corrosion resistance, strength, and rigidity. Exception: Within dwellings units, unobstructed duct and joint spaces shall not be prohibited from conveying combustion air, provided that not more than one fire block is removed. (2) Ducts shall terminate in an unobstructed space, allowing free movement of combustion air to the appliances. (3) Ducts shall have a single space. (4) Ducts shall not serve both upper and lower combustion air openings where both such openings are used. The separation between ducts serving upper and lower combustion air openings shall be maintained to the source of combustion air. (5) Ducts shall be installed on the exterior of the building shall have the lowest side of the combustion air intake openings located not less than 12" vertically from the adjoining finished ground level. (6) Horizontal upper combustion air ducts shall not be sloped downward toward the source of combustion air. (7) The remaining space surrounding a chimney line, gas vent, special gas vent, or plastic piping installed within a masonry chimney flue, metal, or factory-built chimney shall not be used to supply combustion air. (8) Exhaustion. Direct vent appliances designed for installation in a solid fuel burning fireplace where installed in accordance with the manufacturer's installation instructions. CMC 701.11
- Makeup and Exhaust Air Ducts. Environmental air ducts not regulated by other provisions of this code shall be in accordance with this section. Ducts shall be installed as approved by the Authority Having Jurisdiction, and shall comply with the provisions of Chapter 5, Exhaust ducts under positive pressure shall not extend into or through ducts or plenums. Exhaust ducts shall terminate outside the building and shall be equipped with back-draft dampers. R501.4
- Outside Opening Protection. An exhaust and intake openings that terminate outdoors shall be protected with corrosion resistant screens, louvers or grilles having a minimum opening size of 1/4" and a maximum opening size of 1/2", in any dimension. Openings shall be protected against local weather conditions. Outdoor air exhaust and intake openings shall meet the provisions for exterior wall opening protective in accordance with this code. R502.5
- Termination of Environmental Air Ducts. Environmental air duct exhaust shall terminate not less than 3 feet from a property line and 5 feet from openings into the building. CMC 504.5
- Direct-Vent Appliances. Liquid direct-vent appliances shall be installed in accordance with the manufacturer's installation instructions and Section 602.8.3 CMC 602.2.4
- Installation of Vents. Type B or Type I vents shall extend in a vertical direction with offsets not exceeding 45 degrees, except that a vent system having not more than one 90 degree offset shall be permitted. An angle greater than 45 degrees from the vertical is considered horizontal. The total horizontal distance of a vent plus the horizontal vent connector serving shall not exceed 75 percent of the vertical height of the vent. CMC 602.5
- Attic Air. Ventilation air shall be provided directly from the outdoors and not as transfer air from adjacent dwelling units or other spaces, such as garages, unconditioned crawlspaces, or unconditioned attics.
- Garage to Dwelling Seal. The wall and openings between occupiable spaces and the garage shall be sealed. HVAC systems that include air handlers or return ducts located in garages shall have total air leakage of no more than 1% of total fan flow when measured at 0.1 in. w.c. using California Title 24 or equivalents. Minimum Filtration. Mechanical systems supplying air to occupiable space through ductwork shall be provided with a filter having a minimum efficiency of MERV 6 or better. 6 Air Inlets. Air inlets (not exhaust) shall be located away from known contaminants.
- Whole House Ventilation. Air moving equipment used to meet either the whole-building ventilation requirement or the local ventilation exhaust requirement shall be rated in terms of airflow and sound continuously operating fans shall be rated at a maximum of 1.0 sone. c. Intermittently operated whole-building ventilation fans shall be rated at a maximum of 1.0 sone. c. Intermittently operated local exhaust fans shall be rated at maximum of 3.0 sone. d. Remotely located air-moving equipment (mounted outside of habitable spaces) need not meet sound requirements. f. At least 4 feet of ductwork between fan and intake grill.
- Whole Building Ventilation. A mechanical exhaust system, supply system, or combination thereof shall be installed for each dwelling unit to provide whole-building ventilation with outdoor air complying with ASHRAE Standard 62-2 as adopted by the California Energy Commission. REQUIRES HERS VERIFICATION.
- Kitchen Ventilation. An intermittent or continuously operating local mechanical exhaust system (with outdoor air) shall be installed in each kitchen and bathroom complying with ASHRAE Standard 62-2-2007 as adopted by the California Energy Commission. Intermittent local ventilation airflow exhaust rates shall be 50 cfm in bathrooms and 100 cfm in kitchens. Continuous local exhaust airflow rates shall be 20 cfm in bathrooms and 5 air changes per hour in kitchens based on kitchen volume. The fan shall should not exceed one sone.

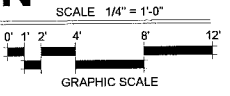


**PROPOSED 2ND FLOOR**



**PROPOSED 1ST FLOOR**

**PROPOSED ELECTRICAL PLAN**





**CCH DESIGN GROUP, INC.**  
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CHARLES HEINCY, PBD

DATE:

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PROJECT:

**IRANI RESIDENCE**

DEVELOPER:

PROJECT LOCATION:  
 35131 BEACH ROAD  
 DANA POINT, CA

SHEET NAME:

**EXTERIOR ELEVATIONS**

REVISIONS:

No.	DATE	DESCRIPTION
1	12/10/2019	SUBMITTED TO CITY
1	01/20/2020	CITY REVISION #1

PROJECT INFORMATION:

OFFICE PROJECT NO.: CCHDG 10\_18

REVIEWED BY:

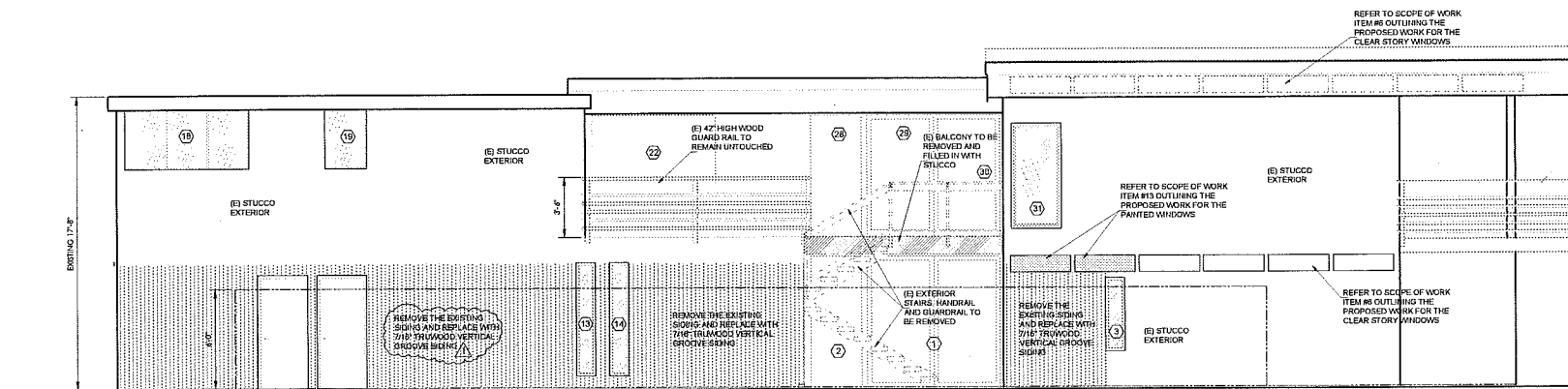
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SCALE: N/A

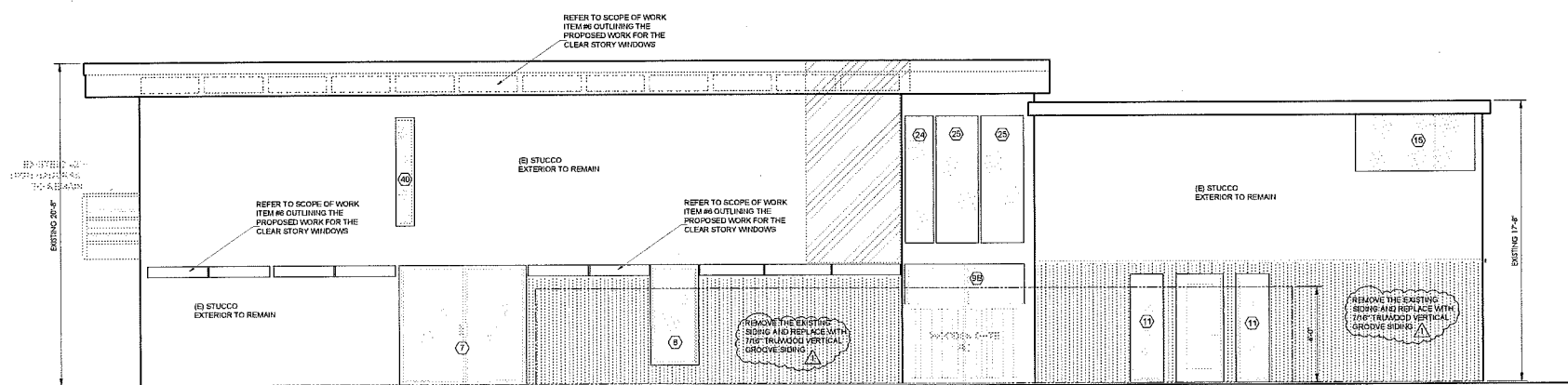
DATE: 01/20/2020

SHEET NO.

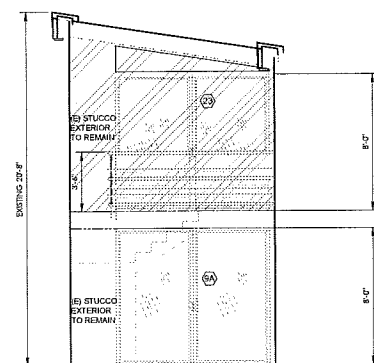
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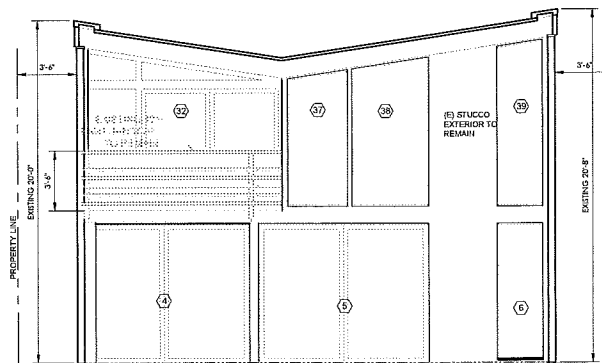
**NORTH ELEVATION**  
 (AS BUILT)



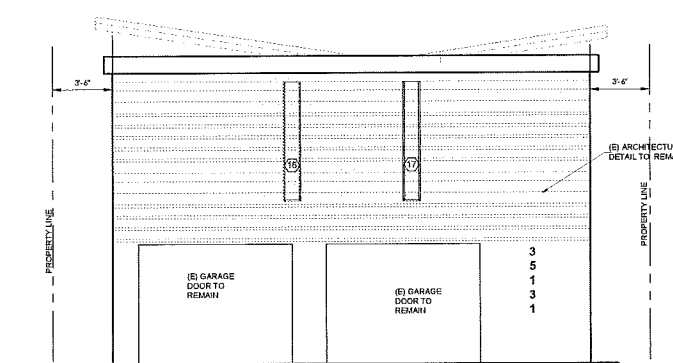
**SOUTH ELEVATION**  
 (AS BUILT)



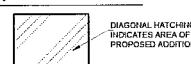
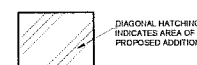
**EAST ELEVATION**  
 (INTERIOR COURTYARD)



**WEST ELEVATION**  
 (SEAWARD ELEVATION)



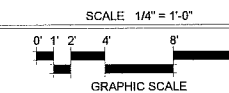
**EAST ELEVATION**  
 (BEACH ROAD)



**NOTE:**

NO NEW FOUNDATION ELEMENTS ARE ALLOWED FOR THE REMODEL OF THIS RESIDENCE.  
 THE PROPOSED IMPROVEMENTS ARE BASED UPON AN ASSUMED FOUNDATION SYSTEM. THE FOUNDATION SYSTEM SHALL BE VERIFIED THROUGH DESTRUCTIVE TESTING AND ON-SITE INVESTIGATION PRIOR TO PERMIT APPLICATION AND APPROVAL.

**PROPOSED ELEVATIONS**





**CCH DESIGN GROUP, INC.**  
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PROJECT:

**IRANI  
 RESIDENCE**

DEVELOPER:

PROJECT LOCATION:  
 35131 REACH ROAD  
 DANA POINT, CA

SHEET NAME:

**ROOF PLAN**

REVISIONS:

No.	DATE	DESCRIPTION
1	12/10/2019	SUBMITTED TO CITY
1	01/20/2020	CITY REVISION #1

PROJECT INFORMATION:

OFFICE PROJECT NO.: CCHDG 10\_18

REVIEWED BY:

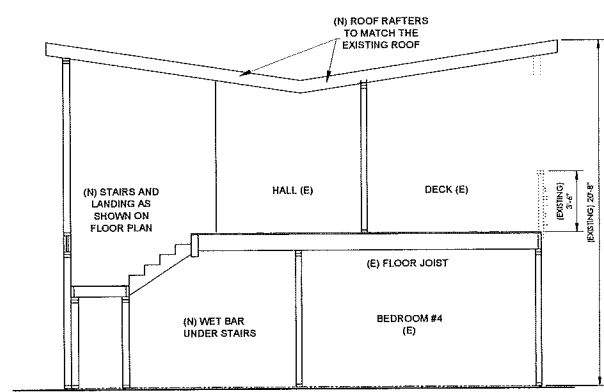
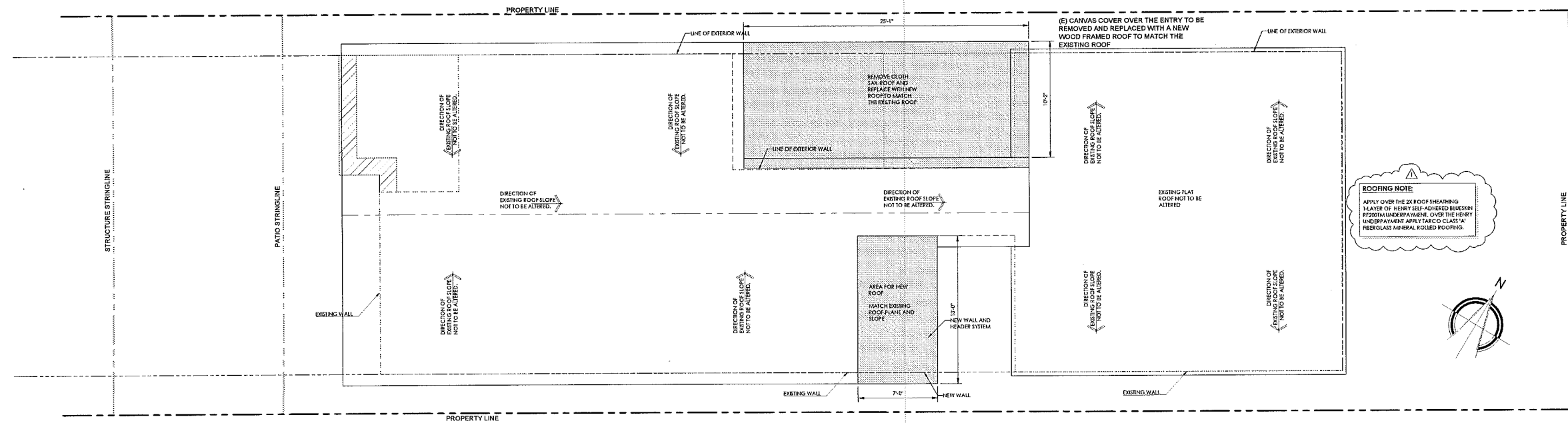
DRAWN BY: CH

SCALE: N/A

DATE: 01/20/2020

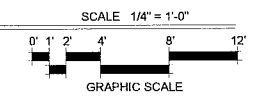
SHEET NO.

**A1.6**



**NOTE:**  
 NO NEW FOUNDATION ELEMENTS ARE ALLOWED FOR THE REMODEL OF THIS RESIDENCE.  
 THE PROPOSED IMPROVEMENTS ARE BASED UPON AN ASSUMED FOUNDATION SYSTEM. THE FOUNDATION SYSTEM SHALL BE VERIFIED THROUGH DESTRUCTIVE TESTING AND ON-SITE INVESTIGATION PRIOR TO PERMIT APPLICATION AND APPROVAL.

**PROPOSED ROOF PLAN**



**INTRODUCTION**  
 The following information is provided as a guide for detached One-and-Two family dwelling window replacements and new installations using the 2016 California Residential Code. Within the City of Dana Point, all window and exterior door replacements require a building permit regardless of how they are classified. This includes both "Retrofit Windows" and "New construction flanged windows".

All window permits will require a floor and/or plot plan and a window schedule to accompany the application. Planning review and approval is required prior to permit issuance. In areas with a Home Owner's Association (HOA), approval from the HOA is also required.

The plan must show the locations of the existing windows and the replacement windows size and type. The plan must identify the rooms associated with the window replacements and all sleeping room rescue egress must be clearly identified. Any changes to an existing non-compliant egress window will trigger compliance with the current applicable code dimensional requirements.

**ENERGY REQUIREMENTS**  
 Replacement window installations, without a Performance Energy Analysis, shall comply with the Mandatory Measures Prescriptive requirements. High Performance Windows are required, reducing the U-Factor down to 0.32 and the SHGC down to 0.25 per the 2016 California Energy Code Section 150.1(c)3A.

**WINDOW SCHEDULE**  
 A window schedule shall be provided on the plan listing the window sizes, egress components, U Factor, SHGC and any tempered glass requirements.

**VERY HIGH FIRE HAZARD SEVERITY ZONE**  
 For properties located within the Very High Fire Hazard Zone, the new and/or replacement windows shall be of tempered glass. For vinyl frame windows, the corners shall be of a welded construction with a metal reinforcement.

When installed, skylights and sloped glazing must be of tempered glass or other approved and tested materials and meeting the requirements of the Class A Assembly.  
 Please note, most plastic skylights and plastic sloped glazing do not meet the fire resistive requirements of the code. To install plastic skylights, the product must be listed, fire rated and tested by a nationally recognized testing laboratory.

**WINDOW INSTALLATION**  
 Approved corrosion-resistive flashings shall be installed shingle fashion in a manner to prevent entry of water into the wall cavity or structural framing components. All flashings shall be installed following the Window Manufacturer's Instructions and ASTM 2112 and AAMA Installation guidelines.

For retrofit windows, the existing moisture barrier is not disturbed allowing the use of sealants and caulking.

**DOOR CONVERSIONS**  
 When changing an existing window to a sliding or French door or when adding a new door, the following additional elements and/or requirements shall apply:

Landings are required at exterior doors. There shall be a landing or floor on each side of each exterior door. The width of each landing shall not be less than the door served. Every landing shall have a minimum dimension of 36 inches measured in the direction of travel. Exterior landings shall be permitted to have a slope not to exceed 1/4 unit vertical in 12 units horizontal (2-percent). Landing elevations at the required egress doors shall not be more than 1/2 inches lower than the top of the threshold.

Exception: The exterior landing or floor shall not be more than 7-3/4 inches below the top of the threshold provided the door does not swing over the landing or floor. When exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a ramp in accordance with Section R311.8 or a stairway in accordance with Section R311.7.

Exterior lighting required. A switch and light is required outside each outdoor entrance or exit. Installation of a new door will change the electrical receptacle layout within the room served by the door. Compliance of the minimum distances between outlets will apply. When moving the electrical wiring to allow a new door and adding the required lighting requires an electrical permit and inspection.

**SMOKE ALARMS AND CARBON MONOXIDE**  
 Interior and exterior alterations, repairs or additions having a valuation in excess of \$ 1,000 or when one or more sleeping rooms are added or created, the entire dwelling shall be provided with Smoke and Carbon Monoxide alarms per CRC Section R314 and R315.

Smoke Detectors shall be installed in the following locations:  
 In each sleeping room.

Outside each separate sleeping area in the immediate vicinity of the bedrooms.  
 On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

Exception:  
 Interconnection is not required in existing dwelling units where repairs do not result in the removal of wall and ceiling finishes, there is no access by means of attic, basement or crawl space, and no previous method for interconnection existed.

Carbon Monoxide Alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. An approved Carbon Monoxide Alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages.

Smoke Detectors shall be installed in the following locations:  
 Inside sleeping units within which fuel burning appliances are installed.  
 Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s).  
 On every level of a dwelling unit including basements.

Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit.

Exception:  
 Interconnection is not required in existing dwelling units where repairs do not result in the removal of wall and ceiling finishes, there is no access by means of attic, basement or crawl space, and no previous method for interconnection existed.

**EMERGENCY ESCAPE AND RESCUE OPENINGS - R310**

Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency escape and rescue shall be required in each sleeping room. The following outlines the minimum dimensions for egress compliance:

The bottom of the clear opening is not greater than 44 inches measured from the finished floor to the clear opening, and  
 The minimum net clear opening area of 5.7 square feet is provided, and  
 Exception: Net clear opening space of 5 square feet is allowed for windows at grade level. (R310.2.1)

The net clear opening height of 24 inches is provided, and  
 Net clear opening width of 20 inches is provided.

Please note that all four of the above elements are required for egress compliance. While some windows may appear to be compliant when considering the overall opening size, window style and fixed window dimensions may render the open element to not comply. Casement windows without egress hinging may decrease the opening size as the window opens. All considerations must be given to egress window sizing.

**GLAZING - R308**

Glazing installed in windows and doors shall meet the hazardous locations requirements as specified in CRC R308.6.2. Laminated, Tempered or other approved safety glazing is required in the following locations:

Glazing adjacent to doors R308.4.2: Glazing in individual fixed or operable panels adjacent to a door where the bottom exposed edge of the glazing is less than 60 inches above the floor or walking surface and it meets either of the following conditions:

Where the glazing is within 24 inches of either side of the door in the plane of the door in a closed position.  
 Where the glazing is on a wall perpendicular to the plane of the door in a closed position and within 24 inches of the hinge side of an in-swinging door.

Glazing in windows R308.4.3: Glazing in an individual fixed or operable panel when all of the following conditions apply:

The exposed area of an individual pane is larger than 9 square feet, and  
 The bottom edge is less than 18" above the floor, and  
 The top edge is more than 36 inches above the floor, and

One of more walking surfaces located within 36 inches measured horizontally and in a straight line of the glazing.  
 Glazing adjacent to stairs and ramps where the bottom edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairs, landings and ramps. (R308.4.6)  
 Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.  
 Glazing in walls, enclosures or fences facing hot tubs, spas, whirlpools, saunas steam rooms, bathtubs, showers and indoor/outdoor swimming pools where the bottom edge of the glazing is less than 60 inches measures vertically above the standing or walking surface.

**OPERATIONAL CONSTRAINTS**  
 Emergency escape and rescue openings shall be maintained free of any obstructions other than those allowed by this section and shall be operational from the inside of the room without the use of keys, tools or special knowledge.

**ADDITIONAL REQUIREMENTS**  
 The following details the additional requirements that apply to windows:

**Window wells.** The minimum horizontal area of the window well shall be 9 square feet, with a minimum horizontal projection and width of 36 inches. The area of the window well shall allow the emergency escape and rescue opening to be fully opened.

Exception: The ladder or steps required by Section R310.2.3.1 shall be permitted to encroach a maximum of 6 inches into the required dimensions of the window well.

**Ladder and steps.** Window wells with a vertical depth greater than 44 inches shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position. Ladders or steps required by this section shall not be required to comply with Sections R311.7 and R311.8. Ladders or rungs shall have an inside width of at least 12 inches, shall project at least 3 inches from the wall and shall be spaced not more than 18 inches on center vertically for the full height of the window well.

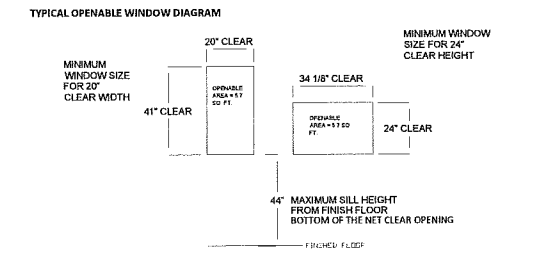
**Bulkhead enclosures.** Bulkhead enclosures shall provide direct access to the basement. The bulkhead enclosure with the door panels in the fully open position shall provide the minimum net clear opening required by Section R310.3.2. Bulkhead enclosures shall also comply with Section R311.7.10.2.

**Bars, grilles, covers and screens.** Bars, grilles, covers, screens or similar devices are permitted to be placed over emergency escape and rescue openings, bulkhead enclosures, or window wells that serve such openings, provided the minimum net clear opening size complies with Sections R310.1.1 to R310.1.3, and such devices shall be releasable or removable from the inside without the use of a key, tool, special knowledge or force greater than that which is required for normal operation of the escape and rescue opening. The release mechanism shall be maintained operable at all times.

Where the opening of the operable window is located more than 72" above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" (36" for other R-occupancies per CBC1015.8) above the finished floor surface of the room in which the window is located. Operable sections of windows shall not allow passage of a 4 inch diameter sphere where such openings are located within 24 inches of the finish floor. R312.2

All habitable rooms shall have windows with their total areas equaling at least 8% of the room's floor area and with their total opening area equaling at least 4% of the room's floor area.

All windows require a permanent California Energy Commission Certification Label.  
 Bay windows and similar assemblies require the manufacturer's listed installation instructions for permit issuance. (UL, ICC, or equivalence)



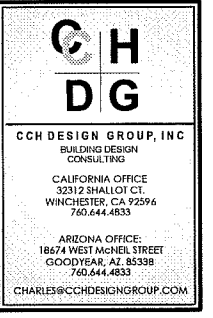
**EMERGENCY ESCAPE AND RESCUE WINDOW EGRESS**

**SAMPLE WIDTH / HEIGHT REQUIREMENTS FOR EMERGENCY ESCAPE AND RESCUE**

(Dimensions are inches)

WIDTH	20	20.571	21.522	22.523	23.524	24.525	25.526	26.527
HEIGHT	41	39.136	27.328	35.957	7.24	9.24	5.22	31.631
WIDTH	27.528	28.529	29.530	30.531	31.532	32.533	33.534	34.5
HEIGHT	29.829	32.828	27.827	420.926	526.125	725.224	924.323	1123.4

Note: Using both the minimum sizes for width and height will not obtain the required minimum area (5.7 sq. ft.) The above chart shows the minimum area for a given width or height. This area is larger than the minimum required for ventilation.



CHARLES HEINCY, PBD

DATE:

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PROJECT:

**IRANI RESIDENCE**

DEVELOPER:

PROJECT LOCATION:  
 35131 BEACH ROAD  
 DANA POINT, CA

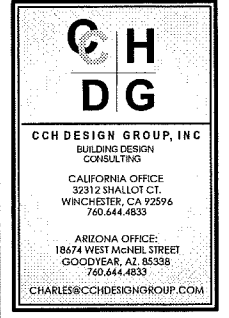
SHEET NAME:  
**CITY STANDARD WINDOW REPLACEMENT**

REVISIONS:

No.	DATE	DESCRIPTION
1	12/10/2019	SUBMITTED TO CITY
1	01/20/2020	CITY REVISIONS #1

PROJECT INFORMATION:  
 OFFICE PROJECT NO.: CCHDG 10\_18  
 REVIEWED BY:  
 DRAWN BY: CH  
 SCALE: N/A  
 DATE: 01/20/2020

SHEET NO.  
**A1.7**



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PROJECT:

IRANI RESIDENCE

PROJECT LOCATION: 35131 BEACH ROAD, DANA POINT, CA

DEVELOPER:

SHEET NAME: TITLE-24 ENERGY REPORT

REVISIONS: No. DATE DESCRIPTION

PROJECT INFORMATION: OFFICE PROJECT NO.: CCHDG 10\_18

REVIEWED BY: DRAWN BY: CH SCALE: N/A DATE: 01/20/2020 SHEET NO. A1.8

CERTIFICATE OF COMPLIANCE (Page 3 of 12) - OPaque SURFACES - CATHEDRAL CEILINGs. Table with columns for Name, Zone, Construction, Area, Orientation, etc.

CERTIFICATE OF COMPLIANCE (Page 8 of 12) - FINISTRATION/GLAZING. Table with columns for Name, Type, Surface, Orientation, etc.

CERTIFICATE OF COMPLIANCE (Page 12 of 12) - DOCUMENTATION AUTHOR'S DECLARATION STATEMENT. Includes project name, address, and developer information.

CERTIFICATE OF COMPLIANCE (Page 3 of 12) - OPaque SURFACES. Table with columns for Name, Zone, Construction, Area, Orientation, etc.

CERTIFICATE OF COMPLIANCE (Page 7 of 12) - SLAB FLOORS. Table with columns for Name, Zone, Area, Perimeter, etc.

CERTIFICATE OF COMPLIANCE (Page 11 of 12) - HVAC - DISTRIBUTION SYSTEMS. Table with columns for Name, Type, Design Type, etc.

CERTIFICATE OF COMPLIANCE (Page 6 of 12) - REQUIRED SPECIAL FEATURES. Text-based table with columns for Name, Zone, Construction, etc.

CERTIFICATE OF COMPLIANCE (Page 6 of 12) - FINISTRATION/GLAZING. Table with columns for Name, Type, Surface, Orientation, etc.

CERTIFICATE OF COMPLIANCE (Page 10 of 12) - HVAC - COOLING UNIT TYPES. Table with columns for Name, System Type, Number of Units, etc.

CERTIFICATE OF COMPLIANCE (Page 1 of 12) - GENERAL INFORMATION. Table with columns for Name, Zone, Construction, Area, Orientation, etc.

CERTIFICATE OF COMPLIANCE (Page 5 of 12) - FINISTRATION/GLAZING. Table with columns for Name, Type, Surface, Orientation, etc.

CERTIFICATE OF COMPLIANCE (Page 9 of 12) - WATER HEATING SYSTEMS. Table with columns for Name, System Type, Distribution Type, etc.