

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: OCTOBER 14, 2019

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
MATT SCHNIEDER, COMMUNITY DEVELOPMENT DIRECTOR
JOHN CIAMPA, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP19-0012 TO ALLOW AN ADDITION AND REMODEL TO A LEGAL NONCONFORMING HOUSE ON A COASTAL BLUFF LOT LOCATED IN THE RSF-3 ZONING DESIGNATION AT 34821 DOHENY PLACE

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP19-0012.

APPLICANT: Beth Billstein, Property Owner

REPRESENTATIVE: Rob Williams, Architect

REQUEST: Approval of a Coastal Development Permit to allow an addition, remodel, new decks and a patio cover for a legal nonconforming house on a coastal bluff lot located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 34821 Doheny Place (APN 123-233-10) (the "Property")

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on October 4, 2019, published within a newspaper of general circulation on October 4, 2019, and posted on October 4, 2019 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorical Exempt per Section 15301 (Class 1 – Existing Facilities) in that the addition and remodel results in an expansion of less than 50 percent of the structure's existing square footage.

ISSUES:

- Project consistency with the Dana Point General Plan and Local Coastal Program Land Use Plan/Implementing Actions Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND:

The Property is a legal lot totaling .37 acres (15,681 square feet) and fronts Doheny Place to the east and a coastal bluff (as defined in Section 9.27.030 of the DPMC) to the west. The Property contains a two-story, 3,455 square foot, single-family residence, and attached two-car garage that is bordered on three sides by residential development and a hotel on the bluff side. The Property is zoned Residential Single-Family 3 (RSF-3), located in the City's Coastal Overlay District, and the Appeals Jurisdiction of the California Coastal Commission.

The house is a legal nonconforming structure because it was constructed in 1954, prior to the current development standards and the Coastal Act with a 14-foot coastal bluff setback when a 25-foot setback is now required. The house is also legal nonconforming because it only provides five-foot side yard setbacks (north and south side yards) when eight feet is required, and the interior dimension of the garage is only 19.25 feet when 20 feet is required.

DISCUSSION:

The applicant is requesting an addition and remodel to reconfigure the living accommodations for the SFD to meet modern-day needs. The proposal would remodel the four bedrooms and bathrooms and create a kitchen/great room area. The project also includes two new decks and a patio cover on the bluff side of the structure. The project would enlarge the 3,455 square foot, two-story, house with a 66 square foot basement level addition, 95 square foot first story addition, and a 44 square foot garage addition to expand the house to 3,612 square feet and attached garage to 491 square feet.

Per Section 9.63.030(a) a Minor Site Development Permit is not required for the proposed 205 square foot addition to the legal nonconforming structure because it complies with all of the required setbacks and is less than 10 percent (5.6 percent expansion proposed) of the existing structure's square footage. The addition is permissible subject to the approval of the Coastal Development Permit.

Table 1 summarizes the applicable RSF-3 development standards and the project's conformance with those requirements:

Table 1: Compliance with RSF-3 Development Standards

Development Standard	Requirement	Proposed/Existing	Compliant with Standard
Front Setback	10 feet minimum	29.6 feet	Yes
Side Setbacks (north)	8 feet minimum	5.7 feet*	No
Side Setbacks (south)		5 feet*	No
Rear Setback (Bluff Setback)	25 feet minimum from edge of bluff	14 feet* from edge of bluff	No
Height	28 feet maximum (6/12 roof pitch)	28 feet (6/12 roof pitch)	Yes
Lot Coverage	35% maximum	29%	Yes
Parking Required	2 parking spaces	2 parking spaces	Yes

**Existing legal nonconforming condition that is not proposed to be expanded.*

The neighborhood of the subject property consists of one and two-story houses with varied architectural styles. The project proposes to modify the house's nondescriptive architecture to a contemporary Asian design, as described by the architect, with new exterior finishes and roof design that would increase the height to 28 feet. The proposed façade improvements included el dorado stone veneer accents, new windows and doors, concrete roof tile, new stucco finish, and copper gutters.

Coastal Development Permit CDP19-0012

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, the proposed increase in volume of the structure with the new roof design and the new decks and patio cover within 50 feet of the coastal bluff edge in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires the approval of a CDP. The project complies with all of the applicable provisions of the Dana Point Zoning Code for the issuance of a CDP as the addition and remodel does not impact the coastal bluff, public access, or impact any Environmentally Sensitive Habitat Areas (ESHA).

Coastal Bluff

The subject property's location on a coastal bluff lot requires the submittal of a geotechnical report to determine the location of the edge of the coastal bluff (the point at which the site alters from generally flat to begin its topographic descent to the Pacific Ocean below), historic and projected future erosion of the site, as well as general site stability. The geotechnical analysis supports a coastal bluff setback of 25 feet. The

proposed improvements are set back 25 feet from the delineated edge of the coastal bluff and no foundations are in the required bluff setback. The conclusions contained in the project's geotechnical report and the project's overall design were reviewed and corroborated by the City's Geotechnical and Structural Engineers. The project does not propose any development within the coastal bluff.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 19-10-14-XX, attached to this report as Action Document 1.

CORRESPONDENCE: To date, no correspondence has been received regarding this project.

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan Zoning Ordinance and Local Coastal Program. As the project is found to comply with all standards of development, staff

recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 19-0012 subject to the findings and conditions of approval contained therein.



John Ciampa, Senior Planner



Matt Schneider, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 19-10-14-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Color Rendering
5. Plans

**Action Document 1: Draft Planning Commission Resolution
No. 19-10-14-xx**

ACTION DOCUMENT 1

RESOLUTION NO. 19-10-14-XX

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT
PERMIT 19-0012 TO ALLOW THE ADDITION AND REMODEL OF A
LEGAL NONCONFORMING HOUSE ON A COASTAL BLUFF LOT
LOCATED IN THE RESIDENTIAL SINGLE-FAMILY 3 (RSF-3) ZONING
DISTRICT AT 34821 DOHENY PLACE**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Beth Billstein (the "Applicant") is the owner of the real property commonly referred to as 34821 Doheny Place (APN 123-233-10) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit to allow the addition and remodel to a legal nonconforming house on a coastal bluff lot; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the application proposes an addition of less than 50 percent of the existing structure's square footage and a remodel; and

WHEREAS, the Planning Commission did, on the 14th day of October, 2019, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP19-0012.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP19-0012 subject to the following conditions of approval:

Findings:

Coastal Development Permit CDP19-0012

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1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that, the project is consistent with all goals and policies of the Residential 0-3.5 land use designation. The house remains a two-story, single-family residence. The proposed addition and remodel complies with the applicable development standards and the 25-foot bluff setback, and none of the legal nonconformities to the structure are intensified as part of the project. While the house is located in the 25-foot coastal bluff setback, no new footings are proposed in the required setback for the addition or remodel.**
2. That the proposed development is not located between the nearest public roadway and the sea or shoreline of any body of water, and is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that, the proposed development does not alter existing public access or recreation areas in the vicinity as there are none on or adjacent to the property.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies as Categorically Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facility) therefore, no mitigation is required. The project is a Class 1 exemption because it proposes an addition and remodel that results in an expansion of less than 50 percent of the structure’s existing square footage.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that, the proposed development is not adjacent to environmentally sensitive habitat areas or scenic resources as the site is a developed lot. The structure does not encroach any further towards the coastal bluff setback and the additions will not be located near sensitive habitat or scenic resources. The project is not proposing any new landscaping or site modifications in the bluff setback which will avoid any impacts to environmentally sensitive habitats or scenic resources.**
5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and

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fire hazards in that the proposed additions are located outside of the 25-foot coastal bluff setback and no structural foundations are proposed in this setback area. The City reviewed the geotechnical report and project design and concluded the proposed improvements do not result in any natural landform alterations or undue risk for geologic or erosional forces.

6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas in that the additions are architecturally integrated into the structure design to be compatible with the neighborhood. The proposed addition and remodel conform to the development standards of the RSF-3 zoning district and the Coastal Overlay District.
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs in that the project was reviewed by Planning and Building/Safety Division and the Public Works/Engineering Department and found to conform with the applicable development standards per the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program for the subject property) including the 25 foot bluff setback requirement. The project complies with the City's Urban Design Element of the General Plan in that it maintains the structure's sense of address, mass, and design of the house. The project preserves the house as a single-family dwelling. There are no adopted specific plans that apply to the subject property.

Conditions:

General:

1. Approval of this application permits a remodel and a 161 square foot addition to the house and a 44 square foot addition to the garage which results in a 3,616 square foot house and a 491 square foot garage located at 34821 Doheny Place in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued

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within such period of time, the approval shall expire and shall thereafter be null and void.

3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.
7. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
8. The Applicant and owner, and their successors in interest, shall be fully responsible for knowing and complying with all conditions of approval,

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including making known the conditions to City staff for future governmental permits or actions on the project site.

9. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
10. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
11. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
12. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
13. Prior to the commencement of any work within the public right-of-way, the applicant shall apply and be approved for an encroachment permit from the Public Works Department.
14. The applicant shall limit all construction activities within the coastal bluff-top setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity.
15. The 25' bluff edge setback, per the zoning code and as shown on the submitted architectural plans and sections, shall be clearly shown and labeled on all plans submitted for review and approval.
16. Per Municipal Code Section 9.27.030, no new structure foundations or improvements requiring a building permit will be allowed within the codified 25' bluff edge setback. Review of the submitted architectural plans indicates that any potential foundation elements associated with the proposed building addition/remodel would be located behind (landward) of the indicated 25' bluff edge setback line. Should the existing foundations be found not suitable for the proposed structure/improvements during construction, new permitted foundations would be required to be landward of the 25' bluff edge setback. All design professionals should evaluate the existing foundation system of the

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existing structure as it relates to the proposed work in order to verify that new foundation elements within the bluff edge setback will not be required as part of the proposed construction.

Prior to issuance of a Building Permit:

17. Minimum roofing classification is Class "A".
18. Undergrounding of all onsite utilities is required. An Approved SDG&E Work Order and Undergrounding Plan is required prior to permit issuance.
19. Building Code Analysis: Provide building code analysis showing conformance to the Chapter 3 and 5 of the CBC. Specify occupancy group(s), type(s) of construction, including fire sprinklers, location on property, actual and allowable floor area, building height, number of stories, and conforming exiting.
20. Fire sprinkler system is required.
21. Soils Report (1803): Unless waived, submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.
22. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.
23. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CALGreen requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.
24. The applicant shall submit a geotechnical report for the proposed construction in compliance with all City of Dana Point standards.
25. The applicant shall submit a drainage plan addressing the proposed construction in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal in conformance with Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements. The drainage plan shall clearly show all drainage from proposed improvements being directed away from the bluff edge and to an approved outlet.

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26. All plans submitted shall reflect the Bluff Edge and all associated setbacks as shown on the plans submitted September 6, 2019, and discussed in the "Response to City of Dana Point Public Works Review dated July 26, 2019, 34821 Doheny Place, Dana Point, California," and "Response to City of Dana Point Planning Division Correspondence dated July 26, 2019, 34821 Doheny Place, Dana Point, California," reports by Geofirm dated August 14, 2019 and September 26, 2019 respectively.
27. The applicant shall execute the City's standard deed restriction or, if prepared by the owner(s), shall be submitted for review and approval by the City Attorney. The deed restriction shall provide that; (1) the applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards; (2) the owner(s) unconditionally waive any claim of liability on the part of the City or any other public agency from any damage from such hazards; and (3) the owner(s) assume all liability for damages incurred as a result of any required off-site grading. The deed restriction shall be recorded, free of prior liens, to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney.

Prior to final approval of all permits:

28. Prior to commencement of framing, a demolition inspection shall be conducted by the Building and Planning Departments to ensure conformance with the approved demolition plan.
29. Prior to the commencement of framing, the applicant shall submit a foundation certification, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP19-0012. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed civil engineer/surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval.
30. Prior to the release of the roof sheathing inspection, the Applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP19-0012. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

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31. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
32. The final condition of the bluff edge setback shall be in accordance with Municipal Code Section 9.27.030, with no new structure foundations or improvements requiring a building permit within the 25-foot bluff edge setback.
33. Public Works final inspection and approval will be required for all permits.
34. The owner shall coordinate with the Planning Division to schedule a final site inspection to ensure the project was constructed per plan and all conditions of approval have been satisfied.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 14th day of October, 2019 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Roy Dohner
Planning Commission

ATTEST:

Matt Schneider, Director
Community Development Department

Supporting Document 2:

Vicinity Map



Vicinity Map

34821 Doheny Place
CDP19-0012



Supporting Document 3:

Site Photos









Supporting Document 4:

Color Rendering



Front (East) Elevation

Supporting Document 5:

Plans

ATTACHMENT

RECEIVED

SEP 30 2019

CITY OF DANA POINT COMMUNITY DEVELOPMENT DEPARTMENT

BILLSTEIN RESIDENCE

DANA POINT, CALIFORNIA

GENERAL CITY NOTES:

- 1. ALL DRAWINGS SHALL BE IN ACCORDANCE WITH CBC, CRC AND CITY OF DANA POINT STANDARDS.
2. APPLICANT SHALL BE RESPONSIBLE FOR IMPROVEMENTS WITHIN ALL EXISTING UTILITY EASEMENTS ON PROPERTY.
3. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY REQUIRE A SEPARATE ENCROACHMENT PERMIT.

CONSTRUCTION WASTE: (2016 CALGREEN CODE)

- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.409.2, 4.409.3 OR 4.409.4.
DOCUMENTATION IS REQUIRED PER SECTION 4.409.5.
EXCEPTIONS:
1. EXCAVATED SOIL & LAND-CLEARING DEBRIS.
2. ALTERNATIVE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL ENFORCING AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
3. THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOBSITE ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY.

SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN MEETING ITEMS 1 THROUGH 5 IN SECTION 4.409.2. PLANS SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE FOR EXAMINATION DURING CONSTRUCTION.
UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT DIVERTED CONSTRUCTION AND DEMOLITION WASTE MATERIALS MEET THE REQUIREMENTS IN SECTION 4.409.1.
PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION & DEMOLITION WASTE DISPOSED IN LANDFILLS, WHICH DO NOT EXCEED 3.4 POUNDS PER SQUARE FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.409.1.

ABBREVIATIONS

Table with columns for abbreviations and their corresponding full names. Includes items like ANGLE, CENTERLINE, ANCHOR BOLT, EAST, LABORATORY, SOUTH, etc.

DESIGN DATA

THIS PROJECT SHALL COMPLY WITH ALL REGULATIONS AND ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCIES AS WELL AS THE FOLLOWING:
CODE: 2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
CITY OF DANA POINT AMENDMENTS
JURISDICTION: CITY OF DANA POINT
ZONE: RSF-3
CONSTRUCTION TYPE: V-B (SPRINKLERED)
OCCUPANCY: R-3, U
SETBACKS: FRONT: 10'-0", SIDE: 8'-0", REAR: 25'-0"
PROVIDED: 10'-0", 15'-0", 25'-0"
BLUFF TOP SETBACK AS ESTABLISHED BY GEOTECHNICAL ENGINEER
MAXIMUM HEIGHT: 25'-0" (ROOF PITCH: 6:12)

LEGAL DESCRIPTION:

APN: 123-233-10
TRACT: 420
LOT: 10
CITY: DANA POINT
COUNTY: ORANGE

SQUARE FOOTAGE CALCULATIONS:

Table showing square footage calculations: GROSS LOT AREA (15,681.60 S.F.), BASEMENT LIVABLE (EXIST'G) (931.08 S.F.), BASEMENT LIVABLE (NEW) (65.98 S.F.), TOTAL BASEMENT LIVABLE (997.06 S.F.), FIRST FLOOR LIVABLE (EXIST'G) (2524.97 S.F.), FIRST FLOOR LIVABLE (NEW) (45.01 S.F.), TOTAL FIRST FLOOR LIVABLE (2619.98 S.F.), TOTAL LIVABLE (3616.44 S.F.), GARAGE (EXIST'G) (447.06 S.F.), GARAGE (NEW) (44.25 S.F.), TOTAL GARAGE (491.31 S.F.), DECK (EXIST'G) (1072.97 S.F.), DECK (NEW) (208.03 S.F.), TOTAL DECK (1281.00 S.F.), TOTAL STRUCTURE (4908.75 S.F.), LOT COVERAGE (15,681.60 S.F.), BUILDING COVERAGE (4504.82 S.F.), LANDSCAPE COVERAGE (29%); LOT COVERAGE (15,681.60 S.F.), LANDSCAPE AREA (5439.82 S.F.), LOT COVERAGE (35%)

DEFERRED SUBMITTALS:

DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL LIST THE DEFERRED SUBMITTALS ON THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL. DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTALS SHALL BE IN ACCORDANCE WITH CALIFORNIA ADMINISTRATIVE CODE, CHAPTER 7, SECTION 7-126. (2016 CBC CHAPTER 1 DIVISION II, SECTION 107.3.4.1)
DEFERRED SUBMITTALS:
1. FIRE SPRINKLERS

PROJECT TEAM:

OWNER: BETH BILLSTEIN 34821 DOHENY PLACE DANA POINT, CA 92624
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STRUCTURAL ENGINEER: GOUVIS ENGINEERING 15 STUDEBAKER IRVINE, CA 92618 PHONE: (949) 752-1612 FAX: (949) 752-5321 CONTACT: MIKE HOUSHMAND EMAIL: mhoushmand@gouvishgroup.com
ENERGY: GOUVIS ENGINEERING 15 STUDEBAKER IRVINE, CA 92618 PHONE: (949) 752-1612 FAX: (949) 752-5321 CONTACT: MIKE HOUSHMAND EMAIL: mhoushmand@gouvishgroup.com

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PROJECT NOTES:

- 1. POOLS, SPAS, WALLS, FENCES, PATIO COVERS, FIRE FITS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
2. PROVIDE PORTABLE TOILET & HAND WASHING STATION PER OSHA REGULATIONS.

GENERAL CONTRACTOR / SUBCONTRACTOR RESPONSIBILITY:

- 1. ALL POTENTIAL DESIGN, ENGINEERING AND SPECIFICATION CHANGES PROPOSED DURING CONSTRUCTION ARE REQUIRED TO BE PRESENTED TO AND APPROVED BY THE ARCHITECT PRIOR TO IMPLEMENTING CHANGES.
2. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO REVIEW AND BECOME FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL & STRUCTURAL DETAILS, REFLECTED CEILING PLANS, ELECTRICAL PLANS AND SCHEDULES, PRIOR TO BIDDING AND CONSTRUCTION.
3. GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE ALL SUBCONTRACTORS BIDDING & CONTRACTED TO PERFORM WORK OR SUPPLY MATERIALS HAS RECEIVED AN ENTIRE SET OF CONSTRUCTION DOCUMENTS FOR THIS PROJECT.
4. GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE ONLY COPIES OF THE CITY AND/OR COUNTY APPROVED CONSTRUCTION DOCUMENTS ARE ON SITE AND USED FOR CONSTRUCTION. BID SETS ARE ALLOWED FOR CONSTRUCTION.

BILLSTEIN RESIDENCE 34821 DOHENY PLACE DANA POINT, CA

PROJECT NUMBER: 2018016

MILESTONES / REVISIONS table with columns for NO., DATE, and DESCRIPTION. Includes entries for DD MEETING and CDP SUB.#2.

LICENSE STAMP:



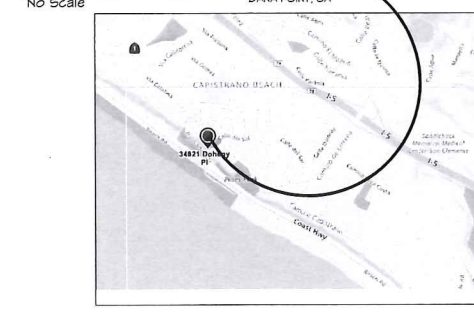
SHEET TITLE: TITLE SHEET

SHEET NUMBER: T-1

NOTE:

ISSUANCE OF A BUILDING PERMIT BY THE COUNTY OF ORANGE DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THE PERMIT.

VICINITY MAP



PROJECT SCOPE:

RENOVATION OF EXISTING RESIDENCE. NEW ROOF STRUCTURE. INTERIOR REMODEL. NEW ARCHITECTURAL STYLE. ADDITION OF NEW COVERED LOGGIA OVER EXISTING REAR DECK. REMOVE & REPLACE EXISTING REAR DECK WATERPROOFING & GUARDRAIL. ADD 2 NEW DECKS AT BACK OF HOUSE. ADD 121 S.F. OF NEW LIVABLE AREA IN THE BASEMENT AND 84 S.F. OF NEW LIVABLE AREA ON THE FIRST FLOOR.

PROJECT NOTES:

- 1. POOLS, SPAS, WALLS, FENCES, PATIO COVERS, FIRE FITS & OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
2. PROVIDE PORTABLE TOILET AND HAND WASH STATION PER OSHA REGULATIONS.

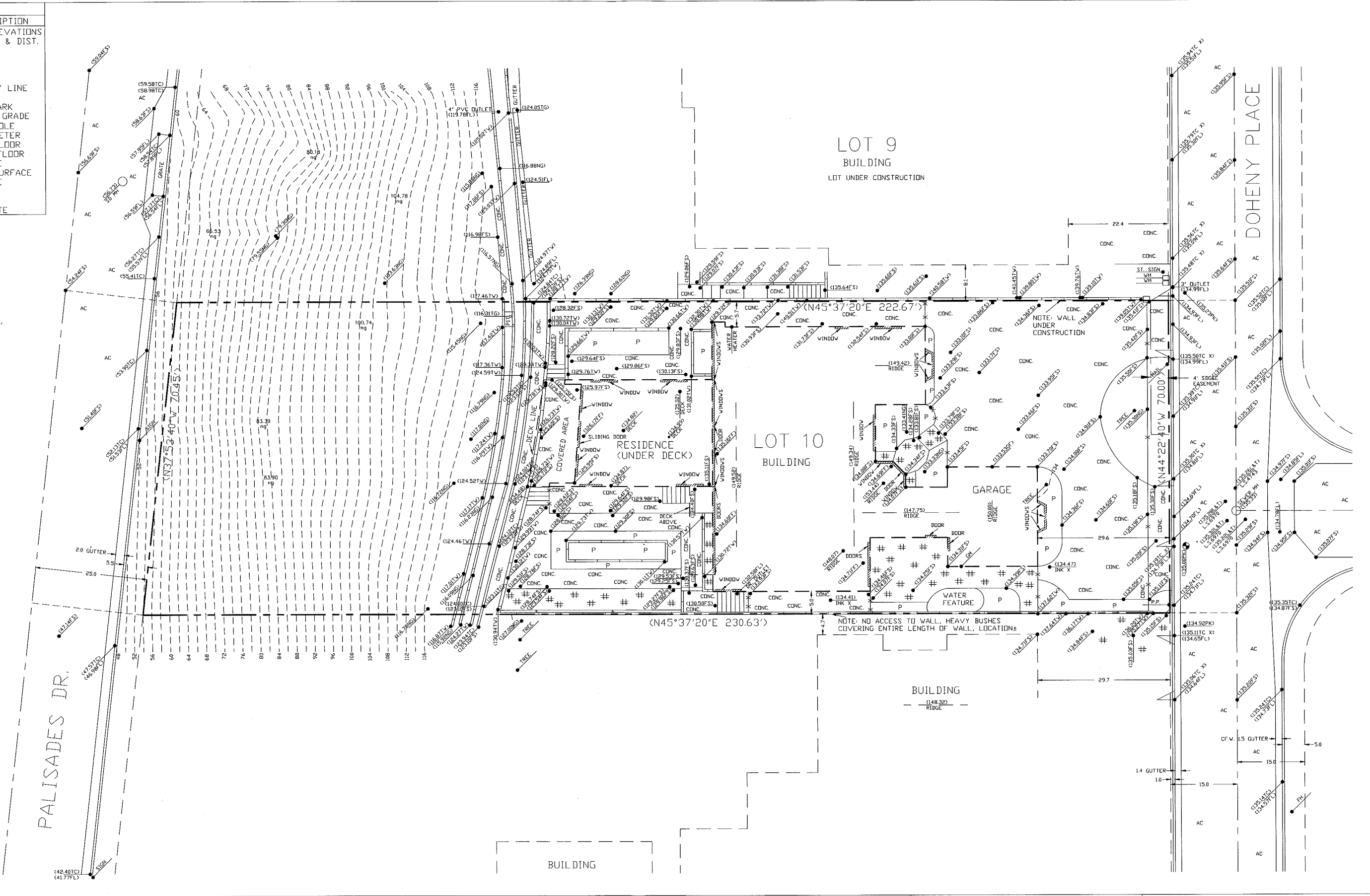
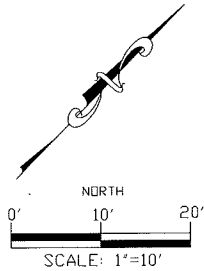
PLUMBING FIXTURES:

ON & AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT. A CERTIFICATE OF COMPLIANCE FOR WATER CONSERVING PLUMBING FIXTURES WILL BE REQUIRED AT FINAL INSPECTION.

FIRE SPRINKLERS:

A FIRE SPRINKLER SYSTEM CONFORMING TO THE LATEST N.F.P.A. 136 STANDARD SHALL BE INSTALLED. DESIGN UNDER SEPARATE SUBMITTAL.

LEGEND	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
#	BRICK
—	DECK
—	WALL
—	BUILDING
—	PROPERTY LINE
X	FENCE
⊙	BENCH MARK
N.G.	NATURAL GRADE
P.P.	POWER POLE
WM	WATER METER
F.F.	FINISH FLOOR
G.F.	GARAGE FLOOR
C.C.	CONCRETE
F.S.	FINISH SURFACE
M.H.	MAN-HOLE
P	PLANTER
A.C.	ASPHALT
T.G.	TOP-GRADE



RdM SURVEYING INC.

RON MIEDEMA L.S. 4653
 23016 LAKE FOREST DR. #409
 LAGUNA HILLS, CA 92653
 (949) 858-2924 OFFICE
 (949) 858-3438 FAX
 RDMSURVEYING@COX.NET

TOPOGRAPHIC SURVEY

JOB: 71-33

DATE: 7/19/18

OWNER:
 ROB WILLIAMS

LEGAL DESCRIPTION:
 LOT 10 OF BLOCK 3 OF TRACT MAP NO. 920

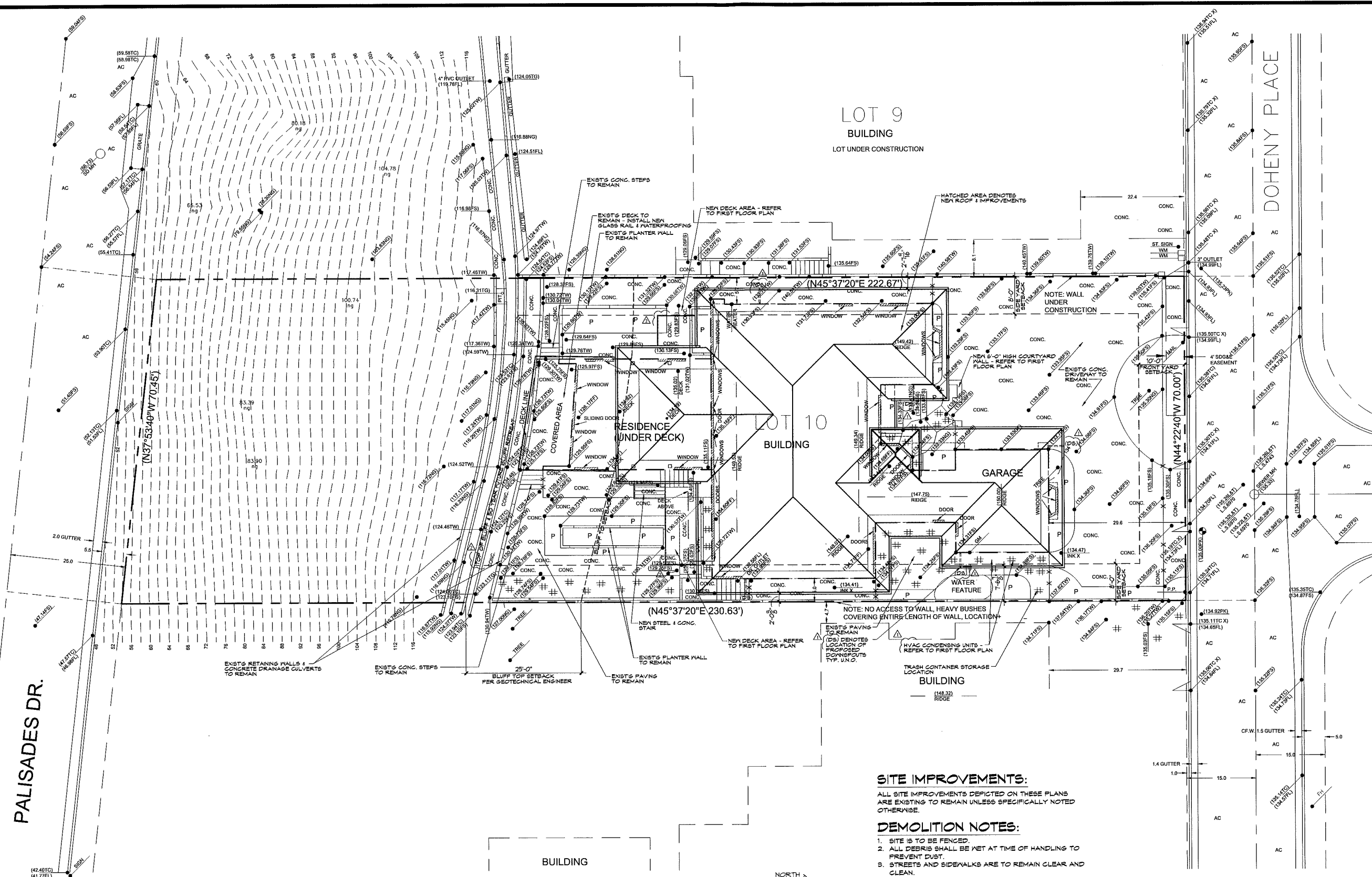
BENCH MARK:
 BENCH MARK #: N-734
 NAVD88 DATUM
 ELEVATION= 17.297
 P.K. NAIL ELEVATION= 135.00

ADDRESS OF PROJECT:
 34821 DOHENY PLACE
 DANA POINT, CA

C-1

MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION
4.5.19	DD MEETING	
9.5.19	CDP SUB. #2	
9.27.19	CDP SUB. #3	



ARCHITECTURAL SITE PLAN

SITE PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- THIS SITE PLAN IS INTENDED FOR BUILDING SETBACK PURPOSES AND LOCATION OF UTILITIES ONLY. SEPARATE DRAWING SUBMITTAL(S) AND PERMIT(S) IS/ARE REQUIRED FOR LANDSCAPE PLAN, SITE RETAINING WALLS, FENCES, GATES, ANY BLOCK WALLS OVER 3 FEET, . . . ETC.
- REFER TO THE ARCHITECTURAL FLOOR PLANS AND GENERAL NOTES FOR ADDITIONAL ARCHITECTURAL INFORMATION.
- REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY PRIOR TO ANY WORK.
- AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY L-6.
- A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE ARE DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY / STREET PAVEMENT WILL BE REQUIRED AND 100% PAID BY THE OWNER. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
- ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.
- OBTAIN PERMIT FROM CAL/OSHA FOR EXCAVATIONS 5 FEET OR DEEPER AND / OR CONSTRUCTION OF BUILDING OR SCAFFOLDING MORE THAN 3 STORIES (96 FEET) HIGH. (CAL/OSHA CCR TITLE 8 DIV. 1, CHAPTER 3.2, SUBCHAPTER 2, SECTION 341)
- CONTRACTOR TO FIELD INSPECT EXISTING WATER METER TO DETERMINE IF SIZE AND CONDITION ARE ADEQUATE TO ACCOMMODATE THE REQUIREMENTS WITHIN THESE DOCUMENTS. REPLACE AS NEEDED.
- PRIOR TO THE RELEASE OF THE FOOTING INSPECTION, THE APPLICANT SHALL SUBMIT CERTIFICATION, BY SURVEY OR OTHER APPROPRIATE METHOD, THAT THE STRUCTURES WILL BE CONSTRUCTED IN COMPLIANCE WITH THE SETBACKS OF THE APPLICABLE COMMUNITY ASSOCIATION GUIDELINES (IF ANY) AND LOCAL ZONING CODE.
- THE DISCHARGE OF POLLUTANTS TO STORM DRAINAGE SYSTEM (IF ANY) IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM (IF ANY).
- FINISHED GRADE AROUND THE NEW STRUCTURE SHALL SLOPE AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES. (C.R.C. 4403.1.7.3)
- CONTRACTOR TO SCOPE AND INSPECT EXISTING SEWER LINE FROM HOUSE TO SEWER MAIN. AUGER, REPAIR OR REPLACE AS NEEDED.
- REFER TO BMP NOTES ON SHEET 6N-2 FOR ADDITIONAL INFORMATION.
- ALL DRAINAGE SHALL BE MAINTAINED AND IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE AND THE CITY OF DANA POINT MUNICIPAL CODE.
- CONTRACTOR TO FIELD VERIFY EXISTING GAS SERVICE SIZE AND CONDITION OF PIPING TO ACCOMMODATE NEW IMPROVEMENTS AS DEPICTED ON THESE PLANS. REPAIR OR REPLACE AS REQUIRED.
- UNDERGROUNDING OF ALL ON-SITE UTILITIES INCLUDING EXISTING POWER LINES, IF ANY IS REQUIRED, AN APPROVED SDGE WORK ORDER & UNDERGROUNDING PLAN IS REQUIRED PRIOR TO PERMIT ISSUANCE.

SITE IMPROVEMENTS:

ALL SITE IMPROVEMENTS DEPICTED ON THESE PLANS ARE EXISTING TO REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE.

DEMOLITION NOTES:

- SITE IS TO BE FENCED.
- ALL DEBRIS SHALL BE MET AT TIME OF HANDLING TO PREVENT DUST.
- STREETS AND SIDEWALKS ARE TO REMAIN CLEAR AND CLEAN.

LEGEND

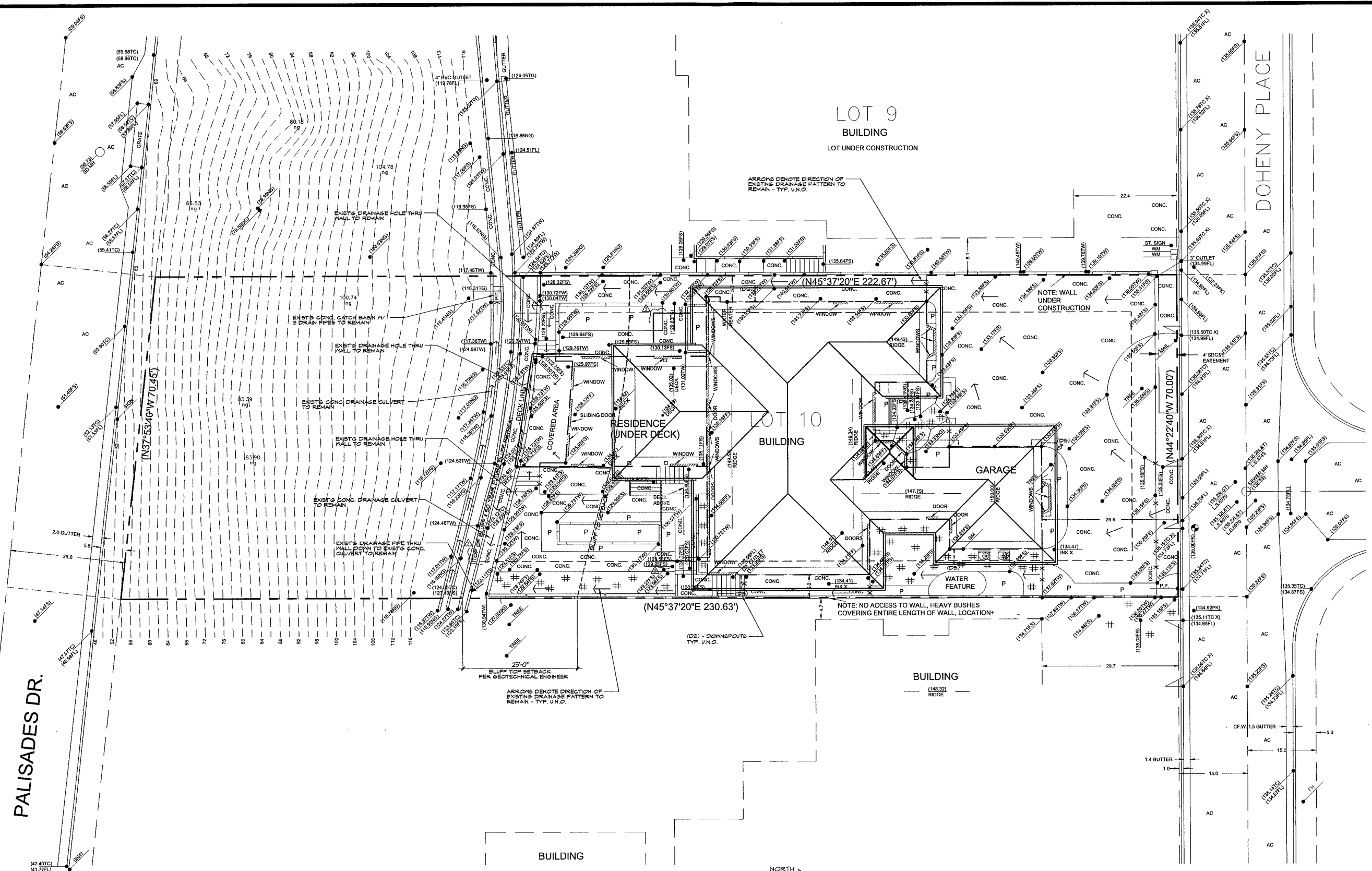
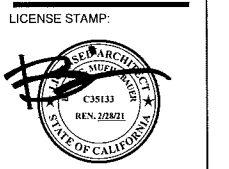
SYMBOL	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
≡	BRICK DECK
—	WALL
- - -	BUILDING PROPERTY LINE
X	FENCE
•	BENCH MARK
N.G.	NATURAL GRADE
P.P.	POWER POLE
WM	WATER METER
F.F.	FINISH FLOOR
G.F.	GARAGE FLOOR
CONC.	CONCRETE
F.S.	FINISH SURFACE
M.H.	MAN-HOLE
P	PLANTER
A.C.	ASPHALT
T.G.	TOP-GRATE

SCALE: 1/8" = 1'-0"



MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION
4.5.19	DD MEETING	
9.5.19	CDP SUB. #2	
9.27.19	CDP SUB. #3	



PRELIMINARY DRAINAGE PLAN

DRAINAGE PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- EXISTING DRAINAGE PATTERN, HARDSCAPE, DRAIN LINES, WALL PENETRATIONS AND CONCRETE DRAINAGE CULVERTS TO REMAIN UNLESS NOTED OTHERWISE.

SCALE: 1/8" = 1'-0"



PALISADES DR.

DOHENY PLACE

LOT 9 BUILDING
LOT UNDER CONSTRUCTION

LOT 10 BUILDING

RESIDENCE UNDER DECK

GARAGE

WATER FEATURE

BUILDING

BUILDING

ARROWS DENOTE DIRECTION OF EXISTING DRAINAGE PATTERN TO REMAIN - TYP. U.N.C.

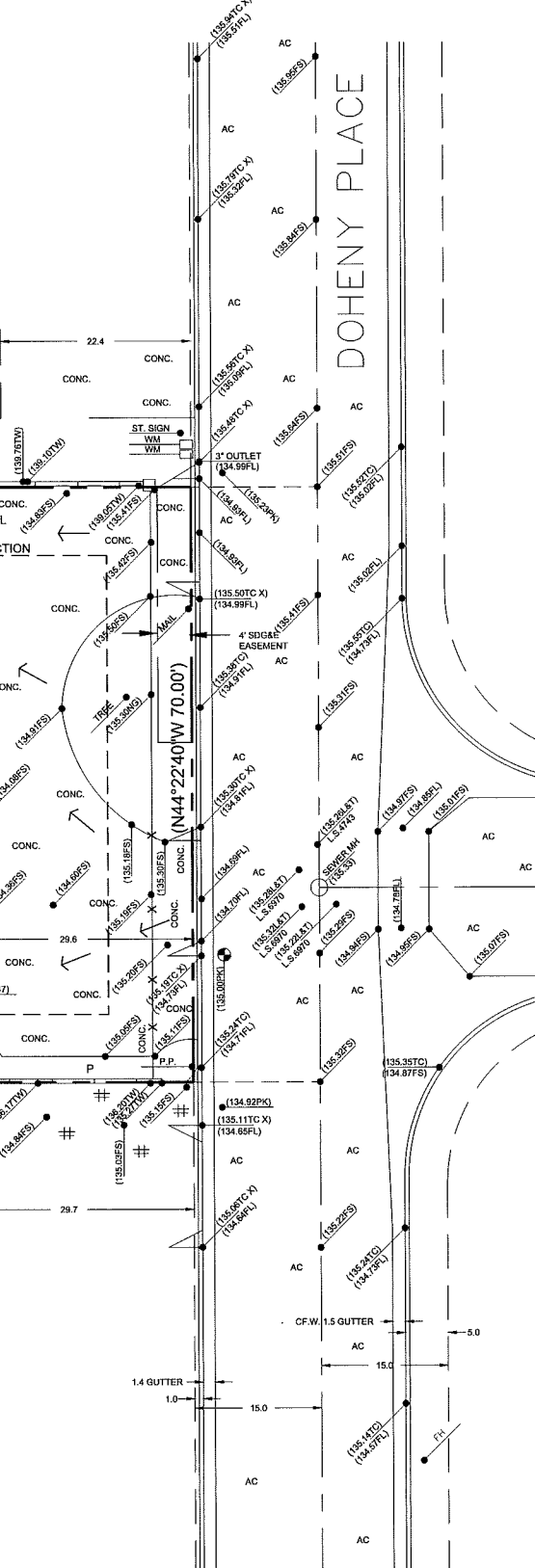
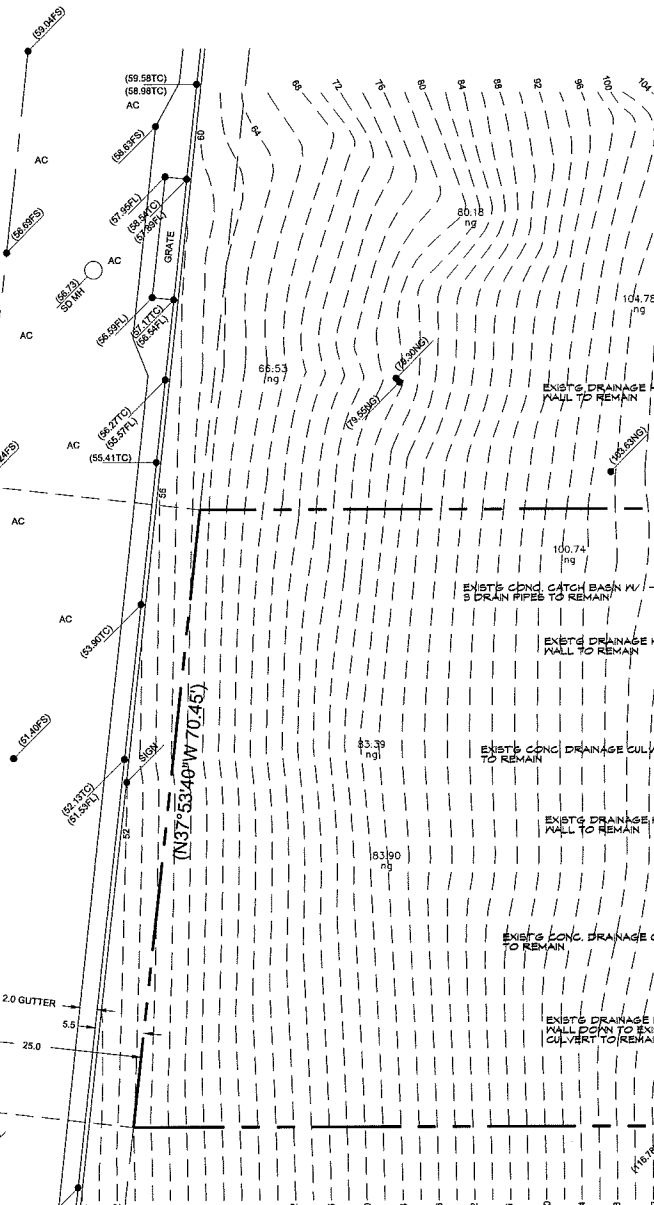
NOTE: WALL UNDER CONSTRUCTION

NOTE: NO ACCESS TO WALL, HEAVY BUSHES COVERING ENTIRE LENGTH OF WALL, LOCATION+

ARROWS DENOTE DIRECTION OF EXISTING DRAINAGE PATTERN TO REMAIN - TYP. U.N.C.

BLUFF TOP SETBACK PER GEOTECHNICAL ENGINEER

(DS) - DOWNSPOUTS TYP. U.N.C.



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DESIGN ARCHITECT: ROBERT WILLIAMS

CLIENT:
BETH BILLSTEIN
34821 DOHENY PLACE
DANA POINT, CA 92624

PROJECT MANAGER:
PHONE NUMBER:
FAX NUMBER:
EMAIL:

BILLSTEIN RESIDENCE
34821 DOHENY PLACE
DANA POINT, CA

PROJECT NUMBER:
2018016

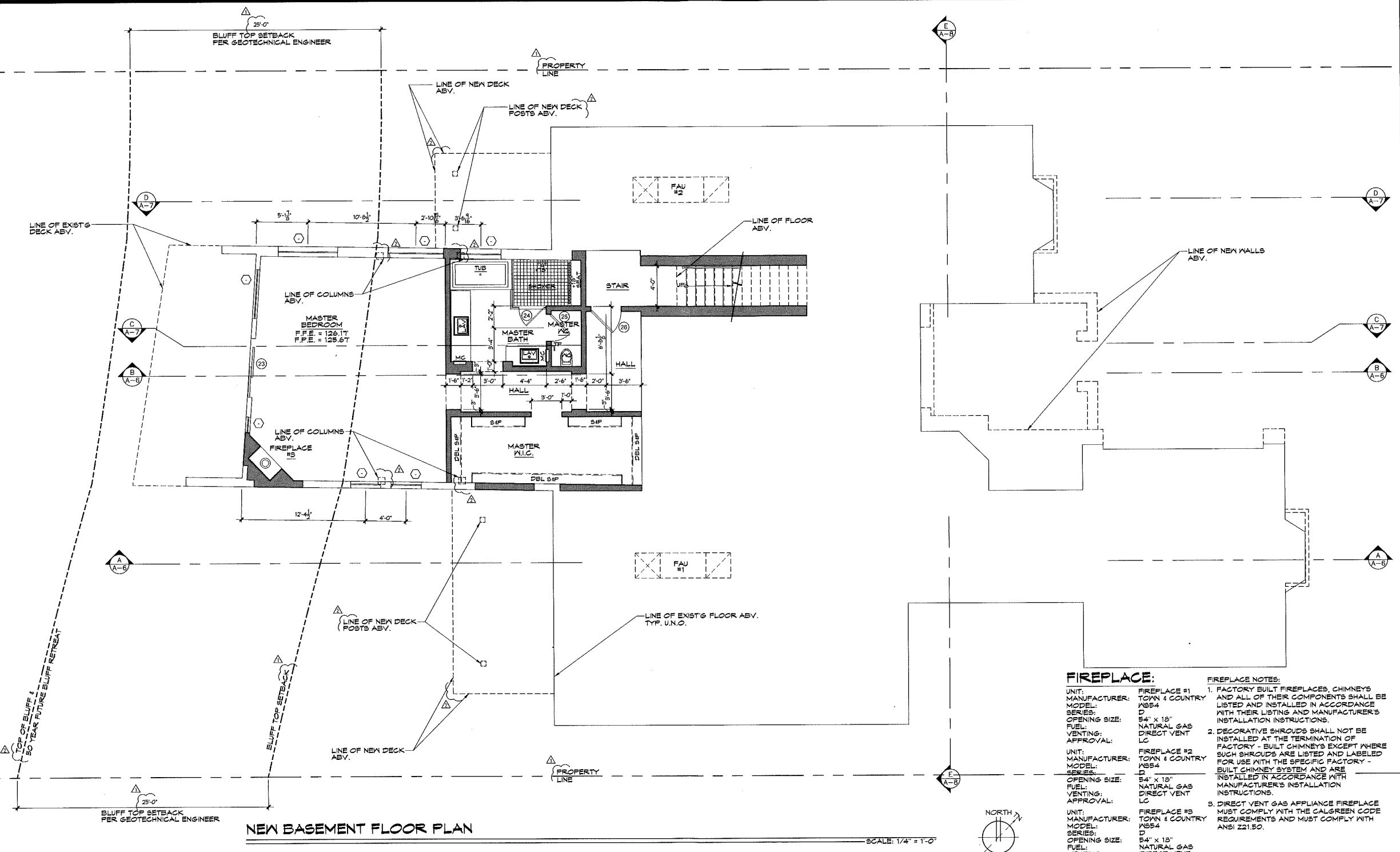
MILESTONES / REVISIONS		
NO	DATE	DESCRIPTION
	4.5.19	DD MEETING
▲	9.5.19	CDP SUB. #2
▲	9.27.19	CDP SUB. #3

LICENSE STAMP:



SHEET TITLE:
NEW BASEMENT FLOOR PLAN

SHEET NUMBER:



NEW BASEMENT FLOOR PLAN

FLOOR PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & CLEARANCES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- REFER TO FINISH SCHEDULE FOR ALL PLUMBING FIXTURES, APPLIANCES, CABINETS, AND INTERIOR FINISH SCHEDULES. VERIFY DIMENSIONS OF ALL PLUMBING FIXTURES AND APPLIANCES WITH MANUFACTURER SPECIFICATIONS AND COORDINATE WITH CABINET INSTALLER.
- REFER TO OWNER FOR LOCATION(S) AND HEIGHT(S) OF ALL BATHROOM ACCESSORIES (I.E. TOWEL BARS, TOILET PAPER DISPENSERS, MIRRORS, ETC.). PROVIDE 2 X 4 JOIST BLOCKING FOR REQUIRED SUPPORT.
- PLUMBING FIXTURE REQUIREMENTS AND FLOW RATES:
WATER CLOSETS:
A. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.25 GALLONS PER FLUSH. FAN-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR FAN-TYPE TOILETS.
B. THE MINIMUM FLOOR SPACE OF AN INDIV. 2" DIA. DEEP CLEAR IN FRONT AND CENTERED ON WATER CLOSET PER 2016 C.F.C.
URINALS:
C. WALL MOUNTED, 0.125 GAL./FLUSH
D. SINGLE SHOWERHEADS
E. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 3.0 GALLONS PER MINUTE AT 80 P.S.I. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 P.S.I. OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN CONTROL. VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCED/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.
RESIDENTIAL LAVATORY FAUCETS:
F. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 P.S.I.
KITCHEN FAUCETS:
G. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 P.S.I. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT EXCEED 2.2 GALLONS PER MINUTE AT 80 P.S.I. AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 P.S.I.
NOTE: WHERE COMPLIANCE REQUIREMENTS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REQUIREMENTS.
PLUMBING FIXTURES & FITTINGS:
H. ALL PLUMBING FIXTURES & FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE. SHALL MEET APPLICABLE STANDARDS REFERENCED IN TABLE 101.1 OF THE CALIFORNIA PLUMBING CODE.
SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS:
I. SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 2' ABOVE THE DRAIN INLET. THE DRAIN SHOWER RECEPTORS SHALL COMPLY WITH IFPMO IS 4-2006 & 2015 CFC SECTION 408.7.

- REFER TO THE DOOR AND WINDOW SCHEDULE ON SHEET SCH-1 FOR ALL DOOR AND WINDOW TYPES AND SIZES.
- ALL GLAZING SHALL HAVE A TEMPORARY LABEL, THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR LEAKAGE AND (VISIBLE TRANSMITTANCE) REFER TO SHEET SCH-1 FOR GLAZING VALUES.
CALIFORNIA ENERGY CODE SECTION 116.14 & 120.11(1)(1)
- SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. ELL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQ. FT. WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE AREA SHALL BE THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. PER 2019 C.F.C. SECTION R301.0.
- WINDOWS (GLAZING) SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED RIGID PLASTIC. PER 2019 C.F.C. SECTION R303.4.
1. GLAZING IN ALL FIXED OR OPERABLE PANELS OF SLIDING, SLIDING & BIFOLD DOORS.
2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
A. THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS LARGER THAN 8 SF.
B. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
C. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR.
D. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY, AND IN A STRAIGHT LINE, OF THE GLAZING.
4. GLAZING IN GUARDS & RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS & NONSTRUCTURAL INFILL PANELS, AND REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
5. GLAZING IN WALL ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, whirlpools, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS & INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. THIS SHALL APPLY TO SINGLE GLAZING & ALL PANELS IN MULTIPLE GLAZING.
6. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE FLOOR AND THE GLAZING IS ADJACENT TO WALKING SURFACES OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.
7. GLAZING ADJACENT TO THE LANDINGS AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDINGS AND WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD. EXCEPTIONS ARE AS STATED IN THE CALIFORNIA RESIDENTIAL CODE AS AMENDED BY LOCAL ORDINANCES.
- SHOWER ENCLOSURES MUST BE OF APPROVED TEMPERED OR SAFETY GLAZING AND DOOR MUST BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE.
1. THE OPENING OF THE FULL PORTION OF AN OPERABLE WINDOW LOCATED MORE THAN 12" ABOVE THE FINISH FLOOR SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 24" SHALL BE FIXED OR HAVE AN OPENING SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS. THE C.F.C. SECTION R301.2.2 OR BE PROVIDED WITH A WINDOW GUARD THAT COMPLEYS WITH ASTM F 2040.
- INSPECTION OF WALLS IS REQUIRED FOR ALL DRYWALL AND LATH WHEN IN PLACE. CORNER BEADS ARE TO BE INSTALLED.
14. A MINIMUM OF TWO LAYERS OF GRADE 'D' BUILDING PAPER SHALL BE APPLIED OVER ALL POOD BASE SHEATHING.

- PRODUCT MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION. (CHAPTER 1, DIVISION II, SECTION R106.1.2 OF THE CFC) WALL AND FLOOR FRAMING SHALL NOT BE CLOSED PWDN THE FRAMING MEMBER EXCEEDS 1% MOISTURE CONTENT. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE INSTALLATION. (CSBSC 4.1.2.5)
- AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER AT THE TIME OF FINAL INSPECTION. (CSBSC 4.1.0)
- DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. THIS APPLIES TO ADHESIVES, SEALANTS, CAULKS, PAINT STAINS, CARPET RESILIENT FLOOR COVERINGS, ETC. (CSBSC 4.504.2.4 & 4.504.3) - REFER TO SHEET GN-2 FOR VOC REQUIREMENTS.
- INSTALLATION CERTIFICATES (CP-6R-ENV, CP-6R-LTP-01, CP-1R-MECH) MUST BE PROVIDED TO THE BUILDING INSPECTOR DURING CONSTRUCTION.
- INSTALLATION CERTIFICATES, OPERATIONS INFORMATION, MAINTENANCE INFORMATION AND VENTILATION INFORMATION MUST BE PROVIDED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.
- BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8" AT THE CENTER OF THE 21" MINIMUM REQUIRED CLEARANCE AREA IN FRONT OF THE FIXTURES. THE CEILING HEIGHT ABOVE FIXTURES SHALL BE SUCH THAT THE FIXTURE IS CAPABLE OF BEING USED FOR ITS INTENDED PURPOSE. A TUB OR SHOWER, EQUIPPED WITH A SHOWERHEAD SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8" ABOVE A MINIMUM AREA 30" X 30" AT THE SHOWERHEAD. (CFC SECTION R303.1, EXCEPTION 2)
- DOMESTIC KITCHEN RANGE VENTILATION SYSTEM SHALL BE INSTALLED OVER COOKING FACILITIES AND EXHAUSTED OUTSIDE OF THE BUILDING. AN APPROVED DOWNDRAFT GRILL-RANGE VENTILATION SYSTEM MAY BE USED. (CFC SECTION 804.2.1 & 804.2.1.2) EQUIPMENT LOCATED IN A GARAGE THAT GENERATES A GLOW SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH THE PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE THE GARAGE FLOOR. (CFC 801.1 & CFC 905.14(2))
- REFER TO THE REFLECTED CEILING PLANS FOR CEILING AND SOFFIT HEIGHTS.
- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND FRAMING REQUIREMENTS ALONG WITH ANY CITY REQUIRED STRUCTURAL OBSERVATION(S), SPECIAL INSPECTION CERTIFICATION(S), AND/OR TESTING FORMS.
- REFER TO SHEET (24-1) FOR THE TITLE 24 ENERGY CALCULATION FORMS AND MANDATORY REQUIREMENTS FOR ENERGY COMPLIANCE.
- APPLIANCES INSTALLED IN GARAGE SHALL BE LOCATED OR PROTECTED SO THEY ARE NOT SUBJECT TO PHYSICAL DAMAGE BY MOVING VEHICLES. (CFC 801.1 & CFC 905.14(2))
- ALL HOSE BIBBS MUST HAVE AN APPROVED ANTI-SIPHON BACKFLOW PREVENTION DEVICE.
- A SEPIENT TRAP SHALL BE INSTALLED ON THE GAS LINE DOWNSTREAM OF THE GAS APPLIANCE SHUTOFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL. THE SEDIMENT TRAP SHALL BE EITHER A TEE-FITTING WITH A CAPPED NIPPLE IN THE BOTTOM OUTLET OR OTHER RECOGNIZED DEVICE. (CFC 121.2)
- GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE. ANY WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE I EMISSION LIMITS AS WELL AS SOUTH CALIFORNIA AIR QUALITY MANAGEMENT DISTRICT RULES.
- DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- ANNUAL SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN EXTERIOR WALLS SHALL BE PROTECTED AS ANST THE PASSAGE OF RODENTS BY CLOSING SUCH SPACES WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

FIREPLACE:

UNIT:	FIREPLACE #1	FIREPLACE NOTES:
MANUFACTURER:	TOWN & COUNTRY	1. FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
MODEL:	MS54	
SERIES:	D	2. DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BUILT CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
OPENING SIZE:	54" x 18"	
FUEL:	NATURAL GAS	
VENTING:	DIRECT VENT	
APPROVAL:	LC	
UNIT:	FIREPLACE #2	
MANUFACTURER:	TOWN & COUNTRY	
MODEL:	MS54	
SERIES:	D	
OPENING SIZE:	54" x 18"	
FUEL:	NATURAL GAS	
VENTING:	DIRECT VENT	
APPROVAL:	LC	
UNIT:	FIREPLACE #3	
MANUFACTURER:	TOWN & COUNTRY	
MODEL:	MS54	
SERIES:	D	
OPENING SIZE:	54" x 18"	
FUEL:	NATURAL GAS	
VENTING:	DIRECT VENT	
APPROVAL:	LC	

AS-BUILT / DEMOLITION PLAN NOTES:

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO FIELD VERIFY EXISTING STRUCTURAL POSTS, BEAMS, INTERIOR & EXTERIOR BEARING WALLS SUPPORTING EXISTING FLOOR, ROOF & CEILING PRIOR TO DEMOLITION. SHORE & BRACE EXISTING STRUCTURE AS REQUIRED.

POST-TENSION SLAB:

CONTRACTOR TO FIELD VERIFY IF EXISTING CONCRETE SLAB IS POST-TENSION PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION AND REPORT FINDINGS TO THE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A POST-TENSION ENGINEER AND/OR CRITERIA TO GIVE GUIDANCE AND CRITERIA TO PERFORM ALL MODIFICATIONS REQUIRED AS SHOWN IN THESE DOCUMENTS, WITHOUT COMPROMISING THE STRUCTURAL INTEGRITY OF THE POST-TENSION SYSTEM. THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR DETERMINING ANY CONSTRUCTION METHODS OR PROCEDURES AND ASSUMES NO LIABILITY FOR DAMAGE DUE TO ANY MODIFICATIONS MADE TO THE EXISTING SLAB OR STRUCTURE.

PLAN LEGEND:

- DENOTES EXIST'G WALL TO REMAIN
- DENOTES NEW WALL

MILESTONES / REVISIONS		
NO.	DATE	DESCRIPTION
	4.5.19	DD MEETING
▲	9.5.19	CDP SUB. #2
▲	9.27.19	CDP SUB. #3

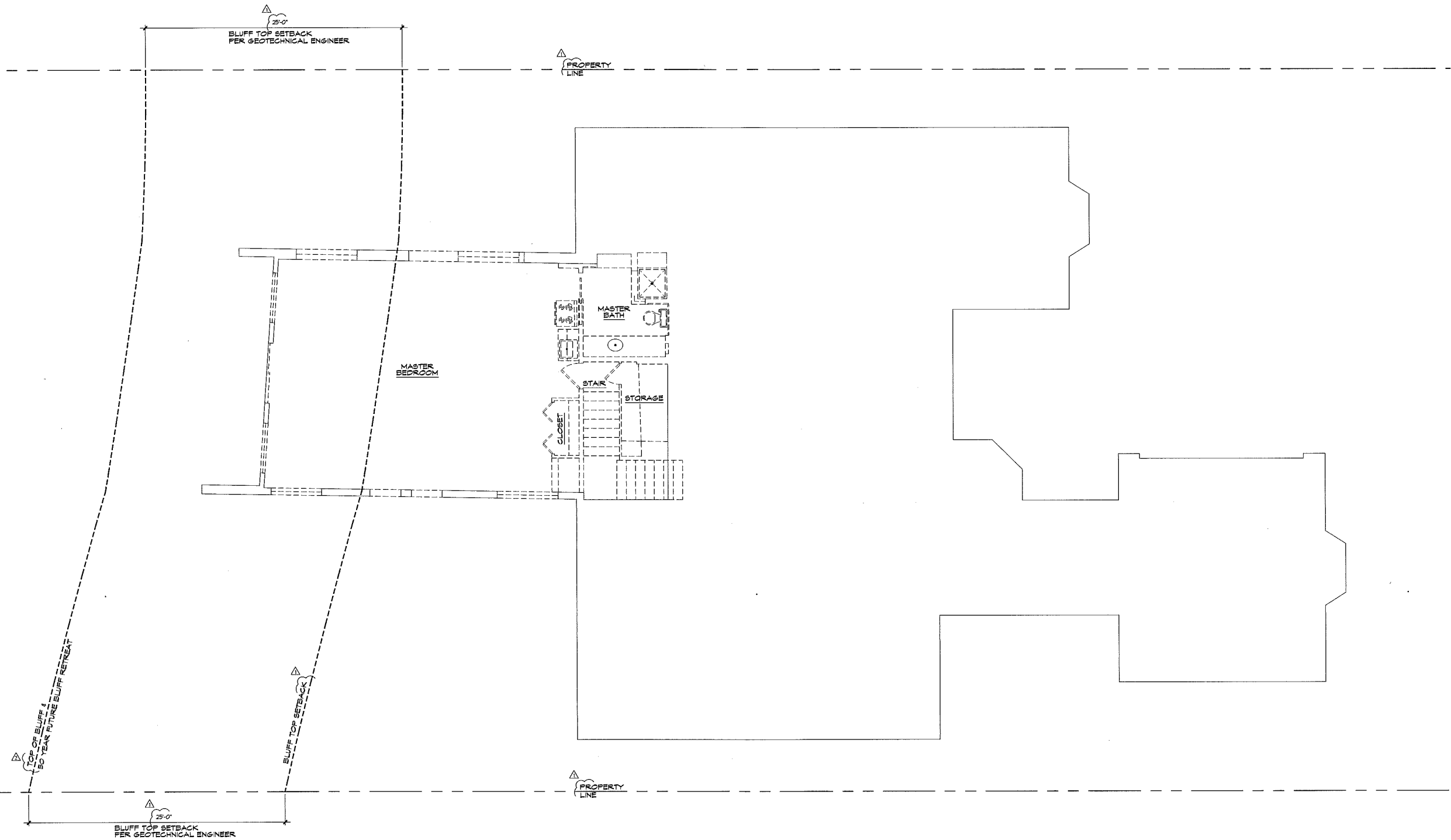
LICENSE STAMP:



SHEET TITLE:
A.B./DEMO BASEMENT FLOOR PLAN

SHEET NUMBER:

A-2.1



AS-BUILT / DEMOLITION BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



AS-BUILT / DEMOLITION PLAN NOTES:

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO FIELD VERIFY EXISTING STRUCTURAL POSTS, BEAMS, INTERIOR & EXTERIOR BEARING WALLS SUPPORTING EXISTING FLOOR, ROOF & CEILINGS PRIOR TO DEMOLITION. SHORE & BRACE EXISTING STRUCTURE AS REQUIRED.

POST-TENSION SLAB:

CONTRACTOR TO FIELD VERIFY IF EXISTING CONCRETE SLAB IS POST-TENSION PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION AND REPORT FINDINGS TO THE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A POST-TENSION ENGINEER AND / OR CONTRACTOR TO GIVE GUIDANCE AND CRITERIA AND TO PERFORM ALL MODIFICATIONS REQUIRED AS SHOWN IN THESE DOCUMENTS, WITHOUT COMPROMISING THE STRUCTURAL INTEGRITY OF THE POST-TENSION SYSTEM. THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR DETERMINING ANY CONSTRUCTION METHODS OR PROCEDURES AND ASSUMES NO LIABILITY FOR DAMAGE DUE TO ANY MODIFICATIONS MADE TO THE EXISTING SLAB OR STRUCTURE.

PLAN LEGEND:

- DENOTES EXISTING WALL TO REMAIN
- DENOTES EXISTING ELEMENT TO BE REMOVED (WALLS, WINDOWS, DOORS, CABINETS, ETC.)

PLAN LEGEND:
 [Symbol] DENOTES EXIST'G WALL TO REMAIN
 [Symbol] DENOTES NEW WALL



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BILLSTEIN RESIDENCE
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 DANA POINT, CA

PROJECT NUMBER:
 2018016

MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION
1.	4.5.19	DD MEETING
2.	9.5.19	CDP SUB. #2
3.	9.27.19	CDP SUB. #3

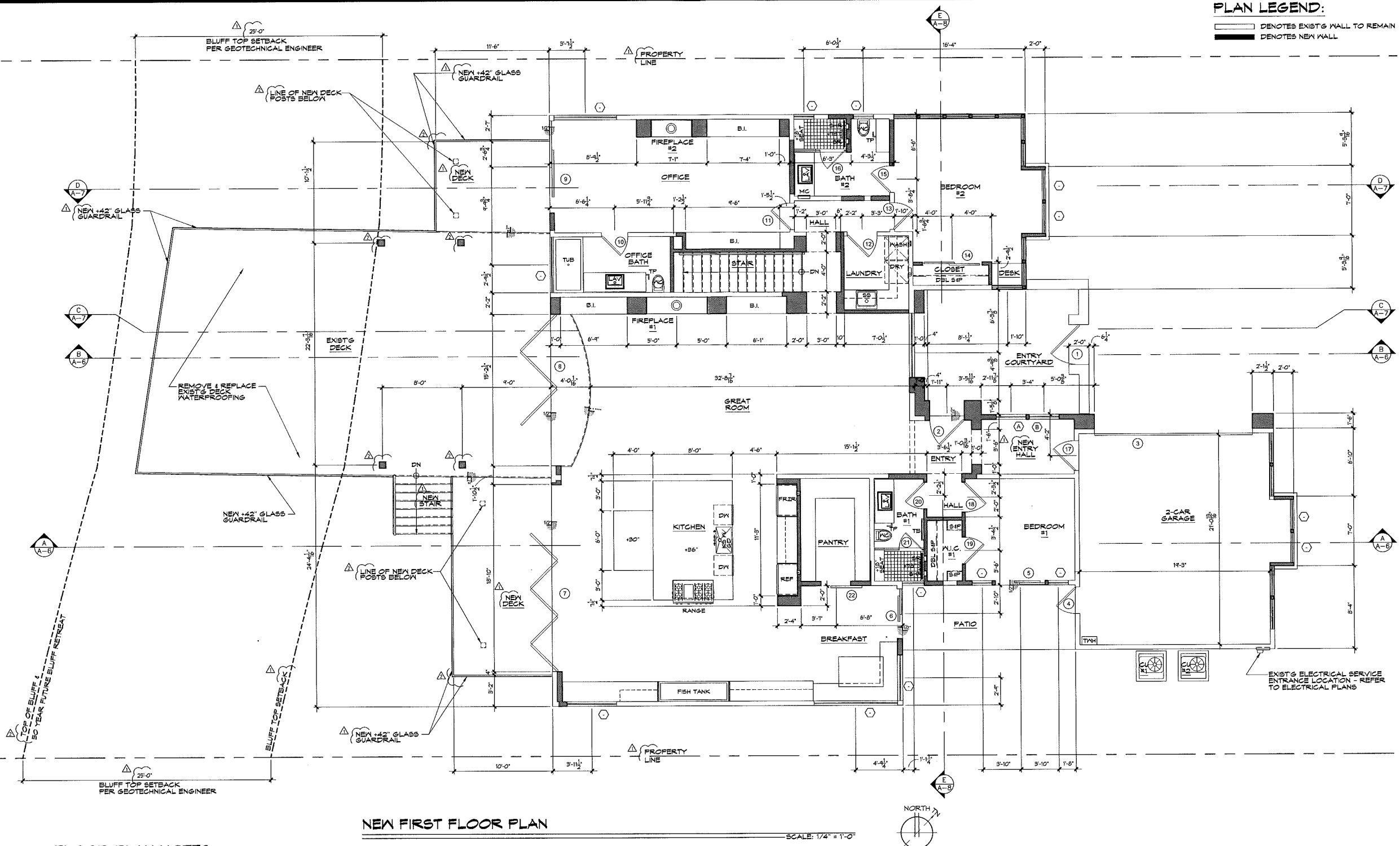
LICENSE STAMP:



SHEET TITLE:
 NEW FIRST FLOOR PLAN

SHEET NUMBER:

A-3



NEW FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & CLEARANCES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- REFER TO FINISH SCHEDULE FOR ALL PLUMBING FIXTURES, APPLIANCES, CABINETS, AND INTERIOR FINISH SCHEDULES. VERIFY DIMENSIONS OF ALL PLUMBING FIXTURES AND APPLIANCES WITH MANUFACTURER SPECIFICATIONS AND COORDINATE WITH CABINET INSTALLER.
- REFER TO OWNER FOR LOCATION(S) AND HEIGHT(S) OF ALL BATHROOM ACCESSORIES (IE. TOWEL BARS, TOILET PAPER DISPENSERS, MIRRORS, ETC.). PROVIDE 2 X 10 BLOCKING FOR REQUIRED SUPPORT.
- PLUMBING FIXTURE REQUIREMENTS AND FLOW RATES:
 A. WATER CLOSETS:
 1. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.20 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. PROVIDE A MIN. GROSS FLOOR SPACE OF 30" WIDE X 24" DEEP CLEAR IN FRONT AND CENTERED ON WATER CLOSET PER 2016 C.P.C.
 2. URINALS:
 ALL MOUNTED: 0.125 GAL./FLUSH
 ALL OTHERS: 0.8 GAL./FLUSH
 C. SINGLE SHOWERHEADS:
 SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 P.S.I. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS. CONTROL VALVES TO BE PRESSURE-BALANCED OR THERMOSTATIC MIXING OR COMBINATION PRESSURE-BALANCED THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION.
 D. MULTIPLE SHOWERHEADS SERVICING ONE SHOWER:
 WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 P.S.I. OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. CONTROL VALVES TO BE PRESSURE-BALANCED OR THERMOSTATIC MIXING OR COMBINATION PRESSURE-BALANCED THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION.
 E. RESIDENTIAL LAVATORY FAUCETS:
 THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 P.S.I. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 80 P.S.I.
 F. KITCHEN FAUCETS:
 THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 P.S.I. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT EXCEED 2.2 GALLONS PER MINUTE AT 80 P.S.I. AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 P.S.I.
 NOTE:
 WHERE COMPLIING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.
 5A. PLUMBING FIXTURES & FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE & SHALL MEET APPLICABLE STANDARDS REFERENCED IN TABLE 101.1 OF THE CALIFORNIA PLUMBING CODE.
 6. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 12" ABOVE THE DRAIN INLET. THE LINED SHOWER RECEPTORS SHALL COMPLY WITH IAPMO IS 4-2006 & 2019 CFC SECTION 400.1.
- REFER TO THE DOOR AND WINDOW SCHEDULE ON SHEET SCH-1 FOR ALL DOOR AND WINDOW TYPES AND SIZES.
- ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR LEAKAGE AND VISIBLE TRANSMITTANCE. REFER TO SHEET SCH-1 FOR GLAZING VALUES.
- SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQ. FT. WITH THE MINIMUM OPERABLE HEIGHT 20" AND THE MINIMUM OPERABLE WIDTH 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO REMOVE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. PER 2019 C.R.C. SECTION R301.
- WINDOWS (GLAZING) SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED RIGID PLASTIC PER 2019 C.R.C. SECTION R303.4:
 1. GLAZING SHALL BE FULLY OPERABLE PANELS OF SHINING SLIDING & BIFOLD DOORS.
 2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 A. THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS LARGER THAN 6 S.F.
 B. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
 C. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR.
 D. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.
 4. GLAZING IN GUARDS & RAILINGS, INCLUDING STRUCTURAL BALUSTRADE PANELS & NONSTRUCTURAL INFILL PANELS, AND REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
 5. WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS & INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. THIS SHALL APPLY TO SINGLE GLAZING IN MULTIPLE GLAZING.
 6. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE FLOOR OR WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS AND IN A STRAIGHT LINE OF THE GLAZING.
 7. GLAZING ADJACENT TO THE LANDINGS AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE FLOOR OR WALKING SURFACE.
 EXCEPTIONS ARE AS STATED IN THE CALIFORNIA RESIDENTIAL CODE AS AMENDED BY LOCAL ORDINANCES.
- SHOWER ENCLOSURES MUST BE OF APPROVED TEMPERED OR SAFETY GLAZING AND DOOR MUST SWING OUT OF SHOWER.
 12. THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW LOCATED MORE THAN 12" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. GLAZING BETWEEN THE FINISH GRADE AND A HEIGHT OF 24" SHALL BE FIXED OR HAVE AN OPENING SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS. PER 2019 C.R.C. SECTION R602.2, OR BE PROVIDED WITH A WINDOW GUARD THAT COMPLIES WITH ASTM F 2090.
 13. INSPECTION OF NAILING IS REQUIRED FOR ALL DRYWALL AND LATH WHEN IN PLACE. CORNER BEADS ARE TO BE NAILED.
 14. A MINIMUM 1/2" LAYER OF GRADE "D" BUILDING PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.
- PRODUCT MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION. (CHAPTER 1, DIVISION 8, SECTION 8100.1.2 OF THE C.R.C.)
- WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBER EXCEEDS THE MAXIMUM CONTENT MOISTURE CONTENT OR BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE ENCLOSURE. (CGSBC 4.303.3)
- AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER AT THE TIME OF FINAL INSPECTION. (CGSBC 4.410)
- DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT ALL VOLT/VOL LIMIT FINISH MATERIALS HAVE BEEN USED. THIS APPLIES TO ADHESIVES, SEALANTS, CALKS, PAINT, STAINS, CARPET, RESILIENT FLOOR COVERINGS, ETC. (CGSBC 4.504.2.1 & 4.504.3) - REFER TO SHEET 04-S FOR VOLT REQUIREMENTS.
- INSTALLATION CERTIFICATES (CP-FR-ENV, CP-FR-LTG-01, CP-IR-MECH) MUST BE PROVIDED TO THE BUILDING INSPECTOR DURING CONSTRUCTION.
- INSTALLATION CERTIFICATES, OPERATING INFORMATION, MAINTENANCE INFORMATION AND INSTRUCTIONS SHALL BE PROVIDED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.
- BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8" AT THE CENTER OF THE 21" MINIMUM REQUIRED CLEARANCE AREA IN FRONT OF THE CEILING HEIGHT ABOVE PICTURES SHALL BE SUCH THAT THE PICTURE IS CAPABLE OF BEING USED FOR ITS INTENDED PURPOSE. A TUB OR SHOWER EQUIPPED WITH SHOWERHEAD SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-5" ABOVE A MINIMUM AREA 30" X 30" AT THE SHOWERHEAD. (CFC SECTION R303.1, EXCEPTION 2)
- DOMESTIC KITCHEN RANGE VENTILATION SYSTEM SHALL BE INSTALLED OVER COOKING FACILITIES AND EXHAUSTED OUTSIDE OF THE BUILDING. AN APPROVED DOWNDRAFT GRILL-RANGE VENTILATION SYSTEM MAY BE USED. (CFC SECTION 804.2 & 804.3, IS 18.020 B)
- EQUIPMENT LOCATED IN A GARAGE THAT GENERATES A GLOW SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED ON FLOORS, BURNERS, HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE THE GARAGE FLOOR. (CFC 501.1 & CFC 503.142)
- REFER TO THE REFLECTED CEILING PLANS FOR CEILING AND SOFFIT HEIGHTS.
- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND FRAMING REQUIREMENTS ALONG WITH ANY CITY REQUIRED STRUCTURAL OBSERVATION(S), SPECIAL INSPECTION CERTIFICATION(S) AND/OR TESTING FORMS.
- REFER TO SHEET 12A(1) FOR THE TITLE 24 ENERGY CALCULATION FORMS.
- APPLIANCES INSTALLED IN GARAGE SHALL BE LOCATED OR PROTECTED SO THEY ARE NOT SUBJECT TO PHYSICAL DAMAGE BY MOVING VEHICLES. (CFC 501.1 & CFC 504.2)
- ALL ROSE BIBBS MUST HAVE AN APPROVED ANTI-SPIRION BACKFLOW PREVENTION DEVICE. (CFC 605.3, 603.2 & 603.4.1)
- SEMENT TRAP SHALL BE INSTALLED ON THE GAS LINE DOWNSTREAM OF THE GAS APPLIANCE SHUTOFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL. THE SEDIMENT TRAP SHALL BE DIRECTLY WITH A CAPPED NIPPLE IN THE BOTTOM OUTLET OR OTHER RECOGNIZED DEVICE. (CFC 1212.1)
- GAS PIPELINES SHALL BE DIRECT VENT SEALED COMBUSTION TYPE. ANY WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE I EMISSION LIMITS AS WELL AS SOUTH CALIFORNIA AIR QUALITY MANAGEMENT DISTRICT RULES.
 28. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
 29. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY GLAZING OR OPENINGS WITH GEMENT HORIZONTAL CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- WHEN A WATER HEATER IS LOCATED IN THE ATTIC, ATTIC - CEILING ASSEMBLY, FLOOR - CEILING ASSEMBLY OR FLOOR - SUBFLOOR ASSEMBLY WHERE DAMAGE MAY RESULT FROM A LEAKING WATER HEATER, A WATER-TIGHT PAN OF CORROSION RESISTANT MATERIALS SHALL BE INSTALLED BENEATH THE WATER HEATER WITH A MINIMUM 3/4" DIA. DRAIN TO AN APPROVED LOCATION. (CFC 500.4)
- WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. (CFC 603.2) STRAP CONVENTIONAL TANK TYPE WATER HEATER PER DETAIL 170-2. ANCHOR TANKLESS TYPE WATER HEATER PER MANUFACTURER'S RECOMMENDATIONS.
- THE MINIMUM SIZE CAPACITY FOR WATER HEATERS SHALL BE IN ACCORDANCE WITH THE FIRST HOUR RATING LISTED IN CFC TABLE 6.1.
- PERVIOUS MATERIALS ARE PROHIBITED FOR WATER PIPE AND FITTINGS WHEN INSTALLED IN THE FLOOR OR IN CONTACT WITH THE FLOOR. (S.C.M.C. 18.20.020 & CFC 604.1)
- PIPING SHALL NOT BE USED FOR DRAINAGE AND WASTE PIPING WHEN INSTALLED IN THE GROUND UNLESS A SOILS ANALYSIS IS PROVIDED TO SHOW THAT SOILS CONDITIONS WILL NOT BE DAMAGING TO THE PIPING MATERIAL. (S.C.M.C. 18.20.020 & CFC 101.1.1)

MILESTONES / REVISIONS

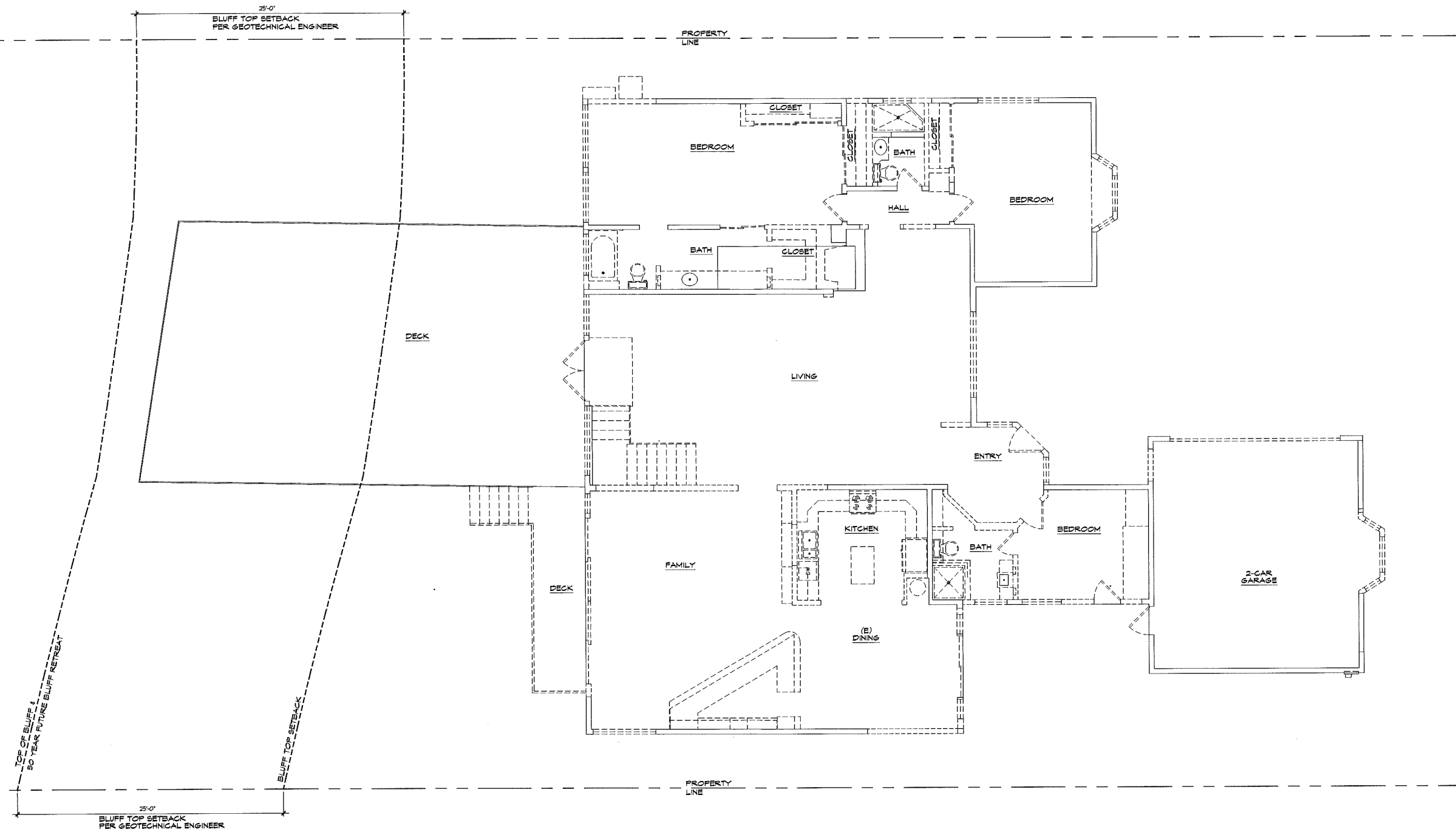
NO.	DATE	DESCRIPTION
4.5.19		DD MEETING
9.5.19		CDP SUB. #2
9.27.19		CDP SUB. #3

LICENSE STAMP:



SHEET TITLE:
**A.B./DEMO
1ST FLOOR PLAN**

SHEET NUMBER:



AS-BUILT / DEMOLITION FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PLAN LEGEND:

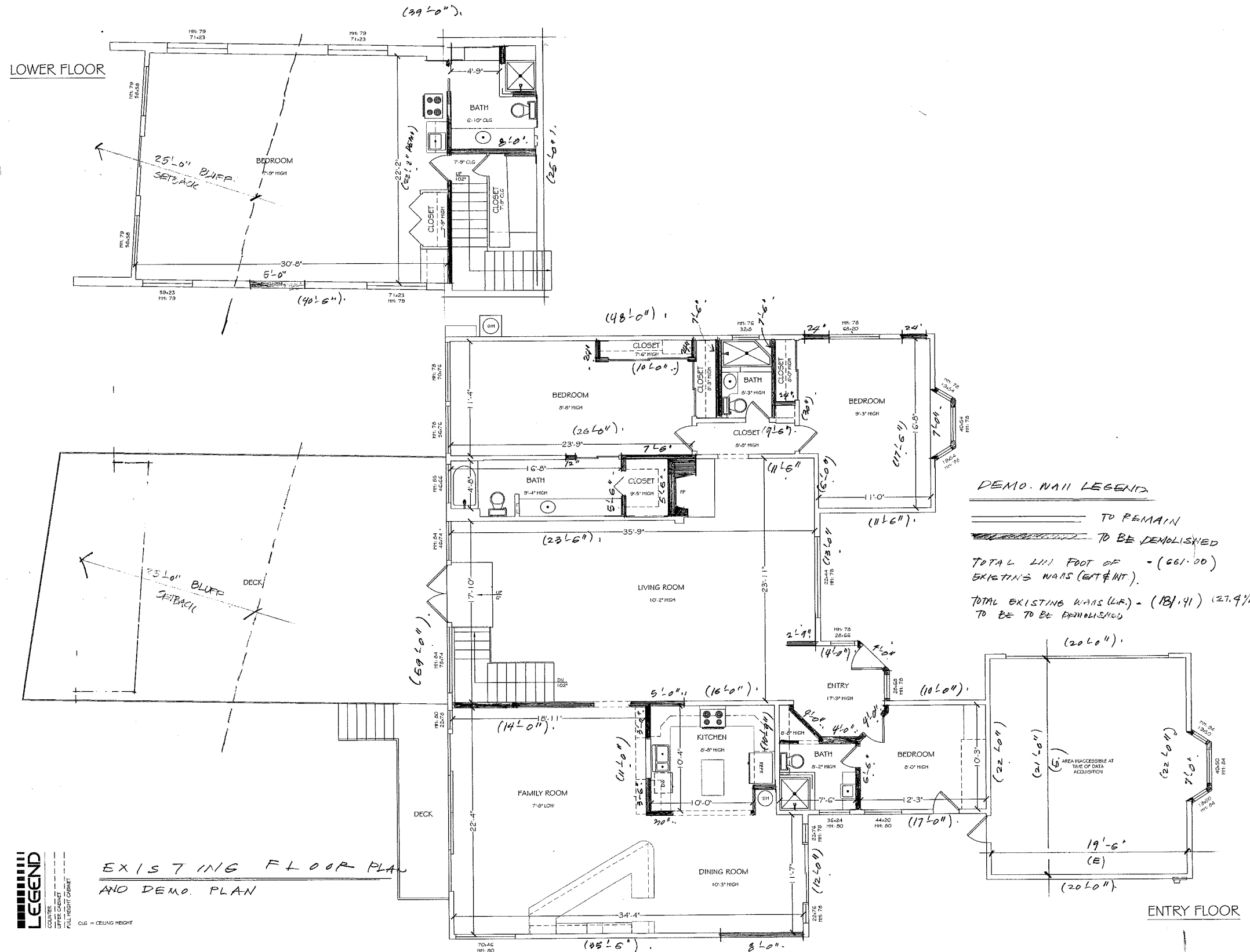
- DENOTES EXIST'G WALL TO REMAIN
- DENOTES EXIST'G ELEMENT TO BE REMOVED (WALLS, WINDOWS, DOORS, CABINERY, ETC.)

**AS-BUILT / DEMOLITION
PLAN NOTES:**

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXIST'G CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO FIELD VERIFY EXIST'G STRUCTURAL POSTS, BEAMS, INTERIOR & EXTERIOR BEARING WALLS SUPPORTING EXIST'G FLOOR, ROOF & CEILING PRIOR TO DEMOLITION. SHORE & BRACE EXIST'G STRUCTURE AS REQUIRED.

POST-TENSION SLAB:

CONTRACTOR TO FIELD VERIFY IF EXISTING CONCRETE SLAB IS POST-TENSION PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION AND REPORT FINDINGS TO THE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A POST-TENSION ENGINEER AND / OR CONTRACTOR TO GIVE GUIDANCE AND CRITERIA AND TO PERFORM ALL MODIFICATIONS REQUIRED, AS SHOWN IN THESE DOCUMENTS, WITHOUT COMPROMISING THE STRUCTURAL INTEGRITY OF THE POST-TENSION SYSTEM. THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR DETERMINING ANY CONSTRUCTION METHODS OR PROCEDURES AND ASSUMES NO LIABILITY FOR DAMAGE DUE TO ANY MODIFICATIONS MADE TO THE EXISTING SLAB OR STRUCTURE.



BILLSTEIN RESIDENCE
DANA POINT, CALIFORNIA

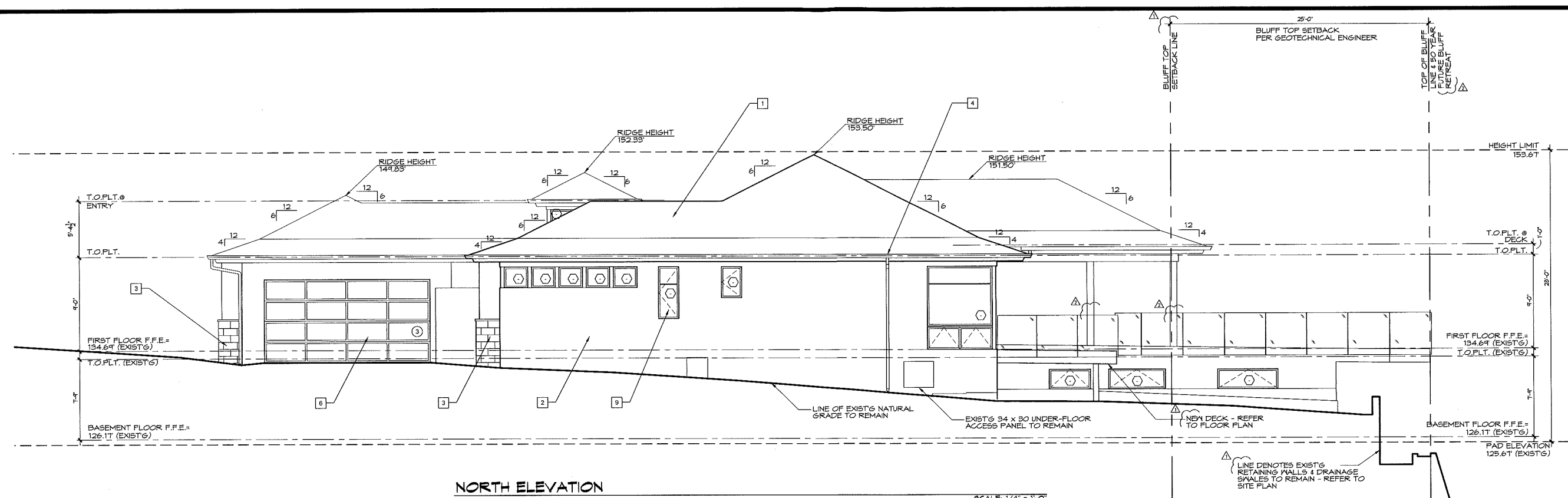
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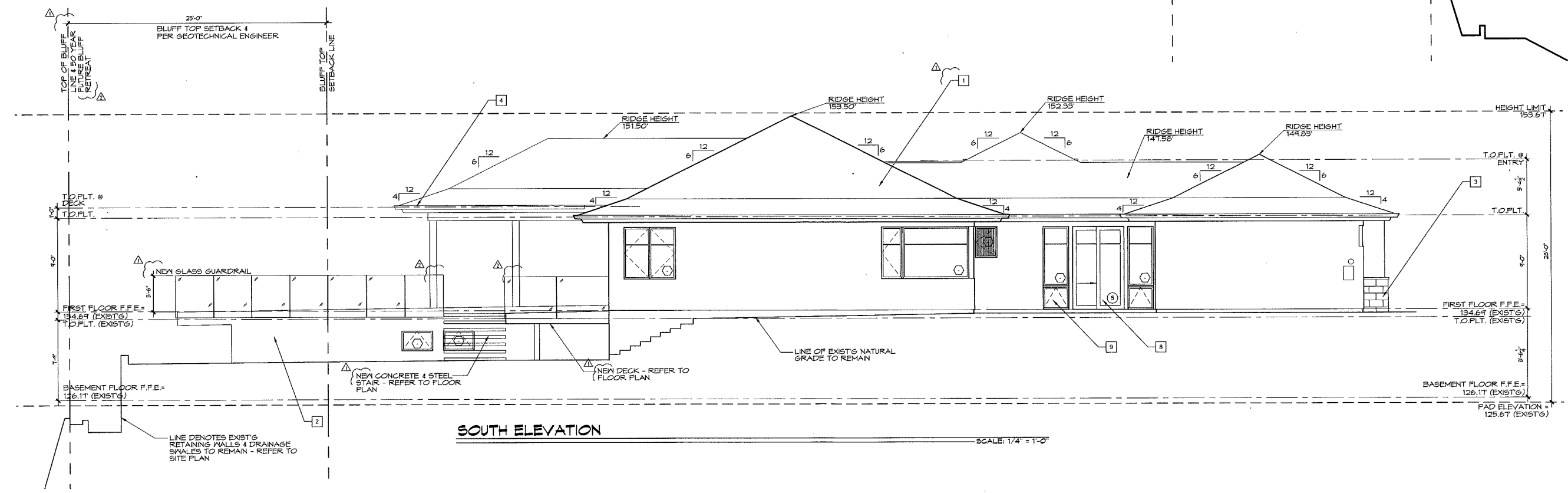
SHEET TITLE:
**NORTH & SOUTH
EXTERIOR ELEV.**

SHEET NUMBER:
A-4



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

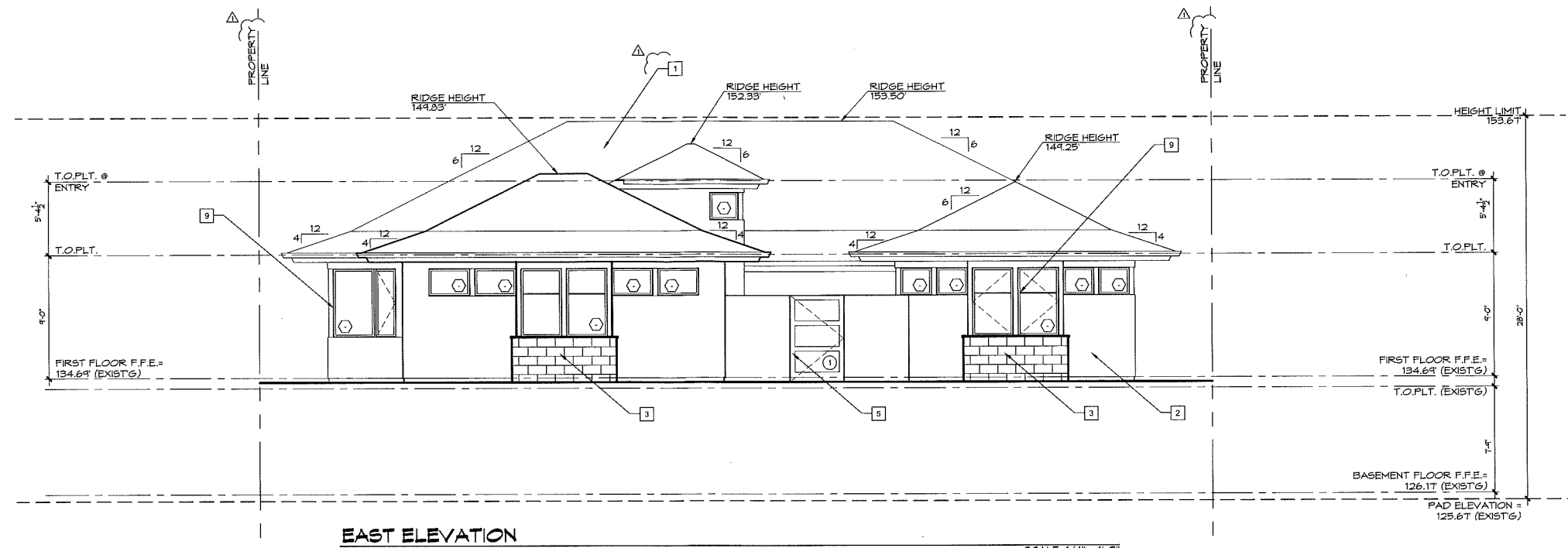
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- DO NOT SCALE DRAWINGS.
- REFER TO SITE PLAN FOR GRADE ELEVATIONS.
- REFER TO SHEET SCH-1 FOR DOOR AND WINDOW SPECIFICATIONS.
- INSTALL ALL FINISH MATERIAL PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR TO REMOVE & REPLACE ALL EXISTING WINDOWS AND ASSOCIATED WATERPROOFING & FLASHING, U.N.O.
- CONTRACTOR TO REMOVE & REPLACE ALL EXISTING EXTERIOR DOORS AND ASSOCIATED WATERPROOFING & FLASHING, U.N.O.
- CONTRACTOR TO REMOVE EXISTING EXTERIOR FINISH MATERIAL, WATERPROOFING & FLASHING, U.N.O.
- CONTRACTOR TO REMOVE EXISTING ROOF MATERIAL, WATERPROOFING & FLASHING, U.N.O.

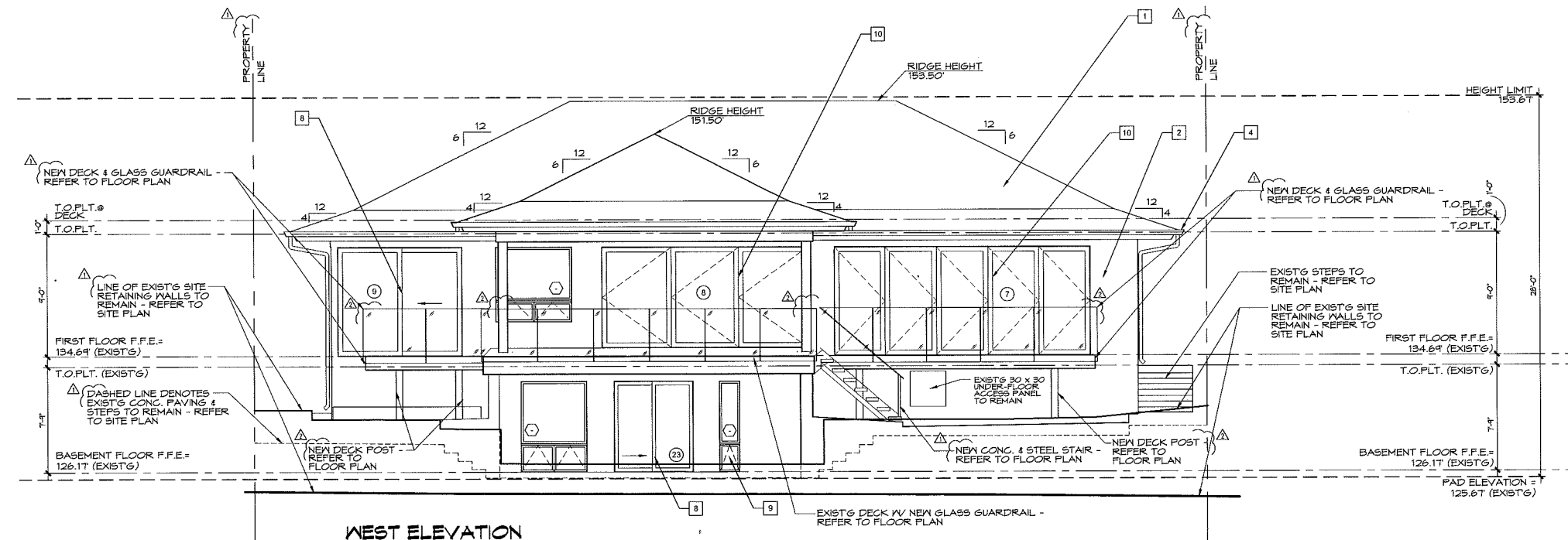
ELEVATION KEYNOTES:

- | | | | | | | | | | |
|---|---|---|--|--|---|--|---|--|---|
| <p>1 ROOFING:
MANUFACTURER: EAGLE ROOFING
MATERIAL: CONCRETE
STYLE: FLAT
PROFILE: BEL AIR
COLLECTION: 4808 SIERRA MADRE
COLOR: CHARCOAL
FIRE RATING: CLASS A
COMPLIANCE REPORT: US ER 1900</p> | <p>2 STUCCO:
MANUFACTURER: OMEGA
SYSTEM: DIAMOND WALL THREE COAT
IV CRACK ISOLATION
COLORTEK
FINISH: SMOOTH STEEL TROWELED
TEXTURE: 481 ROUGH KHAKI
COLOR: (SAMPLE TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION)
COMPLIANCE REPORT: ICC-ES-ESR 1194</p> | <p>3 STONE VENEER:
MANUFACTURER: EL Dorado Stone
COLLECTION: MODERN
PROFILE: COASTAL REEF
COLOR: PEARL WHITE
TYPE: ADHERED STONE VENEER
COMPLIANCE REPORT: ICC-ES-ESR-1215</p> | <p>4 GUTTERS & DOWNSPOUTS:
MATERIAL: 16 OZ COPPER
GUTTER: 5" SQUARE
SEAMS: WELDED
DOWNSPOUTS: 5" DIA.</p> | <p>5 FRONT ENTRY GATE:
MANUFACTURER: CUSTOM BUILT
MATERIAL: WOOD
FINISH: STAINED
COLOR: TBD</p> | <p>6 GARAGE DOOR:
MANUFACTURER: WAYNE DALTON GARAGE DOORS
SERIES: 8880
MATERIAL: ALUMINUM & GLASS
FINISH: PAINTED
COLOR: BROWN
GLASS: TINTED</p> | <p>7 ENTRY DOOR:
MANUFACTURER: CUSTOM BUILT
MATERIAL: WOOD & GLASS
FINISH: STAINED
COLOR: TBD</p> | <p>8 EXTERIOR DOORS:
MANUFACTURER: VISTALUXE
COLLECTION: ALUMINUM CLAD WOOD
MATERIAL: ALUMINUM CLAD WOOD
FINISH: PAINTED
EXTERIOR: TBD
COLOR: TBD
INTERIOR: TBD
COLOR: TBD</p> | <p>9 WINDOWS:
MANUFACTURER: KOLEE WINDOWS & DOORS
COLLECTION: VISTALUXE
STYLE: FLUSH
MATERIAL: ALUMINUM CLAD WOOD
FINISH: PAINTED
EXTERIOR: TBD
COLOR: TBD
INTERIOR: TBD
COLOR: TBD</p> | <p>10 FOLDING DOORS:
MANUFACTURER: L&CANTINA DOORS
TYPE: FOLDING
MATERIAL: ALUMINUM
FINISH: PAINTED
COLOR: (MATCH WINDOWS)</p> |
|---|---|---|--|--|---|--|---|--|---|



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- DO NOT SCALE DRAWINGS.
- REFER TO SITE PLAN FOR GRADE ELEVATIONS.
- REFER TO SHEET SCH-1 FOR DOOR AND WINDOWS SPECIFICATIONS.
- INSTALL ALL FINISH MATERIAL PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR TO REMOVE & REPLACE ALL EXISTING WINDOWS AND ASSOCIATED WATERPROOFING & FLASHING, U.N.O.
- CONTRACTOR TO REMOVE & REPLACE ALL EXISTING EXTERIOR DOORS AND ASSOCIATED WATERPROOFING & FLASHING, U.N.O.
- CONTRACTOR TO REMOVE EXISTING EXTERIOR FINISH MATERIAL, WATERPROOFING & FLASHING, U.N.O.
- CONTRACTOR TO REMOVE EXISTING ROOF MATERIAL, WATERPROOFING & FLASHING, U.N.O.

ELEVATION KEYNOTES:

- | | | | |
|---|---|--|---|
| <p>1 ROOFING:
MANUFACTURER: EAGLE ROOFING
MATERIAL: CONCRETE
STYLE: FLAT
PROFILE: BEL AIR
COLOR: 4805 SIERRA MADRE
FINISH: CHARCOAL
FIRE RATING: CLASS A
COMPLIANCE REPORT: UES ER 1900</p> | <p>3 STONE VENEER:
MANUFACTURER: ELDORADO STONE
COLLECTION: MODERN
COLOR: COASTAL REEF
FINISH: PEARL WHITE
TYPE: ADHERED STONE VENEER
COMPLIANCE REPORT: ICC-ES-ESR-1215</p> | <p>6 GARAGE DOOR:
MANUFACTURER: WAYNE DALTON GARAGE DOORS
SERIES: 8050
MATERIAL: ALUMINUM & GLASS
FINISH: PAINTED
COLOR: BROWN TINTED</p> | <p>9 WINDOWS:
MANUFACTURER: KOLBE WINDOWS & DOORS
COLLECTION: VISTALUXE
STYLE: FLUSH
MATERIAL: ALUMINUM CLAD WOOD
FINISH: PAINTED
EXTERIOR: TBD
INTERIOR: TBD
COLOR: TBD</p> |
| <p>2 STUCCO:
MANUFACTURER: OMEGA
SYSTEM: DIAMOND WALL THREE COAT W/ CRACK ISOLATION
FINISH: COLORTEK
TEXTURE: SMOOTH STEEL TROWELED
COLOR: 48T ROUGH KHAKI (SAMPLE TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION)
COMPLIANCE REPORT: ICC-ES-ESR 1194</p> | <p>4 GUTTERS & DOWNSPOUTS:
MATERIAL: 16 OZ. COPPER
GUTTER: 5" SQUARE
SEAMS: WELDED
DOWNSPOUTS: 3" DIA.</p> | <p>7 ENTRY DOOR:
MANUFACTURER: CUSTOM BUILT
MATERIAL: WOOD & GLASS
FINISH: STAINED
COLOR: TBD</p> | <p>10 FOLDING DOORS:
MANUFACTURER: LSCANTINA DOORS
TYPE: FOLDING
MATERIAL: ALUMINUM
FINISH: PAINTED
COLOR: (MATCH WINDOWS)</p> |
| <p>8 EXTERIOR DOORS:
MANUFACTURER: KOLBE WINDOWS & DOORS
COLLECTION: VISTALUXE
MATERIAL: ALUMINUM CLAD WOOD
FINISH: PAINTED
EXTERIOR: TBD
INTERIOR: TBD
COLOR: TBD</p> | <p>5 FRONT ENTRY GATE:
MANUFACTURER: CUSTOM BUILT
MATERIAL: WOOD
FINISH: STAINED
COLOR: TBD</p> | <p>10 FOLDING DOORS:
MANUFACTURER: LSCANTINA DOORS
TYPE: FOLDING
MATERIAL: ALUMINUM
FINISH: PAINTED
COLOR: (MATCH WINDOWS)</p> | |

MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION
4.5.19		DD MEETING
9.5.19		CDP SUB. #2
9.27.19		CDP SUB. #3

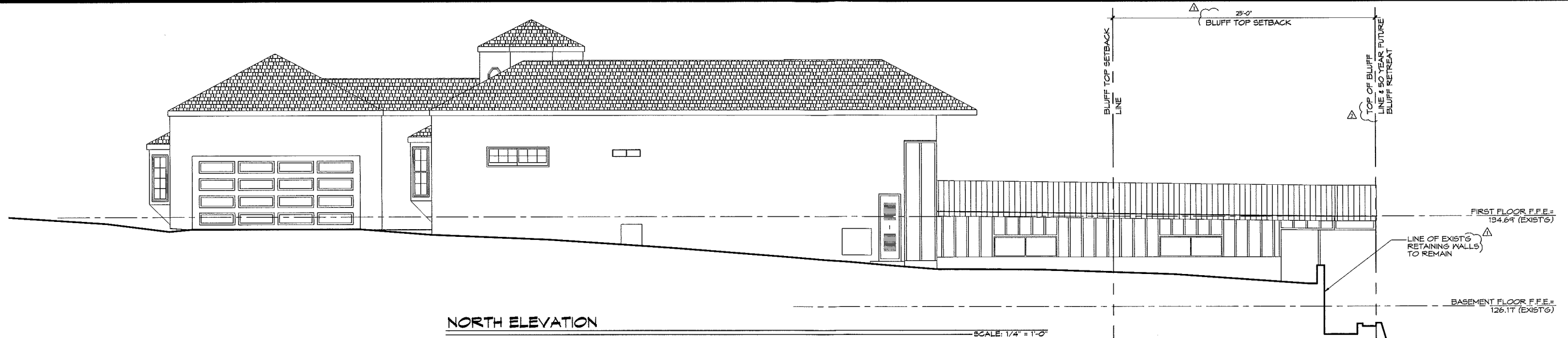
LICENSE STAMP:



SHEET TITLE:
**AS-BUILT
ELEVATIONS**

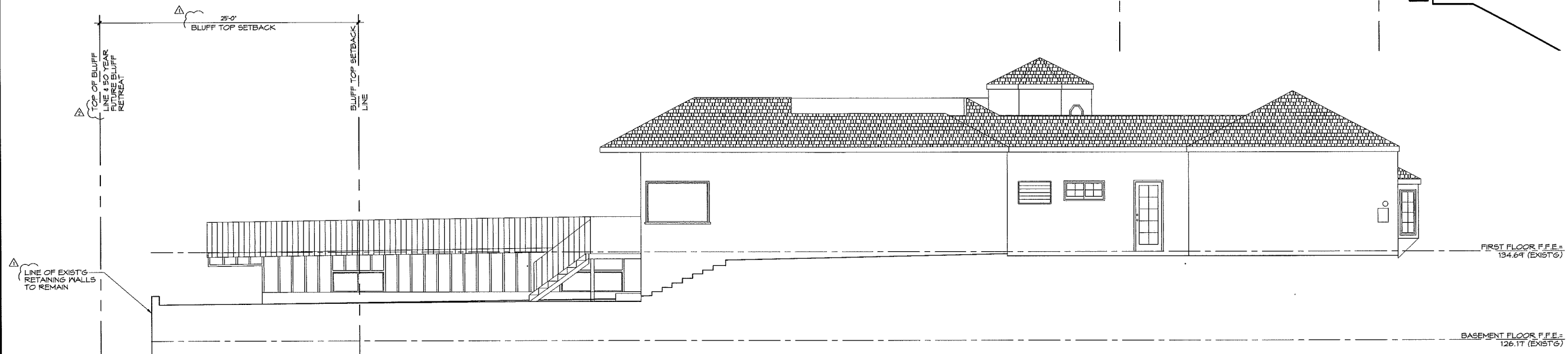
SHEET NUMBER:

A-5.1



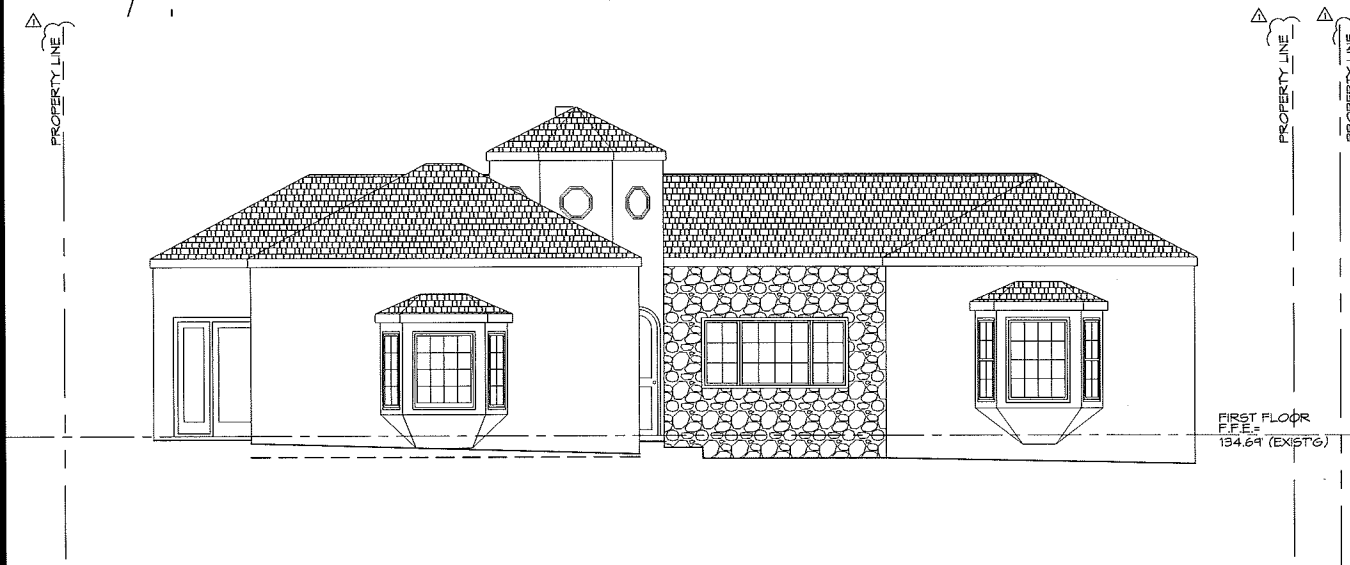
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



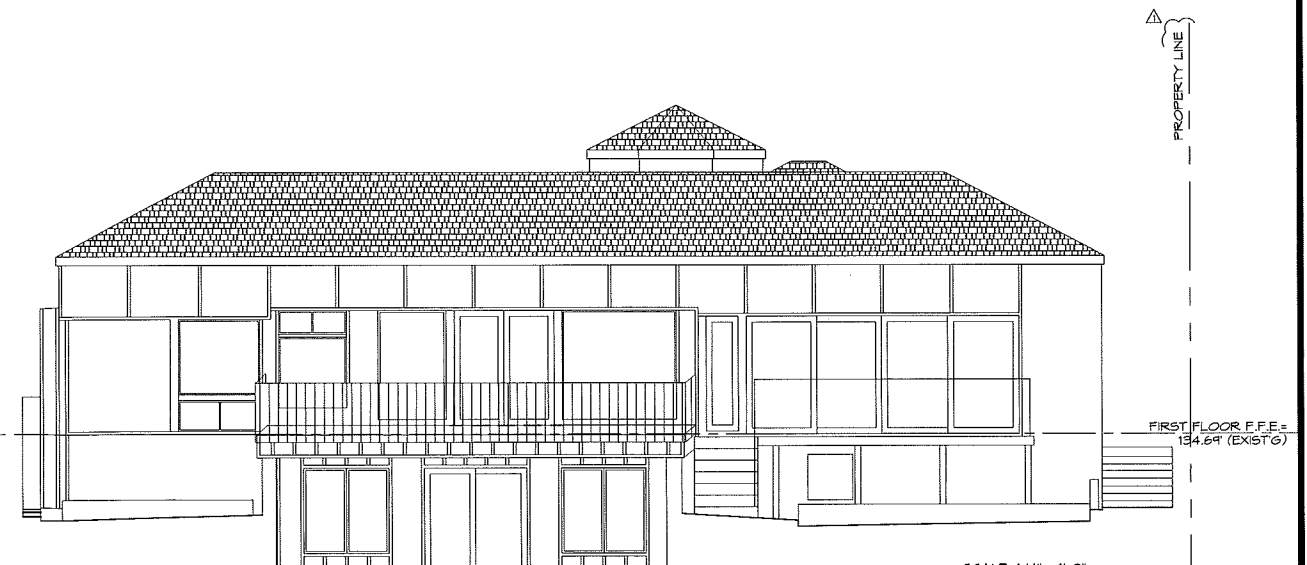
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

BASEMENT FLOOR F.F.E. = 126.17 (EXIST'G)

BILLSTEIN RESIDENCE
34821 DOHENY PLACE
DANA POINT, CA

PROJECT NUMBER:
2018016

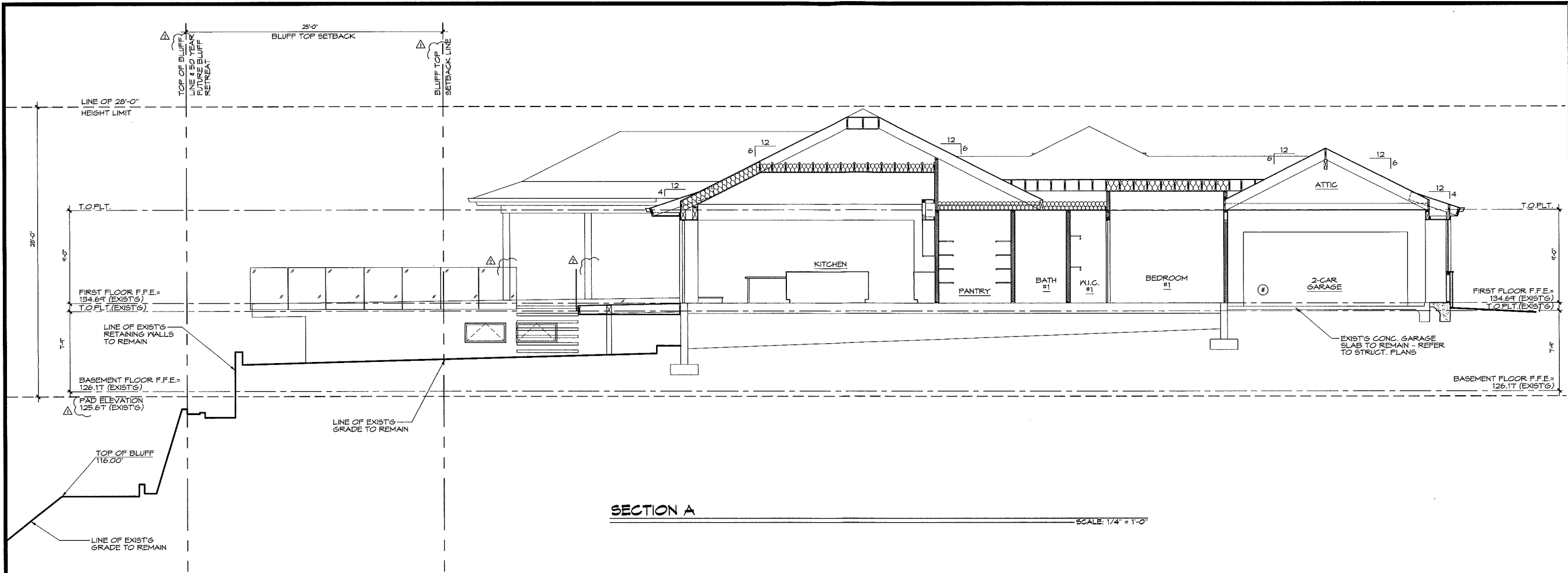
MILESTONES / REVISIONS

NO	DATE	DESCRIPTION
4.5.19	DD MEETING	
9.5.19	CDP SUB. #2	
9.27.19	CDP SUB. #3	



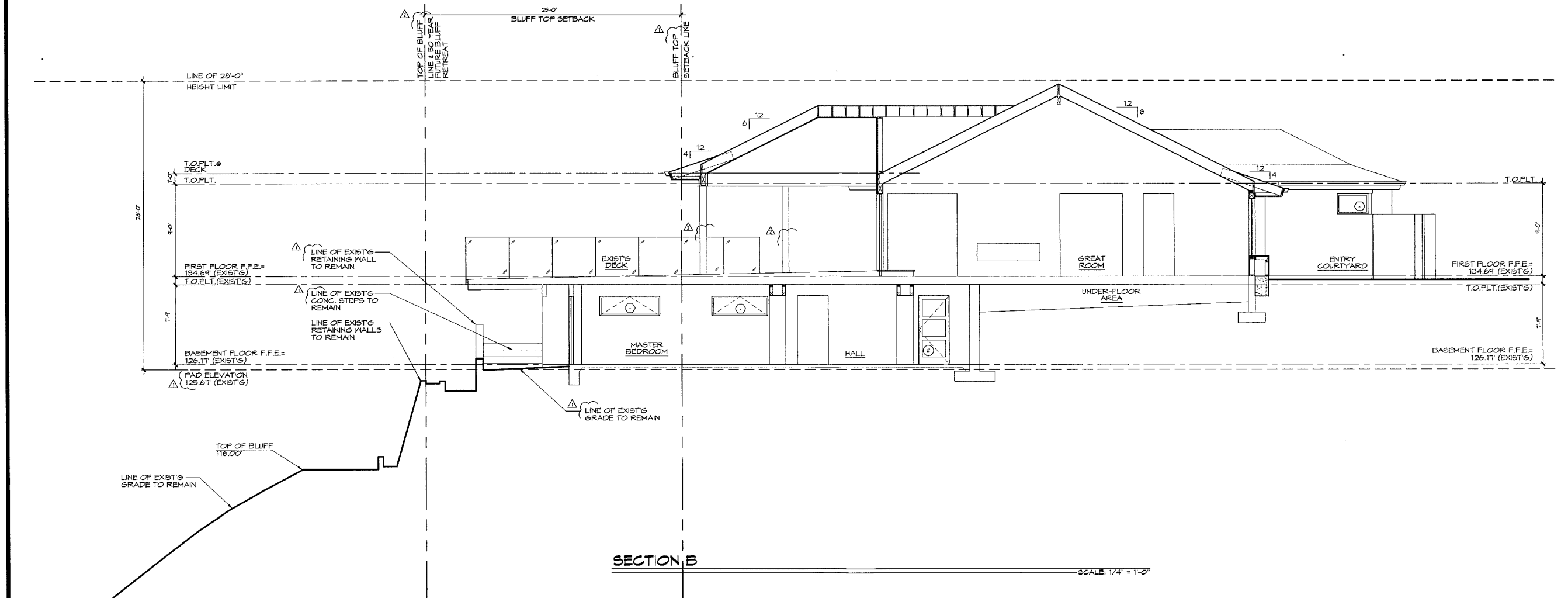
SHEET TITLE:
**SECTIONS
A & B**

SHEET NUMBER:
A-6



SECTION A

SCALE: 1/4" = 1'-0"



SECTION B

SCALE: 1/4" = 1'-0"

MILESTONES / REVISIONS		
NO.	DATE	DESCRIPTION
4.5.19	DD MEETING	
9.5.19	CDP SUB. #2	
9.27.19	CDP SUB. #3	

LICENSE STAMP:

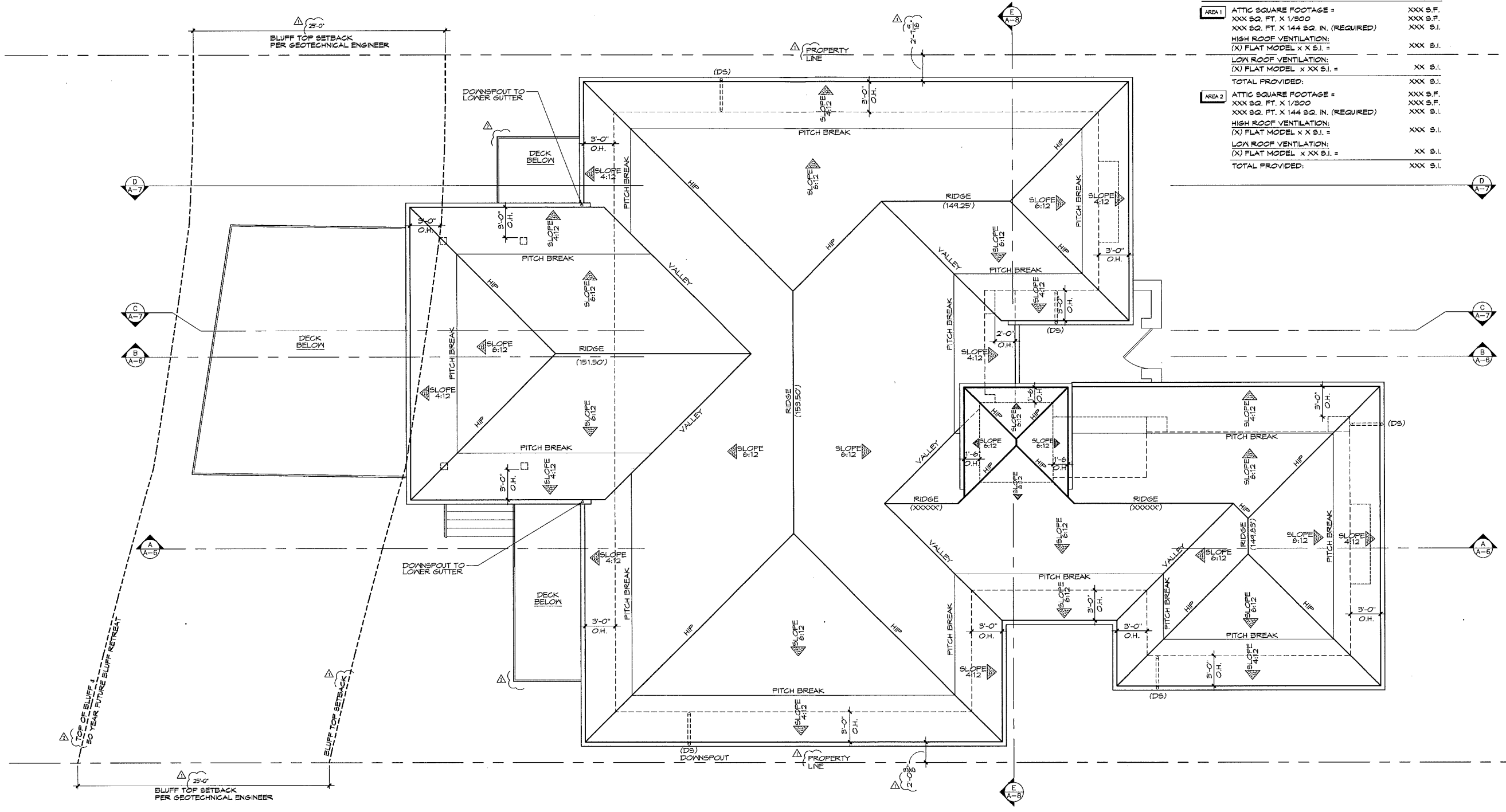


SHEET TITLE:
NEW ROOF PLAN

SHEET NUMBER:
A-9

ATTIC VENTING CALCULATIONS:

AREA	ATTIC SQUARE FOOTAGE =	XXX S.F.
AREA 1	XXX SQ. FT. X 1/300	XXX S.F.
	XXX SQ. FT. X 144 SQ. IN. (REQUIRED)	XXX S.F.
	HIGH ROOF VENTILATION: (X) FLAT MODEL x X S.F. =	XXX S.F.
LOW ROOF VENTILATION: (X) FLAT MODEL x XX S.F. =		XX S.F.
TOTAL PROVIDED:		XXX S.F.
AREA 2	ATTIC SQUARE FOOTAGE =	XXX S.F.
	XXX SQ. FT. X 1/300	XXX S.F.
	XXX SQ. FT. X 144 SQ. IN. (REQUIRED)	XXX S.F.
HIGH ROOF VENTILATION: (X) FLAT MODEL x X S.F. =		XXX S.F.
LOW ROOF VENTILATION: (X) FLAT MODEL x XX S.F. =		XX S.F.
TOTAL PROVIDED:		XXX S.F.



ROOF PLAN

ROOF PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- ▲ INDICATES ROOF PITCH AS NOTED ON THE ROOF PLAN.
- ALL PLUMBING AND EQUIPMENT VENTS MUST BE CONSOLIDATED AND LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE.
- ALL FLASHING, SHEET METAL, VENT STACKS AND PIPES SHALL BE COPPER.
- PROVIDE COPPER FLASHING AT ALL VALLEYS AND ROOF TO WALL CONDITIONS. REFER TO DETAILS.
- IN 'CALIFORNIA' DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION.
- IF 'CALIFORNIA' DOUBLE FRAME AREA HAS MORE THAN 30" HEADROOM PROVIDE A 20" X 30" MIN. ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
- AT ALL AREAS WITHIN THE ROOF ATTIC WITH 30" MIN. CLEAR HEADROOM, PROVIDE A 20" X 30" MIN. ATTIC ACCESS TO THOSE AREAS. ATTICS WITH AFFLIANCES OR F.A.U. UNITS INSTALLED IN THEM, PROVIDE A 30" X 30" MIN. ATTIC ACCESS. (PROVIDED F.A.U. MAY PASS THROUGH) WITH 30" MIN. CLEAR HEADROOM. PROVIDE WEATHER STRIPS AT PANEL TO PREVENT BACK DRAFT.

- PRIOR TO THE RELEASE OF THE ROOF SHEATHING INSPECTION, THE APPLICANT SHALL SUBMIT CERTIFICATION, BY A SURVEY OR OTHER APPROPRIATE METHOD, THAT THE HEIGHT OF THE STRUCTURES IS IN COMPLIANCE WITH THE ADOPTED APPROVAL RESOLUTION, AND THE HEIGHT LIMITATIONS (IF ANY) OF THE APPLICABLE ZONING DISTRICT.
- ALL ROOF EAVE GUTTERS SHALL BE 3" SQUARE, NON-EXTRUDED, CONTINUOUS COPPER WITH NO SEAMS. ALL DOWNSPOUTS SHALL BE COPPER, 3" DIA. ROUND WITH WELDED SEAMS. REFER TO ROOF PLAN AND EXTERIOR ELEVATIONS FOR LOCATIONS.
- COORDINATE CONNECTION OF CONTINUOUS ROOF EAVE GUTTERS AND DOWNSPOUTS TO ALLOW WATER TO FLOW AWAY FROM THE STRUCTURE. DOWNSPOUTS SHOULD BE CONNECTED TO CLOSED PIPES THAT DISCHARGE INTO SITE STORM DRAIN SYSTEM OR ONTO PAVED SURFACES THAT CARRY THE WATER AWAY AT LEAST 5'-0" FROM THE BUILDING'S FOUNDATION.
- ANY FORCED AIR UNITS LOCATED IN THE ATTIC MUST BE POSITIONED IN SUCH A MANNER THAT THE REQUIRED DISTANCE FROM THE VENT OUTLET TO THE TOP OF THE FLUE CAP IS WITHIN THE ATTIC, ALLOWING THE EXTERIOR HEIGHT OF THE FLUE CAP ABOVE THE FINISHED ROOFING TO BE THE MINIMUM ALLOWED BY CODE.

- VENTING SHALL EXTEND ABOVE THE ROOF AND SHALL TERMINATE IN VENT CAP. TERMINATION POINTS SHALL BE AT LEAST 4 FEET BELOW OR HORIZONTALLY FROM AND 1 FOOT ABOVE ANY OPENING INTO THE BUILDING. BE AT LEAST 3 FEET ABOVE ANY FORCED AIR INLET INTO THE BUILDING LOCATED WITHIN 10 FEET, AND SHALL BE 4 FEET AWAY FROM THE PROPERTY LINE, PER 2016 C.M.C. AND 2016 C.P.C.
- ROOF ELEVATIONS ARE TO TOP OF FINISHED MATERIAL. TYP. U.N.O.
- DS - DENOTES DOWNSPOUT LOCATION.

ROOFING SPECIFICATIONS:

MANUFACTURER: EAGLE ROOFING
MATERIAL: CONCRETE
STYLE: FLAT
PROFILE: BEL AIR
COLLECTION: 4803 SIERRA MADRE
COLOR: CHARCOAL
FIRE RATING: CLASS A
COMPLIANCE REPORT: VES ER 1900

ATTIC VENTILATION NOTES:

- PER 2019 C.R.C. SECTION R806 - ENCLOSED ATTICS AND ENCLOSED SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/8" INCH MINIMUM AND 1/2" INCH MAXIMUM. VENTILATING OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/8" INCH SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16" MINIMUM AND 1/4" MAXIMUM. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R802.7. MINIMUM VENT AREA: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF VENTED SPACE.

EXCEPTION:
THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
1. IN CLIMATE ZONES 14 & 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
2. AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

SCALE: 1/4" = 1'-0"



MILESTONES / REVISIONS

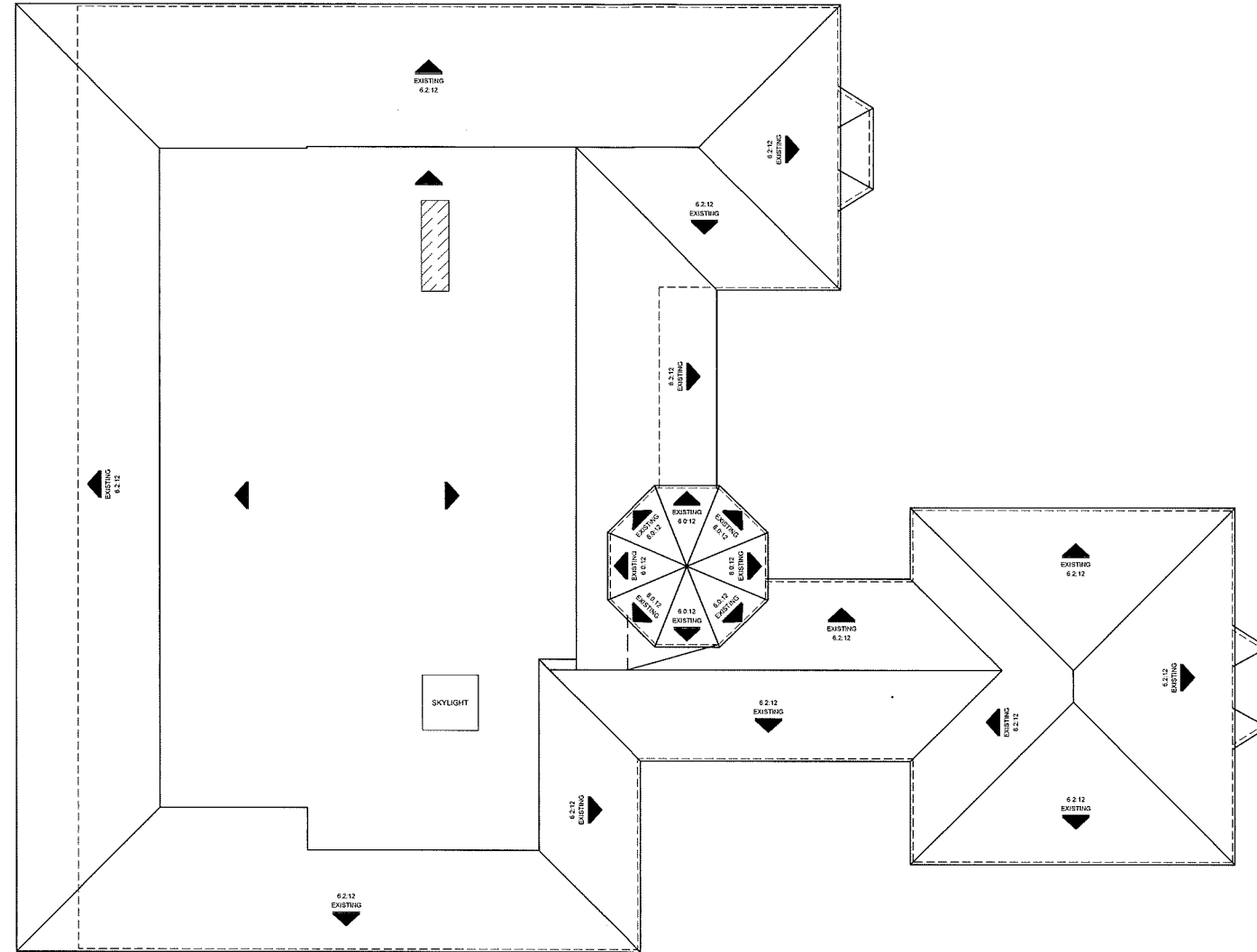
NO.	DATE	DESCRIPTION
	4.5.19	DD MEETING
	9.5.19	CDP SUB. #2
	9.27.19	CDP SUB. #3

LICENSE STAMP:



SHEET TITLE:
**AB / DEMO
ROOF PLAN**

SHEET NUMBER:
A-9.1



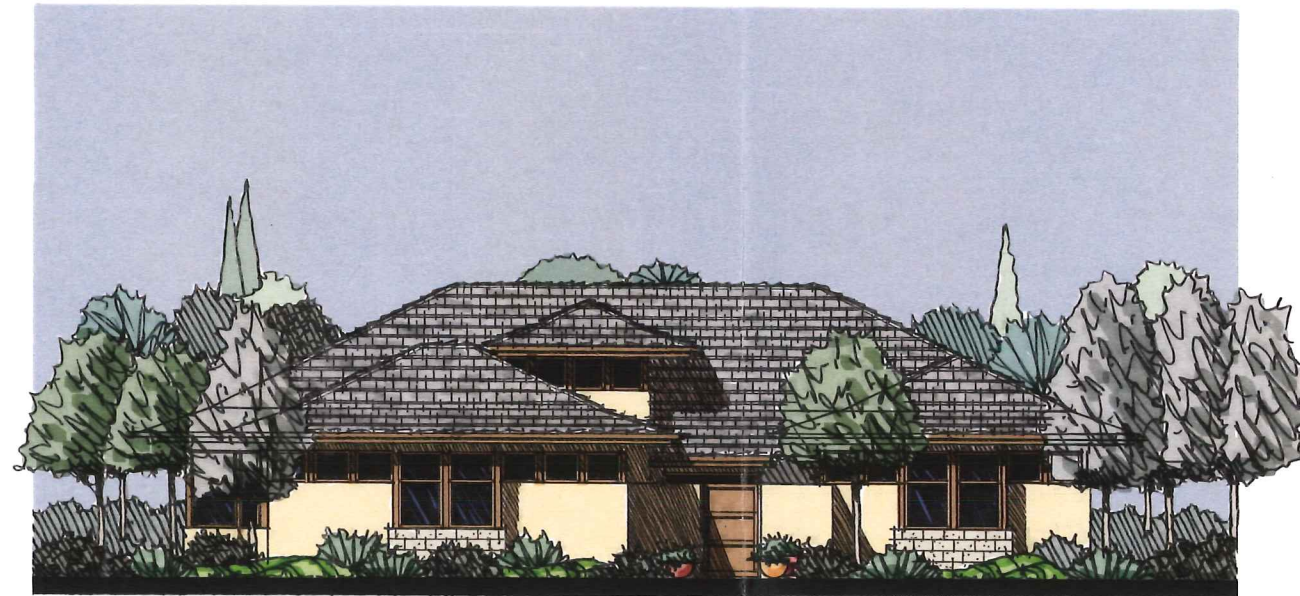
AS-BUILT / DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF DEMOLITION NOTES:

1. DO NOT SCALE DRAWINGS.
2. ALL ROOFING, FLASHING, UNDERLAYMENT, SKYLIGHTS, JACKS, PLYWOOD SHEATHING, FRAMING, ETC. TO BE REMOVED. PLACE AS DENOTED IN THESE DOCUMENTS.



Front (East) Elevation

Studio **6** ARCHITECTS

STUDIO 6 ARCHITECTS, INC.
ARCHITECTURE + PLANNING
2753 CAMINO CAPISTRANO, SUITE A 100
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PROJECT TEAM:
PRINCIPAL ARCHITECT: BRIAN MUEHLBAUER
DESIGN ARCHITECT: ROBERT WILLIAMS

CLIENT:
BETH BILLSTEIN
34821 DOHENY PLACE
DANA POINT, CA 92624

PROJECT MANAGER:
PHONE NUMBER:
FAX NUMBER:
EMAIL:

BILLSTEIN RESIDENCE
34821 DOHENY PLACE
DANA POINT, CA

PROJECT NUMBER:
2018016

MILESTONES / REVISIONS		
NO.	DATE	DESCRIPTION



SHEET TITLE:
NEW EXTERIOR
ELEVATIONS

SHEET NUMBER:
A-10