

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JULY 8, 2019

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
MATT SCHNEIDER, DIRECTOR OF COMMUNITY DEVELOPMENT
BELINDA DEINES, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP19-0008 AND SITE DEVELOPMENT PERMIT SDP19-0071 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW 4,007 SQUARE-FOOT SINGLE-FAMILY RESIDENCE AND CONVERT AN EXISTING CASITA INTO AN ACCESSORY DWELLING UNIT WITHIN THE RESIDENTIAL SINGLE FAMILY 4 (RSF 4) ZONE LOCATED AT 128 MONARCH BAY DRIVE

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP19-0008 and Site Development Permit SDP19-0071.

APPLICANT: Richard and Pat Wesselink, Property Owners

REPRESENTATIVE: Jason Richart, Designer

REQUEST: Approval of a Coastal Development Permit and a Site Development Permit to demolish and construct a new single-family dwelling, convert an existing casita into an accessory dwelling unit, and allow a 2' reduction of parking stall maneuvering area width located within the RSF 4 Zoning District, Coastal Overlay District, and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 128 Monarch Bay Drive (APN 671-131-57)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on June 28, 2019, published within a newspaper of general circulation on June 28, 2019, and posted on June 28, 2019 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303(a) (Class 3 – New Construction) in that the project involves construction of one single-family dwelling in a residential zone.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC) and Local Coastal Program (LCP);
- Project compatibility with and enhancement of the site and surrounding neighborhood; and
- Project satisfaction of all findings required pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP) and Site Development Permit (SDP).

BACKGROUND: The subject site is a 13,891 square-foot lot located within the Monarch Bay gated community, which consists of a built-out neighborhood of single-family dwellings. The site is improved with a 3,022 square-foot, one-story single-family dwelling and detached garage built in 1963. On October 7, 1998, the Planning Commission approved Coastal Development Permit CDP98-15 to allow a 305 square-foot addition to the existing single-family residence, and a 178 square-foot addition to the existing detached garage/activity room accessory structure. The applicant proposes to demolish the existing main structure, which is not identified as a historic resource. The detached garage will remain, and the activity room is proposed to be converted into an accessory dwelling unit, in compliance with California Government Code Section 65852.2.

The property is zoned “Residential Single Family 4” (RSF 4), identified in the City’s General Plan with a land use designation of “Residential 3.5-7 DU/AC,” and is located within the City’s Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

DISCUSSION: The proposed scope of work includes demolition of the existing main structure and landscaping, and construction of a new 4,007 square-foot single-family residence. The single-story structure consists of four bedrooms, three bathrooms, an office, and an open concept living, dining, and kitchen area. The existing two-car garage meets the covered parking requirement for a single-family residence with four bedrooms.

Development standards for this property are set forth in the City’s Zoning Code Chapter 9.09 (Residential Development Standards) specifically for the RSF 4 Zoning District. Table 1 summarizes applicable RSF 4 zoning designation development standards and the project’s conformance with those requirements:

Table 1: Compliance with RSF 4 Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Front Setback	20’ minimum	23’-2”	Yes

Side Setbacks	5' minimum	7'-10"; 12'	Yes
Rear Setback	25' minimum	39'-4"	Yes
Height	24' maximum Less than 3:12 roof pitch	15' Less than 3:12	Yes
Lot Coverage	45% maximum	37.5%	Yes
Landscape Coverage	25% minimum	27%	Yes
Parking Required	2 car garage	2 car garage	Yes

The proposed structure's architectural style is contemporary, which includes flat roofing, smooth stucco, travertine tile, dark bronze door and window trim, cedar horizontal siding, and a glass garage door (Supporting Document 3). New plant materials are proposed in existing landscape areas throughout the site. The existing pool and spa will remain as-is. Minor modifications are proposed to the existing hardscape, including widening of the driveway to meet the minimum 12' width, and reconfiguration of the existing u-shaped driveway in the front setback. The existing two-car garage meets the minimum vehicle maneuvering area for backup, subject to approval of a 2' reduction.

The project as designed complies with all applicable development standards, including setbacks, parking, landscape area, and height limits.

Coastal Development Permit CDP17-0019

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, construction of a new single-family dwelling and conversion of the existing casita into an accessory dwelling unit on land located in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires approval of a Coastal Development Permit (CDP). Per California Government Code Section 65852.2, the conversion of the existing casita into an accessory dwelling unit has been approved ministerially, and is not subject to a public hearing.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may*

have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).

- 4. Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
- 5. Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
- 6. Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
- 7. Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 19-07-08-XX, attached to this report as Action Document 1.

Site Development Permit SDP19-0071

Pursuant to DPZC Section 9.35.050(b)(4)(A), residential driveways are required where a two (2) stall garage has a garage door at least sixteen (16) feet wide, the parking stall maneuvering area width may be reduced by up to two (2) feet. The applicant demonstrates how two vehicles parked in the existing garage are able to maneuver in and out of the driveway within a 14' width, relative to the rear corner of the main structure.

Section 9.71.050 of the DPZC stipulates a minimum of four findings for approval of a SDP, requiring:

- 1. Compliance of the site design with development standards of this Code.*
- 2. Suitability of the site for the proposed use and development.*
- 3. Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
- 4. Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

The recommended findings for approval of the SDP are outlined in the draft Resolution No. 19-07-08-XX, attached to this report as Action Document 1.

CORRESPONDENCE: On June 18, 2019, the proposed project received homeowners' association approval from the Monarch Bay Association Architectural Control Committee. To date, no additional correspondence has been received.

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 19-0008 and Site Development Permit 19-0071 subject to the findings and conditions of approval contained therein.



Belinda Deines, Senior Planner



Matt Schneider, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 19-07-08-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Architectural Plans
5. Color and Material Sample Board

Action Document 1: Draft Planning Commission Resolution No. 19-07-08-xx

RESOLUTION NO. 19-07-08-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP19-0008 AND SITE DEVELOPMENT PERMIT SDP19-0071 TO DEMOLISH AN EXISTING 3,022 SQUARE-FOOT SINGLE-FAMILY DWELLING, AND CONSTRUCT A NEW 4,007 SQUARE-FOOT SINGLE-FAMILY DWELLING LOCATED WITHIN THE CITY'S COASTAL OVERLAY DISTRICT AT 128 MONARCH BAY DRIVE

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Jason Richart, Designer, (the "Representative") has filed an application on behalf of Richard and Pat Wesselink, ("Applicant"), the owners of real property commonly referred to as 128 Monarch Bay Drive (APN 671-131-57) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit to allow demolition and construction of a new single-family dwelling at the Property, and a Site Development Permit to allow a 2' reduction of parking stall maneuvering area; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling; and

WHEREAS, the Planning Commission did, on the 8th day of July, 2019, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP19-0008 and Site Development Permit SDP19-0071.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP19-0008 and SDP19-0071 subject to the following conditions of approval:

PLANNING COMMISSION RESOLUTION NO. 19-07-08-XX
CDP19-0008 AND SDP 19-0071
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Findings:

Coastal Development Permit CDP19-0008

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by effecting new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County and State beaches and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in that the application proposes the construction of one new single-family dwelling.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive**

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habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located within an established area of residential uses with little to no natural landforms present and; in that the proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed project would construct a new single-family dwelling utilizing materials and methods that conform to the development and design standards of the Dana Point Zoning Code and result in development of the property in a manner that is complementary to surrounding development in terms of mass, size and scale.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.**

Site Development Permit SDP19-0071

1. Compliance of the site design with development standards of this Code.
The two-car garage maintains the existing configuration of vehicular backup at the rear of the property. The applicant demonstrates that the interior dimensions of oversized garage can accommodate two 10' x 20' stalls. Plans indicate that adequate maneuvering area is provided within the 24' backup with a reduced 14' width as allowed by DPMC Section 9.35.050(b)(4)(A). Therefore, the site design is in compliance with the development standards of the Zoning Code.
2. Suitability of the site for the proposed use and development.
The proposed 2' reduction of the parking stall maneuvering area maintains an existing condition from when the structure was built in

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1963. The applicant proposes to widen the existing driveway to meet the minimum paved dimension width and bring the driveway into conformance with current code. As such, the site is suitable for the proposed backup configuration.

3. Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.

The proposed design and reduction in parking stall maneuvering area is in compliance with all elements of the General Plan and Urban Design Guidelines.

4. Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.

Reduction of the maneuvering area allows for the new primary structure to be rebuilt in the same configuration as the existing slab. Therefore, the siting of structures would be consistent with current conditions and is appropriate for the site and function of the proposed use.

Conditions:

General:

1. Approval of this application permits demolition of the existing single-family dwelling, construction of a new 4,007 square-foot single-family dwelling, and conversion of an existing casita into an accessory dwelling unit at 128 Monarch Bay Drive in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
3. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.

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4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The project shall meet all water quality requirements.
8. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox

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Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The Applicant, or Applicant's agent(s), shall be responsible for coordinating any potential conflicts or existing easements.

9. The Applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
10. The Applicant, Applicant's agent(s), or successor-in-interest, shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.

Prior to Issuance of a Grading Permit:

11. The Applicant, or Applicant's Agent(s), shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
12. The Applicant, or Applicant's Agent(s), shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
13. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
14. A performance bond shall be required for all grading activities up to 100% of the proposed improvements. .

Prior to Issuance of a Building Permit:

15. Building plan check submittal shall include two (2) sets of the following construction documents: building plans (4 sets), energy calculations, structural calculations, soils/geology report, and drainage plan.
16. All documents prepared by a professional shall be wet-stamped and signed.

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17. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief.
18. The Applicant, or Applicant's Agent(s), shall submit payment for all supplemental fees, including school, park, water, sewer and other impact-related fees.
19. The Applicant, or Applicant's agent(s), shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
20. The Applicant, or Applicant's agent(s), shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
21. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
22. The Applicant, or Applicant's Agent(s), shall submit a final Landscape and Irrigation Plan for review and approval by both the Public Works/Engineering Department and the Planning Division. The plan shall include all proposed and existing plant materials (location, type, size, and quantity), an irrigation plan (if irrigation is proposed), site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with applicable provisions of the Zoning Code, the preliminary plans approved by the Planning Commission and further, recognize the principles of drought tolerant landscaping.

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Prior to Final Approval of All Permits:

23. Prior to commencement of framing, the Applicant, or Applicant's Agent(s), shall submit a setback certification, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP19-0008 and SDP9-0071. The City's standard "Setback Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed civil engineer/surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval.
24. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP19-0008 and SDP9-0071. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval before release of final roof sheathing is granted.
25. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
26. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
27. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved plans and which specifically approves construction for all engineered drainage devices and retaining walls.
28. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
29. All permanent best management practices, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
30. Public Works final approval will be required for all permits.
31. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
32. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall

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include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval. All landscaping of the subject property shall be installed (per plan) prior to final inspection by the Planning Division.

DRAFT

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 8th day of July, 2019 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

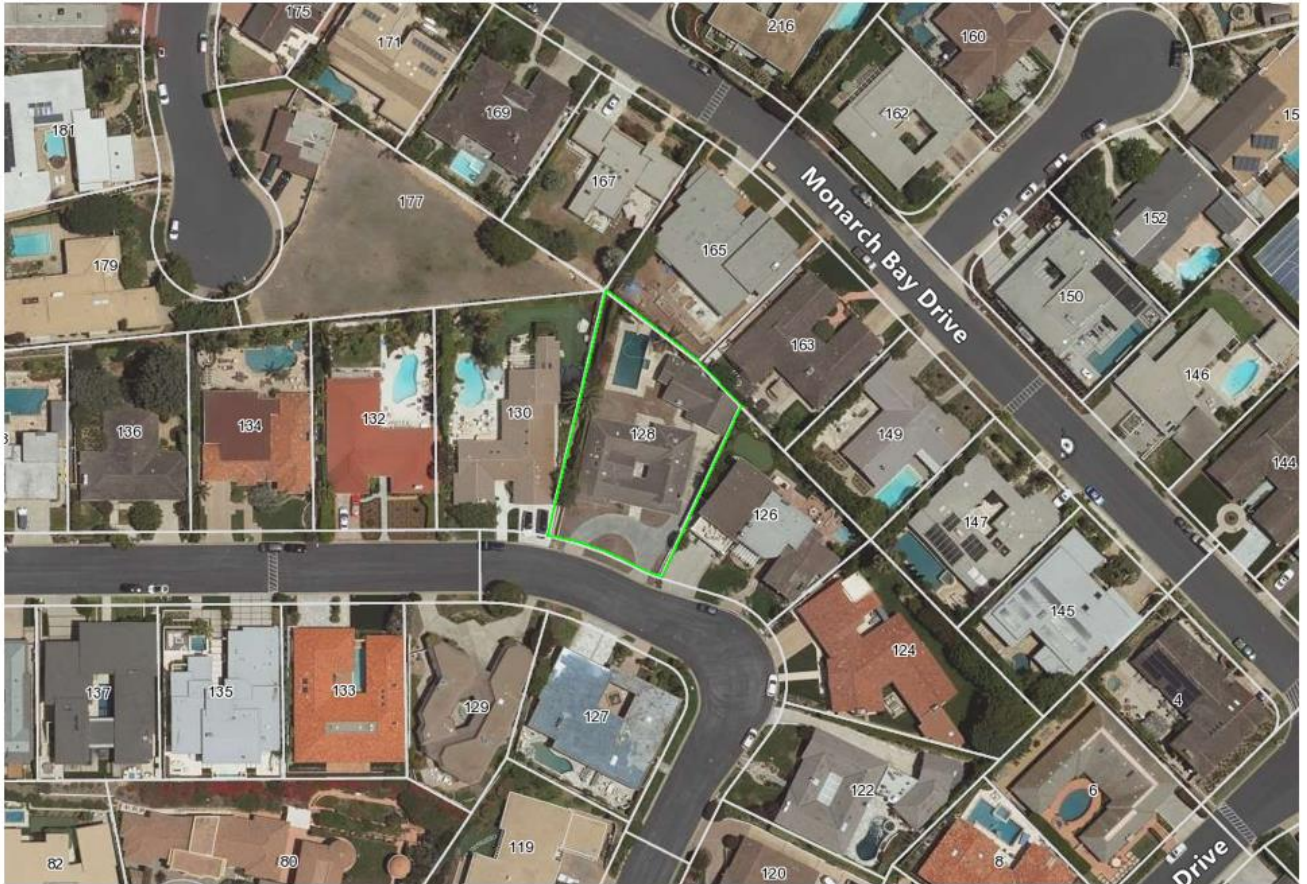
Roy Dohner, Chairperson
Planning Commission

ATTEST:

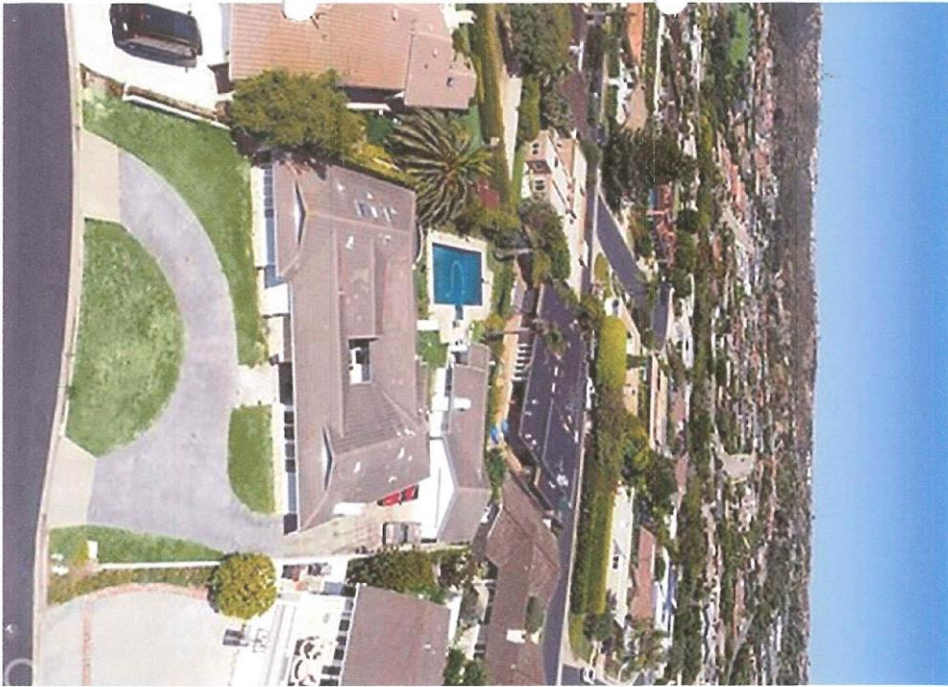
Matt Schneider, Director
Community Development Department

Supporting Document 2: Vicinity Map

VICINITY MAP: 128 MONARCH BAY DRIVE



Supporting Document 3: Site Photos



SITE ARIEL'S

MAIN DIVELLING "FRONT"

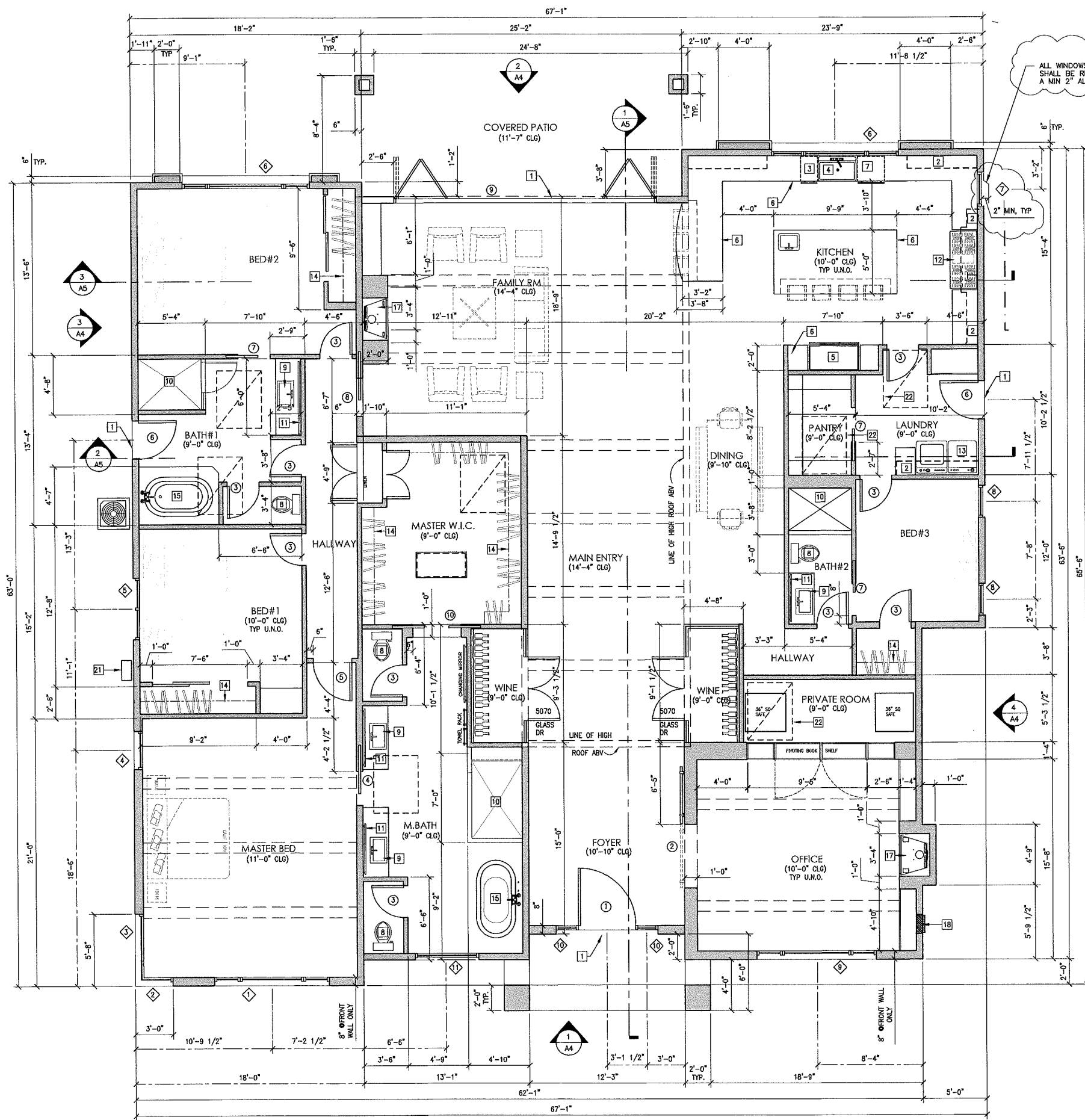


CASITA "FRONT"

MAIN DWELLING "BACK"



Supporting Document 4: Architectural Plans
ATTACHMENT



PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

LEGEND

INDICATES EXIST WALL
 INDICATES NEW WALL WITH 2x6 STUDS AT 16" O.C.

DOOR SCHEDULE

SYM	SIZE	TYPE	MATERIAL / COLOR	FFTR	SHGC
1	4'-8" x 8'-0" x 1 3/4"	ENTRY DOOR	DARK BRONZE / ALUMINUM CLAD TYPICAL		
2	5'-0" x 8'-0" x 1 3/4"	BARN DOOR			
3	2'-8" x 8'-0" x 1 3/4"	HOLLOW CORE DOOR			
4	2'-8" x 8'-0" x 1 3/4"	POCKET DOOR			
5	3'-0" x 8'-0" x 1 3/4"	HOLLOW CORE DOOR			
6	3'-0" x 8'-0" x 1 3/4"	SOLID CORE DOOR			
7	2'-8" x 8'-0" x 1 3/4"	POCKET DOOR			
8	3'-0" x 8'-0" x 1 3/4"	POCKET DOOR			
9	20'-8" x 8'-0" x 1 3/4"	LA CANTINA DOOR		0.40	0.40
10	3'-10" x 8'-0" x 1 3/4"	DOUBLE POCKET DOOR			

WINDOW SCHEDULE

SYM	SIZE	TYPE	MATERIAL	FFTR	SHGC
1	9'-0" x 5'-0"	MARVIN (XOK-CASEMENT) DUAL GLAZED	DARK BRONZE / ALUMINUM CLAD TYPICAL	0.40	0.40
2	3'-0" x 5'-0"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40
3	5'-8" x 5'-0"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40
4	3'-0" x 5'-0"	MARVIN (CASEMENT) DUAL GLAZED		0.40	0.40
5	5'-0" x 5'-0"	MARVIN (DOUBLE CASEMENT) DUAL GLAZED		0.40	0.40
6	10'-0" x 4'-0"	MARVIN (XOK-DOUBLE CASEMENT) DUAL GLAZED		0.40	0.40
7	2'-8" x 4'-6"	MARVIN (CASEMENT) DUAL GLAZED		0.40	0.40
8	2'-6" x 5'-0"	MARVIN (CASEMENT) DUAL GLAZED		0.40	0.40
9	9'-5" x 4'-6"	MARVIN (XOK-CASEMENT) DUAL GLAZED		0.40	0.40
10	1'-9" x 8'-0"	MARVIN (SIDE/LIGHT-FIXED) DUAL GLAZED, TEMP		0.40	0.40
11	5'-0" x 4'-6"	MARVIN (SLIDER) DUAL GLAZED, TEMP		0.40	0.40
12	2'-8" x 1'-6"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40
13	9'-0" x 1'-6"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40
14	5'-0" x 1'-8"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40
15	10'-0" x 1'-8"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40
16	3'-9" x 1'-8"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40
17	5'-0" x 1'-8"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40
18	4'-0" x 1'-8"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40
19	3'-10" x 1'-8"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40
20	4'-3" x 1'-8"	MARVIN (FIXED) DUAL GLAZED		0.40	0.40

WINDOW NOTES:
 1. ALL DOOR & WINDOW HARDWARE TO BE SELECTED BY OWNER.
 2. CONTRACTOR TO VERIFY ALL WINDOW & DOOR SIZES BEFORE ORDERING.
 3. ALL DOOR WINDOWS & DOORS TO BE RECESSED GLASS WITH A MAX. 1 1/2" FACTOR PER T24 REQUIREMENTS.
 4. ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A PERMANENT LABEL AS SAFETY GLAZING.
 5. ALL TEMPERED GLASS IDENTIFICATION MUST BE ETCHED OR CERAMIC FIXED ON THE GLASS AND BE VISIBLE.
 A. GLAZING IN EGRESS AND EGRESS DOORS EXCEPT JALOUSIES
 B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
 6. EMERGENCY EGRESS IN BEDROOM REQUIREMENTS:
 A. AN OPENABLE AREA OF NOT LESS THAN 5.7 SQ. FT.
 B. A MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH
 C. A SILL HEIGHT NOT OVER 44" ABOVE FINISH FLOOR.
 7. PENETRATIONS WITH "U" VALUE LOWER THAN DEFAULT VALUE MUST HAVE PERMANENT LABEL. OTHER PENETRATIONS MAY HAVE FACTORY REMOVABLE LABEL.

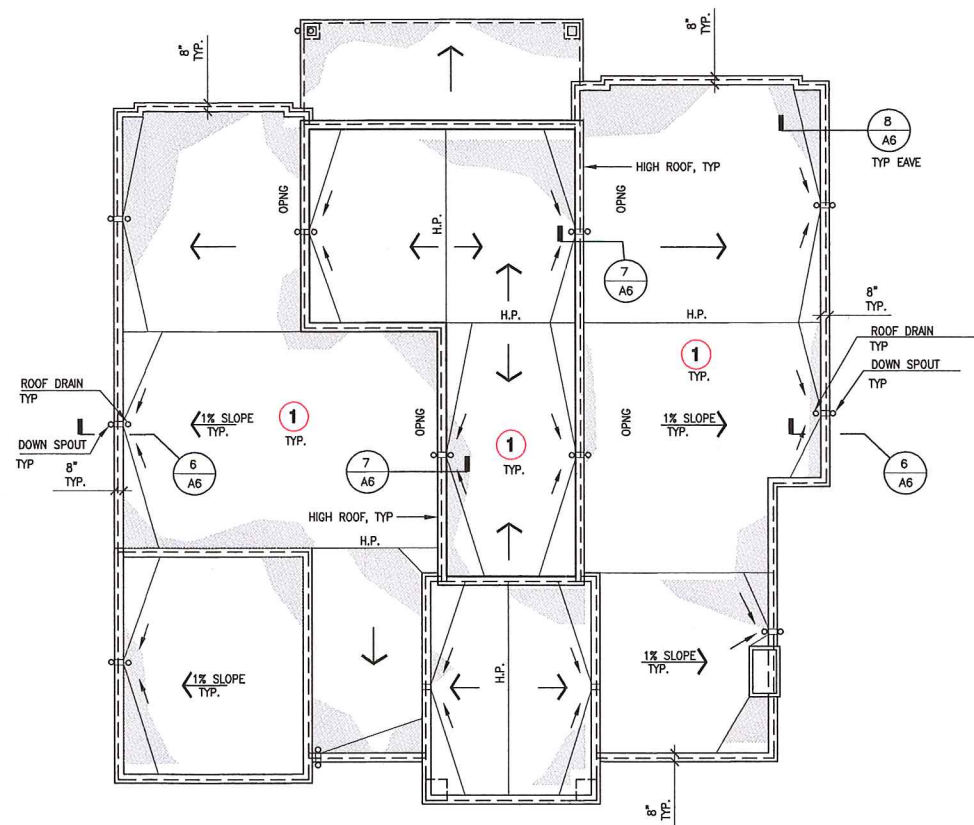
FLOOR PLAN ID'S

- PROVIDE A FLOOR LANDING ON EACH SIDE OF EVERY EXTERIOR DOOR. LANDING SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND A MINIMUM OF 36" IN LENGTH. a. THE LANDING AT REQUIRED EGRESS OUT-SWINGING DOORS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. b. THE LANDING AT REQUIRED EGRESS IN-SWINGING DOORS SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. c. THE LANDING AT EXTERIOR DOORS OTHER THAN THE REQUIRED EGRESS SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD.
- LOWER/UPPER CABINET WITH GRANITE COUNTERTOP- FINISH STAIN TO BE SELECTED BY HOMEOWNER
- TRASH PULLOUT
- SINGLE STAINLESS SINK W/ GARBAGE DISPOSAL
- 42" REF/ FREEZER AND PROVIDE WATER LINE AS REQUIRED.
- GRANITE COUNTERTOP-TO BE SELECTED BY HOMEOWNER
- DISHWASHER WITH GFCI OUTLET IN LOWER CABINET.
- KOHLER TOILET OR EQUAL MAXIMUM FLOW RATE CALIFORNIA ENERGY COMMISSION (CPC 402.2)
- KOHLER SINK OR EQUAL, CABINET, COUNTERTOP, AND FIXTURE TO BE SELECTED BY HOMEOWNER AND INSTALL BY CONTRACTOR.
- ENCLOSURE SHOWER AREA WITH TEMP. GLASS AND DOOR. TILE AND AND FIXTURE TO BE SELECTED BY HOMEOWNER
- WALL MIRROR WITH LIGHT FIXTURE ABOVE.
- 48" GAS STOVETOP WITH 6 BURNER GRIDDLE TO BE PROVIDED BY HOMEOWNER. WITH (N)RANGE HOOD ABV W/AIR 100 CFM, VENTED THRU ROOF
- WASHER AND DRY WITH CABINETS. PROVIDE AIR VENT TO THE OUTSIDE AS REQUIRED. DRYER DUCTING SHALL BE MIN 4" DIA, MAX EXHAUST DUCT SHALL NOT EXCEED TOTAL COMBINED HORIZ/VERT LENGTH OF 14'-0" INCLUDING (2) 90° ELBOWS.
- LINEN CLOSET WITH SHELVES AND WOOD ROD PER HOMEOWNER SPEC'S
- NEW TUB PER HOMEOWNER SPEC.
- NOT USED
- (N)GAS FIREPLACE MANUF: HEATILATOR (HEARTH&HOME TECHNOLOGIES) UL LISTING: LPPN4H45957 MODEL NO.: CNXT4236 FLUE TO BE ROUTED TO THE EXISTING CHIMNEY FLUE
- (N)ELECTRICAL PANEL TO BE 200 AMP
- (N) AC UNIT, SIZE PER TITLE-24 SPECIFICATIONS. PROVIDE 3'-0" SQ CONC PAD FOR AC UNITS CONC PAD TO BE 3"MIN ABV. REFER TO ROOF PLAN
- FORCED AIR UNIT , SIZE PER TITLE-24
- TANKLESS HORITZ NC250 WATER HEATER "OR EQUAL TOO".
- (N)CARRIER "AIRMAX" FLAT FAU LOCATED WITHIN DROP SOFFIT, REFER TO T-24 FOR SPECS

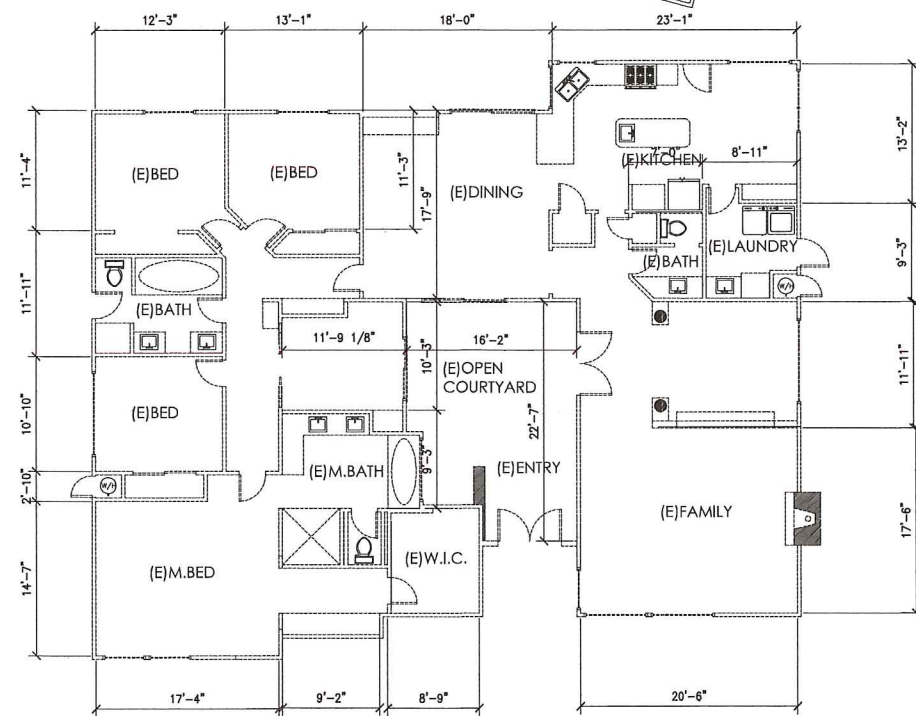


Date	Description	By	Check
10.15.18	30% HGA REVIEW	J.R.	
11.14.18	50% HGA REVIEW	J.R.	
12.14.18	75% HGA REVIEW	J.R.	
1.8.19	PLANNING REVIEW	J.R.	
1.8.19	P.C. CORRECTIONS	J.R.	

ROOF MATERIAL:
1 BUILT-UP ROOF BY "CAF" (ESR 1274), W/ MIN CLASS A ROOFING REQ'D



PROPOSED ROOF PLAN



NOTE: ALL WALLS AND ROOF TO BE REMOVED, SLAB ON GRADE TO REMAIN.

MAIN DWELLING ASBUILT / DEMO PLAN

RICHART DESIGN
 ARCHITECTURE • PLANNING • INTERIORS
 1041 W. 18th Street, Suite A-106, Costa Mesa, CA 92627
 (714) 442-2191 • (714) 442-3707
 www.richartdesign.net • richartdesign@icloud.com

Janet

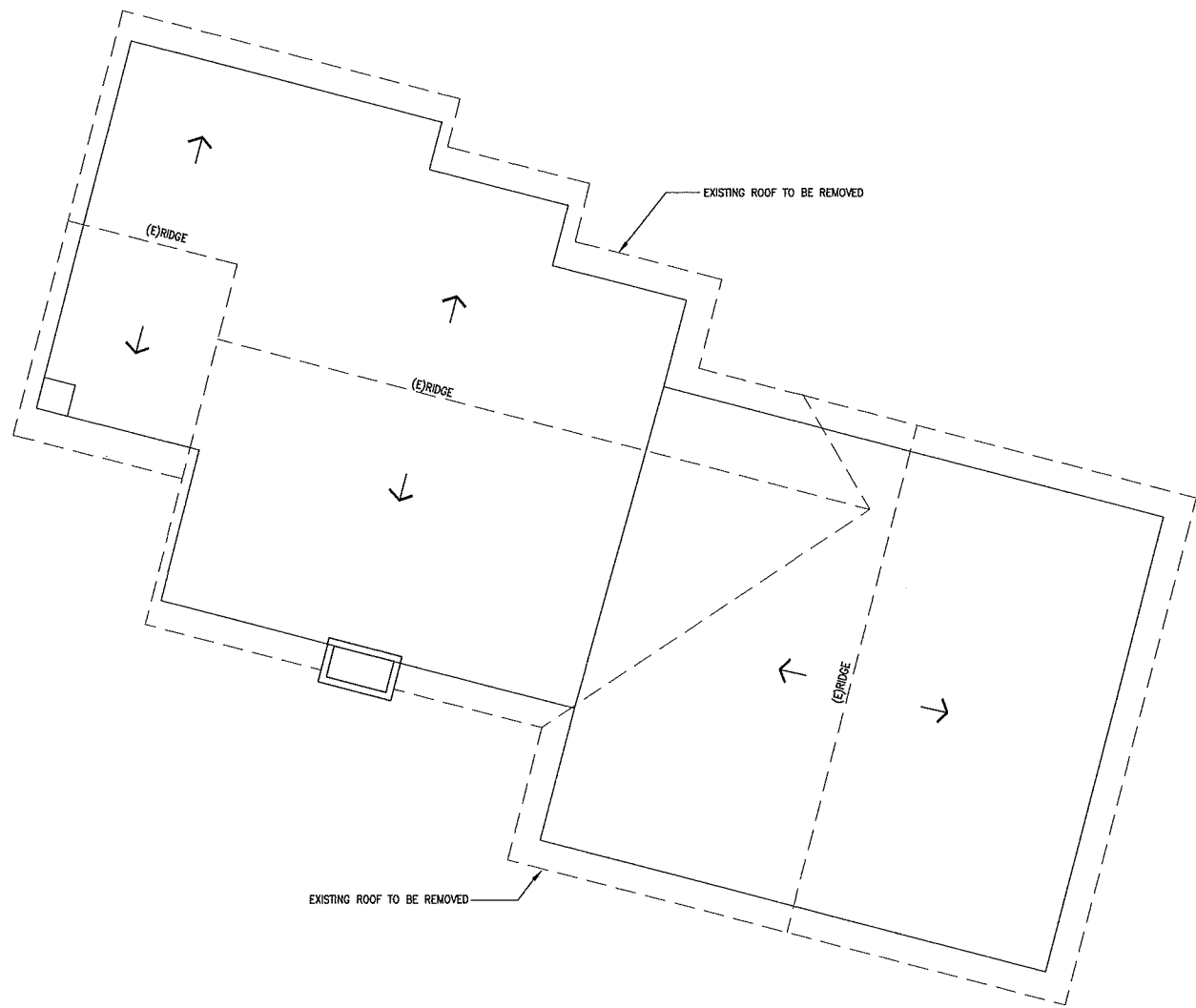
WESSELINK RESIDENCE
 128 Monarch Bay Dr
 Dana Point, CA

Revision	Description	Date
1	1ST HOA REVIEW	10.15.18
2	2ND HOA REVIEW	11.29.18
3	3RD HOA REVIEW	6.12.19
4	PLANNING REVIEW	4.23.19
5	P.C. CORRECTIONS	

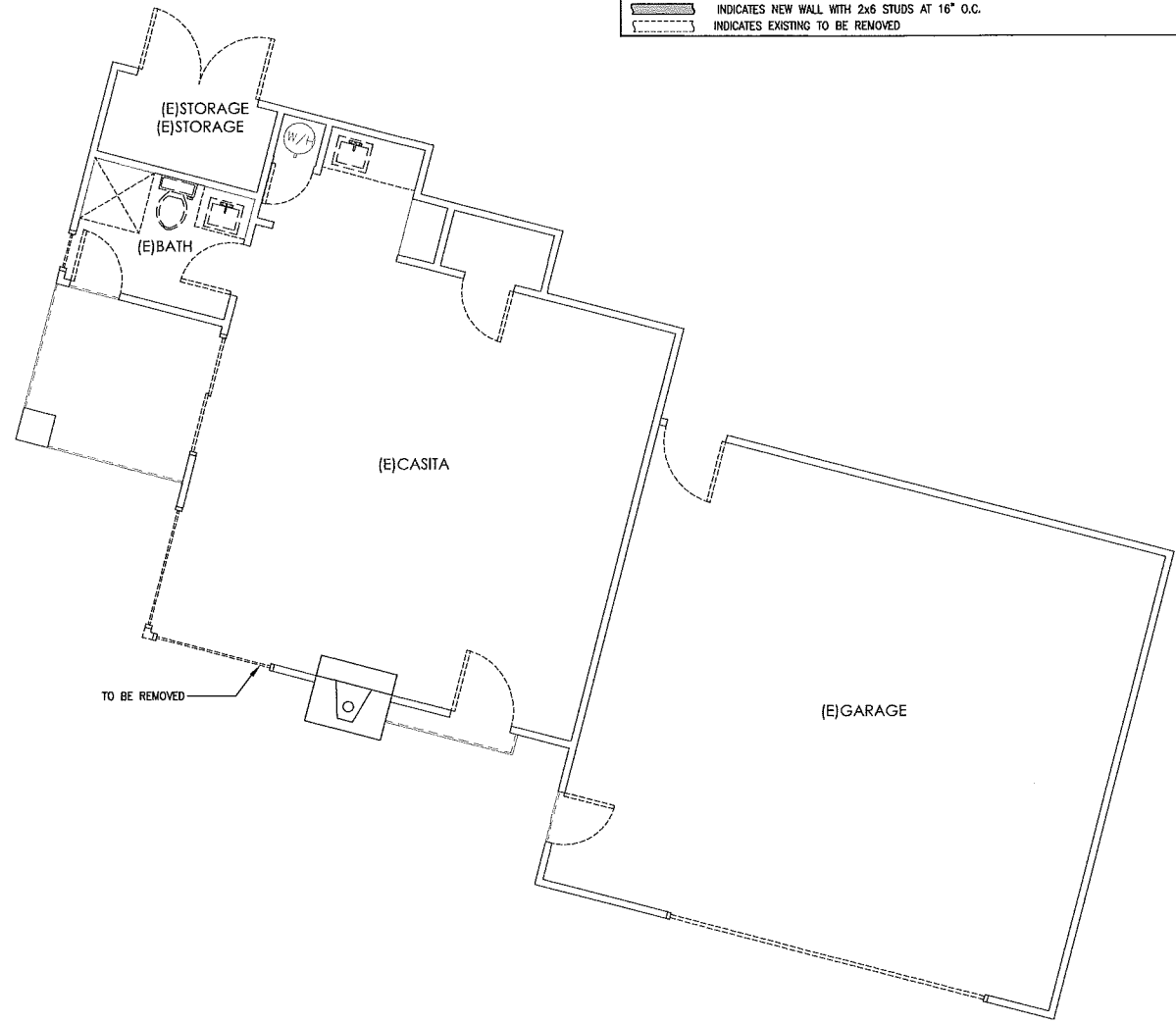
Job No. _____
 Drawn by: J.B.
 Checked by: J.B.

**ROOF PLAN/
 DEMO PLAN**

A-2.2



"CASITA" AUBUILT ROOF PLAN
 SCALE: 1/4"=1'-0"



"CASITA" DEMO PLAN
 SCALE: 1/4"=1'-0"

LEGEND

- INDICATES EXIST WALL
- - - INDICATES NEW WALL WITH 2x6 STUDS AT 16" O.C.
- · · INDICATES EXISTING TO BE REMOVED

RICHART DESIGN
 ARCHITECTURE • PLANNING • INTERIORS
 1041 W. 18th Street, Suite A-106, Costa Mesa, CA 92627
 (714) 446-4222 / (714) 446-5463 / www.richartdesign.net

Jan R.

WESSELINK RESIDENCE
 128 Monarch Bay Dr
 Dana Point, CA

DATE	DESCRIPTION
12.15.18	3RD AIA REVIEW
11.29.18	2ND AIA REVIEW
11.29.18	PRELIM REVIEW
06.12.18	PLANNING REVIEW
4.8.18	P.C.C. CORRECTIONS

Job No. _____
 Date _____
 Drawn by J.R.
 Checked by J.R.

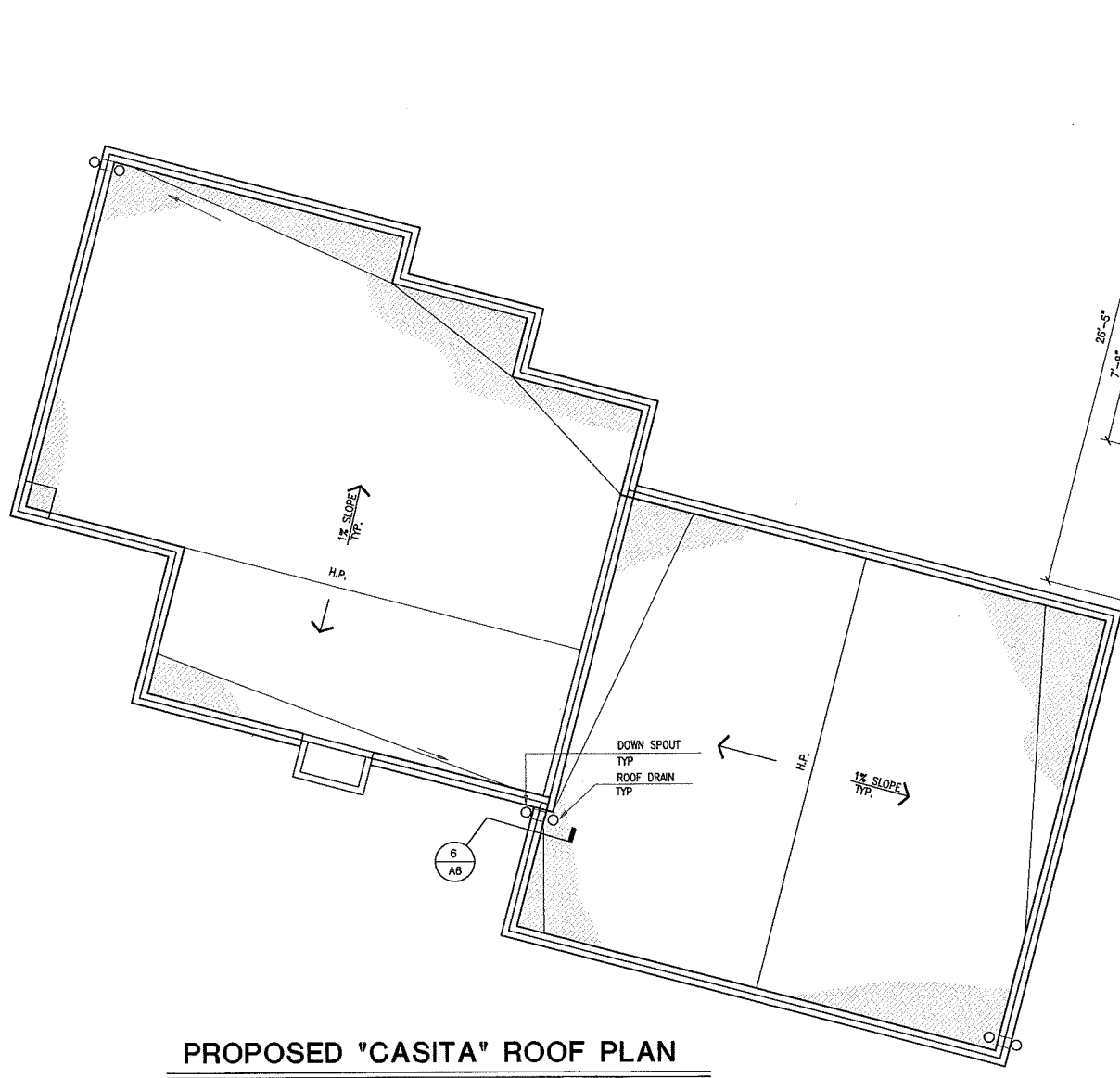
**GARAGE/
 CASITA
 DEMO PLAN &
 ROOF PLAN**

Janice

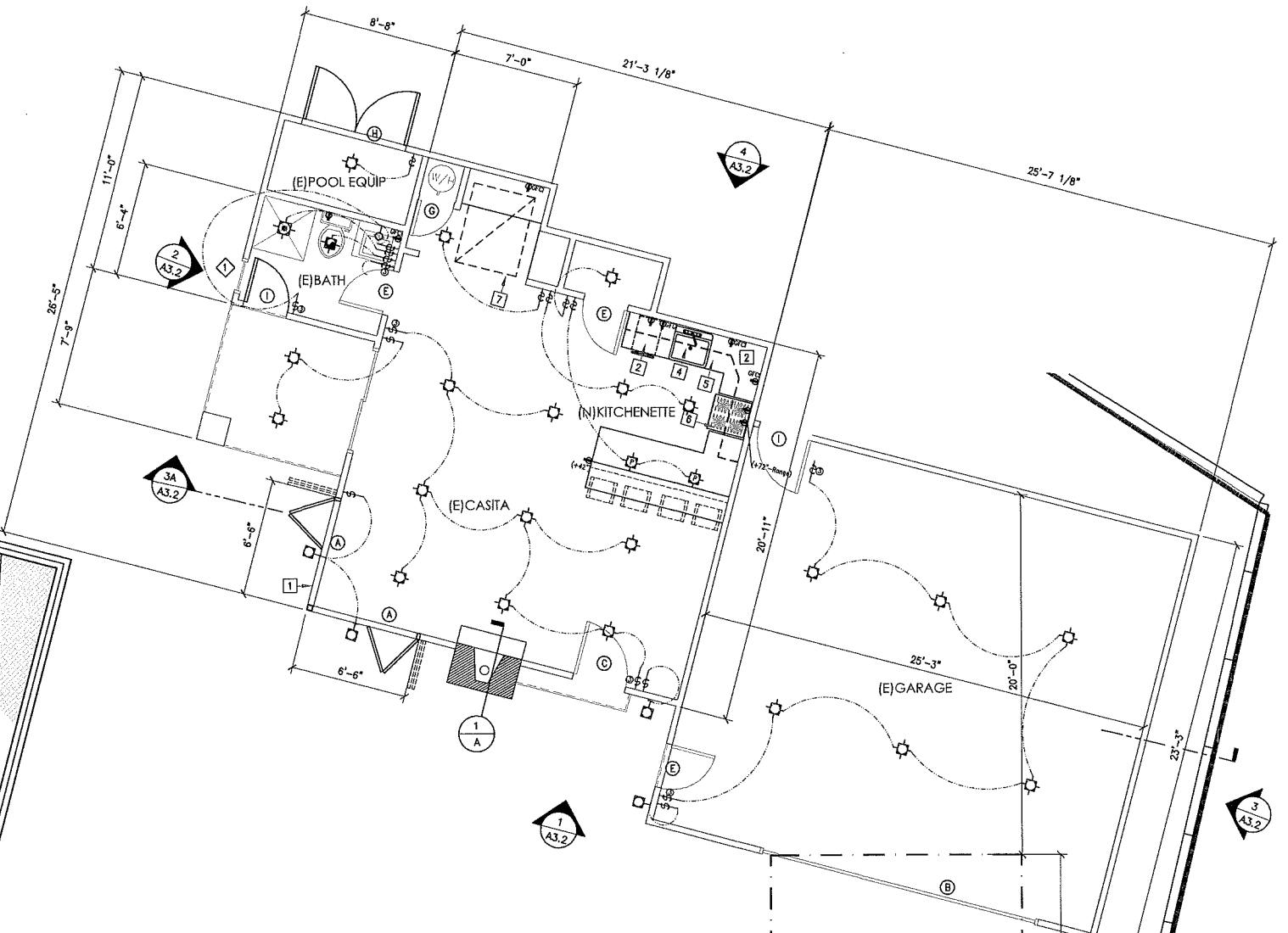
WESSELINK RESIDENCE
 128 Monarch Bay Dr
 Dana Point, CA

Date	Description
10.25.18	1ST TIA REVIEW
11.25.18	2ND TIA REVIEW
01.22.19	3RD TIA REVIEW
02.19	PLANNING REVIEW
	P.C. CORRECTIONS

Job No. _____
 Date _____
 Drawn by J.R.
 Checked by J.R.
**GARAGE/
 CASITA
 FLOOR PLANS**
A-3.1



PROPOSED 'CASITA' ROOF PLAN
 SCALE: 1/4"=1'-0"



PROPOSED 'CASITA' FLOOR PLAN
 SCALE: 1/4"=1'-0"

WINDOW SCHEDULE

SYM	SIZE	TYPE	U-FACTOR	SHGC
◇	2'-0" x 4'-0"	MARVIN (SINGLE HUNG) DUAL GLAZED ,TEMP.	0.40	0.40

WINDOW NOTES:
 1. ALL DOOR & WINDOW HARDWARE TO BE SELECTED BY OWNER.
 2. CONTRACTOR TO VERIFY ALL WINDOW & DOOR SIZES BEFORE ORDERING.
 3. ALL (N) WINDOWS & DOORS TO BE INSULATED GLASS WITH A MAX. U-FACTOR PER T24 REQUIREMENTS.
 4. ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A PERMANENT LABEL AS SAFETY GLAZING:
 GLAZING IN ALL DOORS, GLAZING IN BATH & SHOWER ENCLOSURES, ALL GLAZING WITHIN A 24" ARC OF A DOOR
 EDGE, PANELS OVER 9 SQ.FT. WHOSE LOWEST EDGE IS LESS THAN 18" TO THE FLOOR OR WITHIN 36" OF WALKING
 SURFACE, GLAZING IN WALLS ENCLOSING STARWAY LANDINGS OR WITHIN 5 FT. OF THE BOTTOM AND TOP OF
 STARWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. ALL
 GLAZING QUADRIPOLES AND WHEN LOCATED WITHIN 60 INCHES OF THE FLOOR SURFACE IN TUBS, SHOWERS, SAUNAS
 OR STEAM ROOMS.
 5. ALL TEMPERED GLASS IDENTIFICATION MUST BE ETCHED OR CERAMIC FIXED ON THE
 GLASS AND BE VISIBLE.
 A. GLAZING IN EGRESS AND EGRESS DOORS EXCEPT JALOUSIES
 B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS ASSEMBLIES AND
 PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
 6. EMERGENCY EGRESS IN BEDROOM REQUIREMENTS:
 A. AN OPENABLE AREA OF NOT LESS THAN 5.7 SQ. FT.
 B. A MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH.
 C. A SILL HEIGHT NOT OVER 44" ABOVE FINISH FLOOR.
 7. FENESTRATION'S WITH "U" VALUE LOWER THAN DEFAULT VALUE MUST HAVE
 PERMANENT LABEL. OTHER FENESTRATIONS MAY HAVE FACTORY REMOVABLE LABEL.

LEGEND

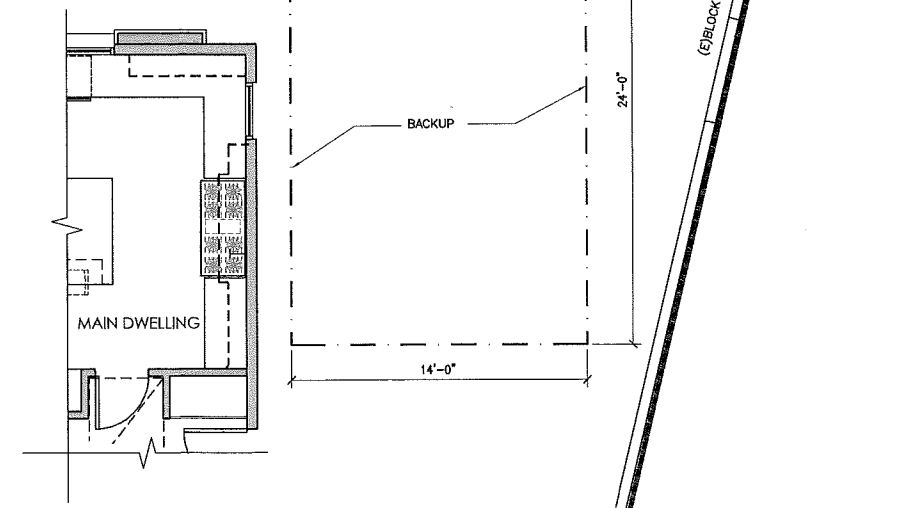
- INDICATES EXIST WALL.
- INDICATES NEW WALL WITH 2x6 STUDS AT 16" O.C.
- - - - - INDICATES EXISTING TO BE REMOVED.

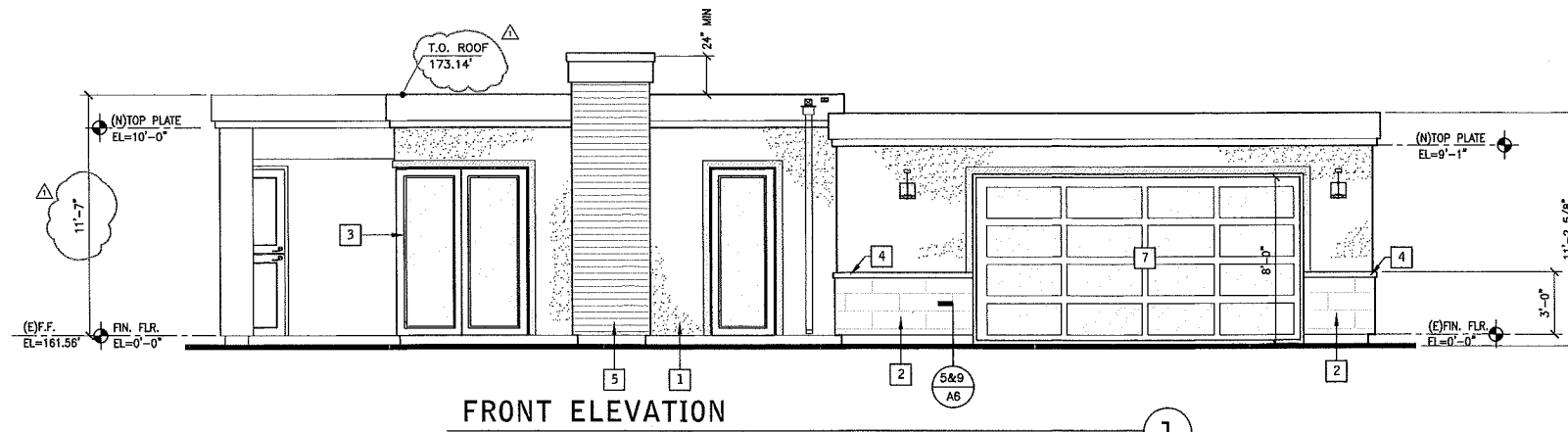
FLOOR PLAN ID'S

- 1 PROVIDE A FLOOR LANDING ON EACH SIDE OF EVERY EXTERIOR DOOR. LANDING SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND A MINIMUM OF 36" IN LENGTH. a. THE LANDING AT REQUIRED EGRESS OUT-SWINGING DOORS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. b. THE LANDING AT REQUIRED EGRESS IN-SWINGING DOORS SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. c. THE LANDING AT EXTERIOR DOORS OTHER THAN THE REQUIRED EGRESS SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD.
- 2 LOWER/UPPER CABINET WITH GRANITE COUNTERTOP-- FINISH STAIN TO BE SELECTED BY HOMEOWNER
- 3 NEW REF.
- 4 NEW SINK
- 5 GRANITE COUNTERTOP--TO BE SELECTED BY HOMEOWNER
- 6 NEW GAS STOVETOP WITH 4 BURNER GRIDDLE TO BE PROVIDED BY HOMEOWNER . WITH (N)RANGE HOOD ABV W/MIN 100 CFM. VENTED THRU ROOF
- 7 (N)CARRIER "AIRMAX" FLAT FAU LOCATED WITHIN DROP SOFFIT, REFER TO T-24 FOR SPECS

DOOR SCHEDULE

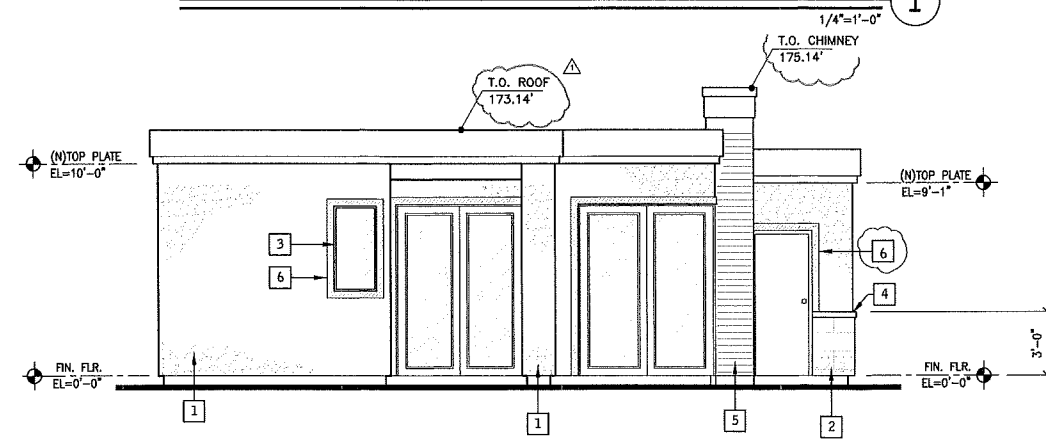
SYM	SIZE	TYPE	U-FACTOR	SHGC
(A)	6'-6" x 8'-0" x 1 3/8"	LA CANTINA DOOR	0.40	0.40
(B)	16'-0" x 8'-0" x 1 3/8"	GARAGE DOOR		
(C)	3'-0" x 8'-0" x 1 3/8"	FRENCH DOOR	0.40	0.40
(D)	6'-0" x 8'-0" x 1 3/8"	SLIDING DOOR	0.40	0.40
(E)	2'-6" x 8'-0" x 1 3/8"	SOLID CORE DOOR		
(F)	2'-6" x 8'-0" x 1 3/8"	HOLLOW CORE DOOR		
(G)	2'-0" x 8'-0" x 1 3/8"	HOLLOW CORE DOOR		
(H)	6'-0" x 8'-0" x 1 3/8"	DOUBLE SOLID CORE DOOR		
(I)	3'-0" x 8'-0" x 1 3/8"	SOLID CORE DOOR		



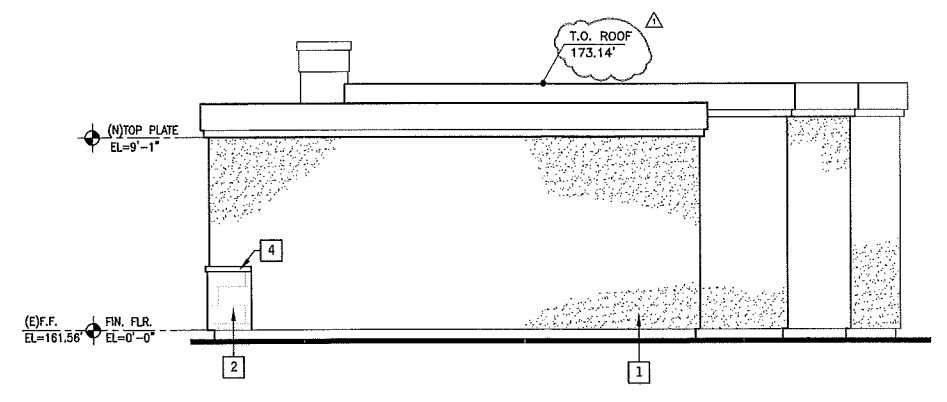


FRONT ELEVATION

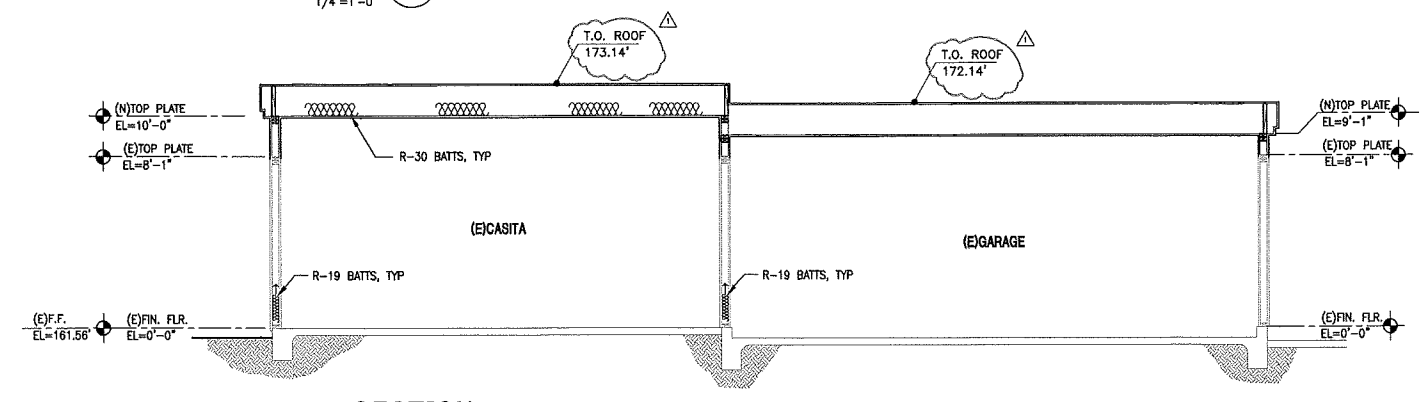
- KEY NOTES:**
- (1) 7/8" SMOOTH COAT STUCCO OVER METAL LATH w/ 2-LAYER GRADE-D PAPER 0/ALL WOOD BASE SHEATHING, COLOR: WHITE (REFER COLOR BOARD)
 - NEW 8"x24" TRAVERTINE TILE (REFER COLOR BOARD)
 - DOOR / WINDOW SASH AND TRIM COLOR & STYLE: EUROLINE DARK BRONZ (REFER COLOR BOARD)
 - NEW QUARTZ STONE CAP COLOR: NATURAL SANDSTONE (REFER COLOR BOARD)
 - NEW CEDAR HORIZONTAL SIDING (REFER COLOR BOARD)
 - 1" x 4" FOAM STUCCO MOLDING w/ SMOOTH COAT STUCCO (REFER COLOR BOARD)
 - NEW GARAGE ROLLUP DOOR WITH OPAQUE GLASS COLOR: BLACK
 - NEW STEEL FRAME/GLASS ENTRY DOOR COLOR: BLACK



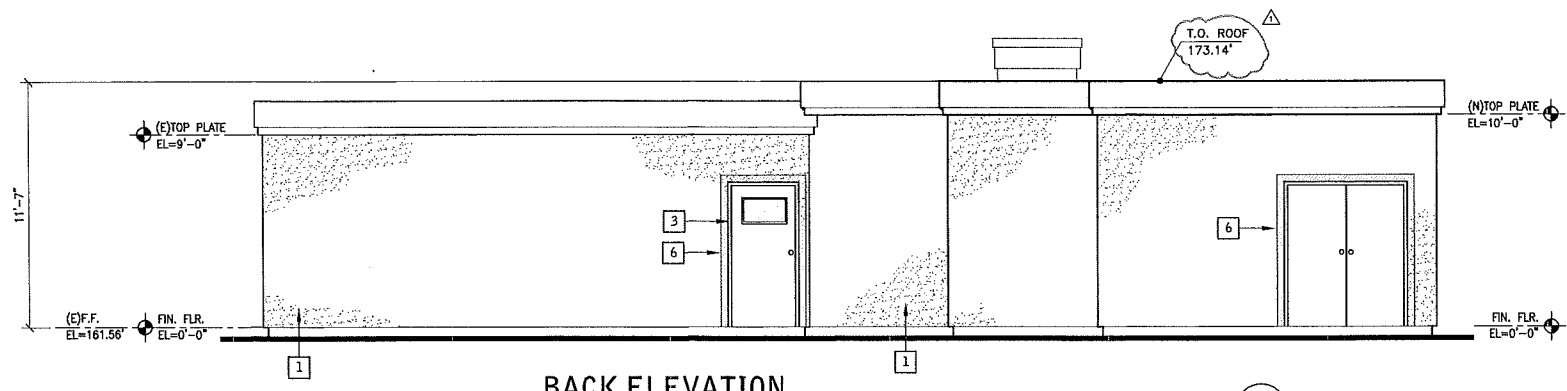
LEFT ELEVATION



RIGHT ELEVATION



SECTION

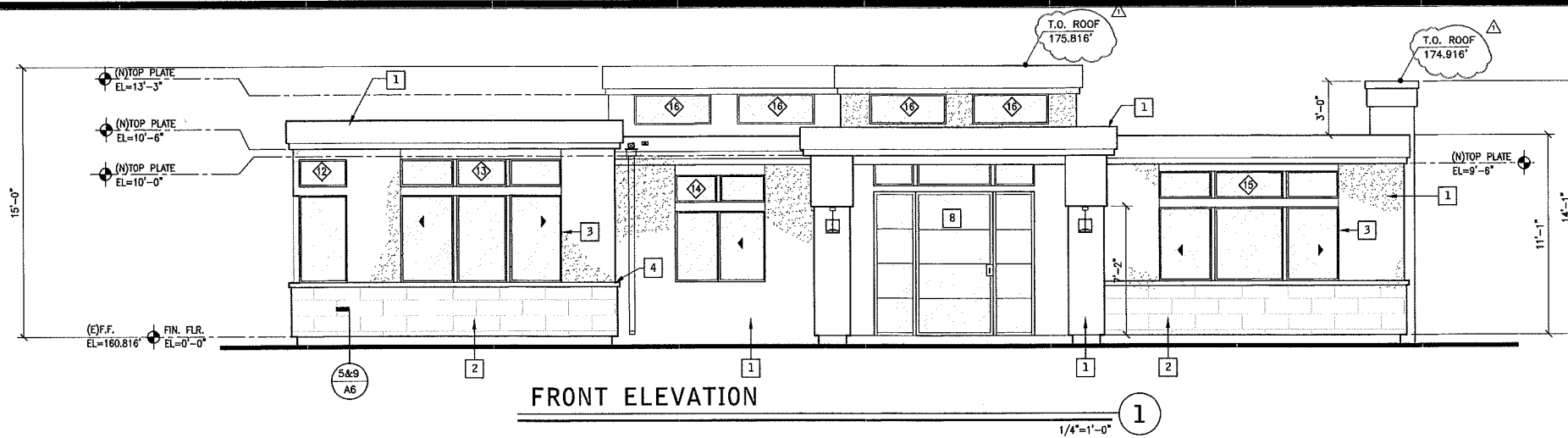


BACK ELEVATION

Revision	Description	Date
1	15% HOA REVIEW	12.12.19
2	20% HOA REVIEW	12.29.19
3	30% HOA REVIEW	6.12.20
4	PLANNING REVIEW	4.8.20
5	P.L.C. CORRECTIONS	

Job No. _____
 Date _____
 Drawn by J.R.
 Checked by J.R.

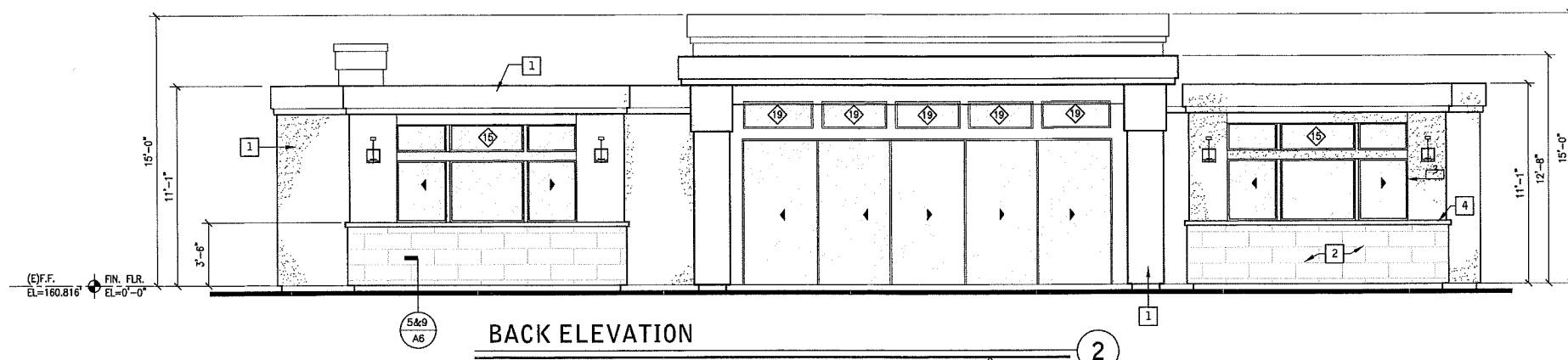
**GARAGE/
 CASITA
 ELEVATIONS/
 SECTIONS**



FRONT ELEVATION

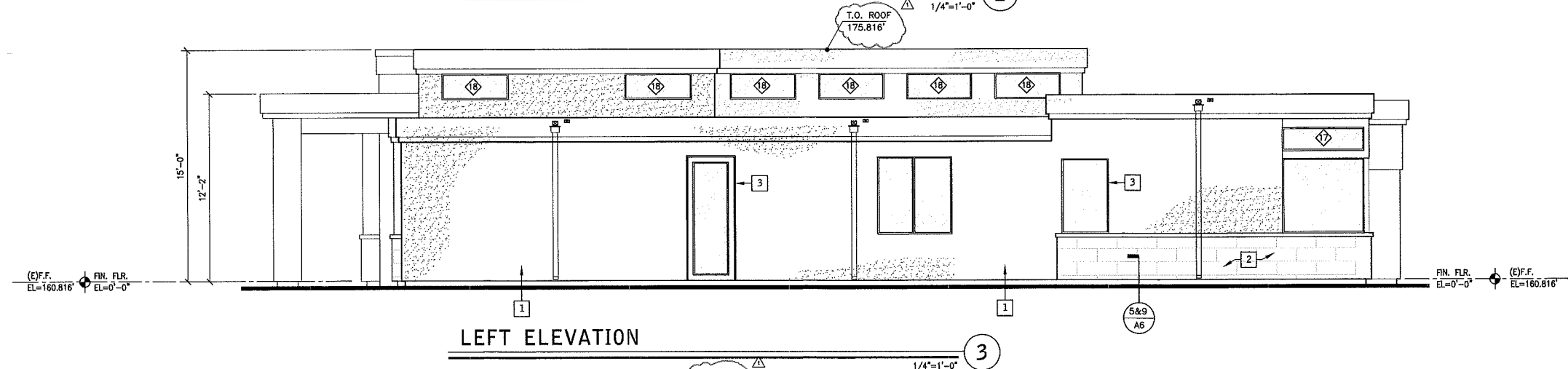
1
1/4"=1'-0"

- KEY NOTES:**
- 1 (N) 7/8" SMOOTH COAT STUCCO OVER METAL LATH w/ 2-LAYER GRADE-D PAPER O/ALL WOOD BASE SHEATHING. COLOR: WHITE (REFER COLOR BOARD)
 - 2 NEW 8"x24" TRAVERTINE TILE (REFER COLOR BOARD)
 - 3 DOOR / WINDOW SASH AND TRIM COLOR & STYLE: EUROLINE DARK BRONZ (REFER COLOR BOARD)
 - 4 NEW QUARTZ STONE CAP COLOR: NATURAL SANDSTONE (REFER COLOR BOARD)



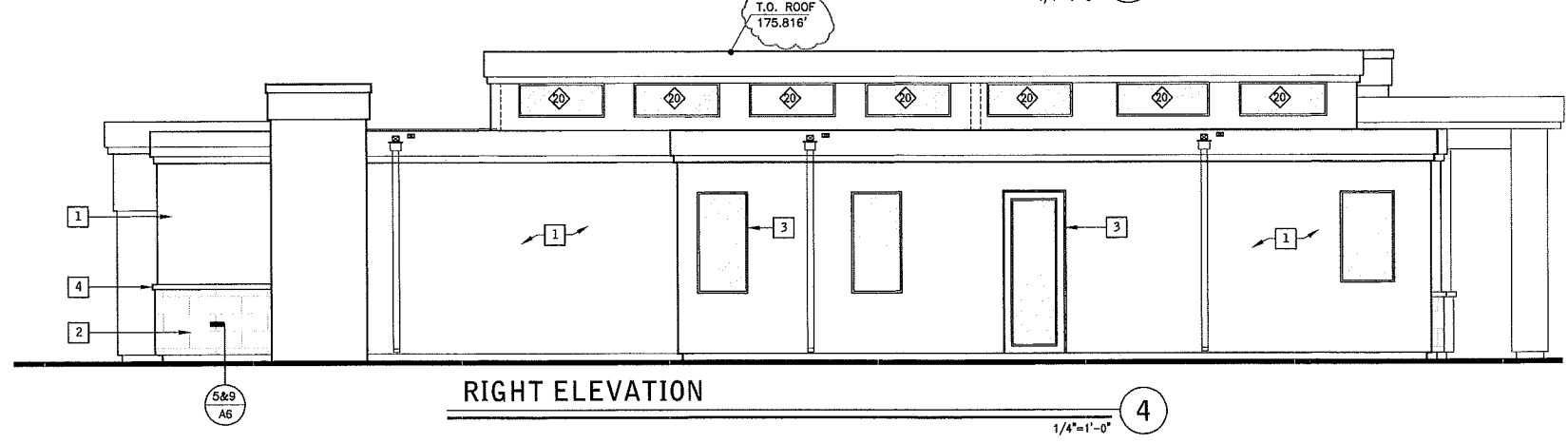
BACK ELEVATION

2
1/4"=1'-0"



LEFT ELEVATION

3
1/4"=1'-0"



RIGHT ELEVATION

4
1/4"=1'-0"

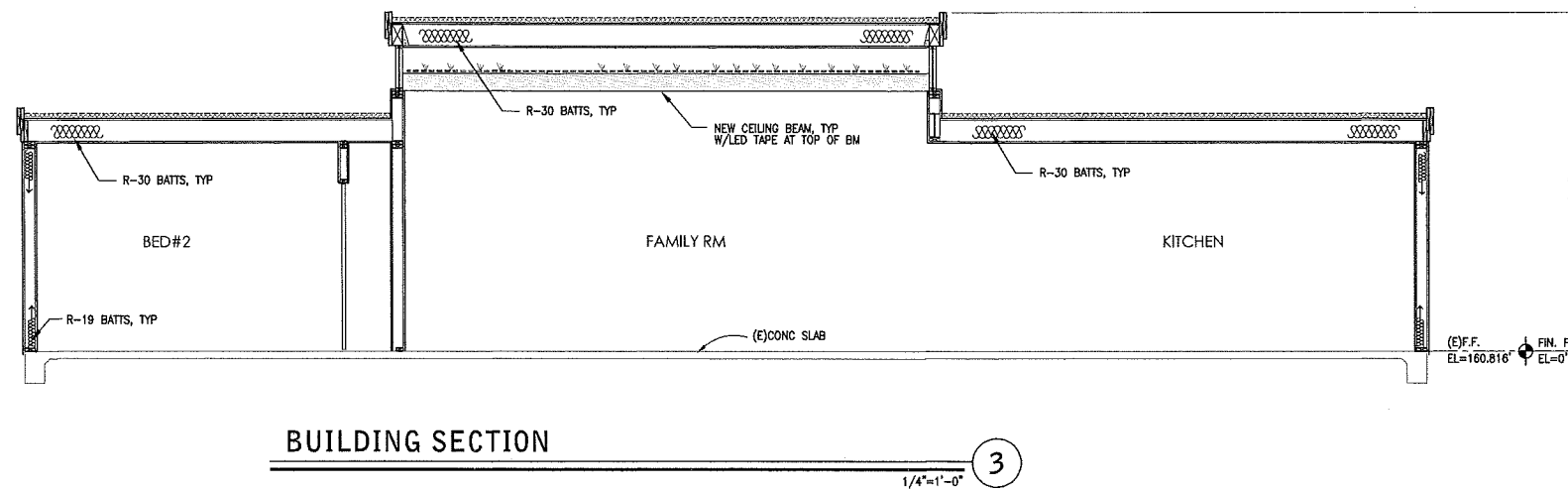
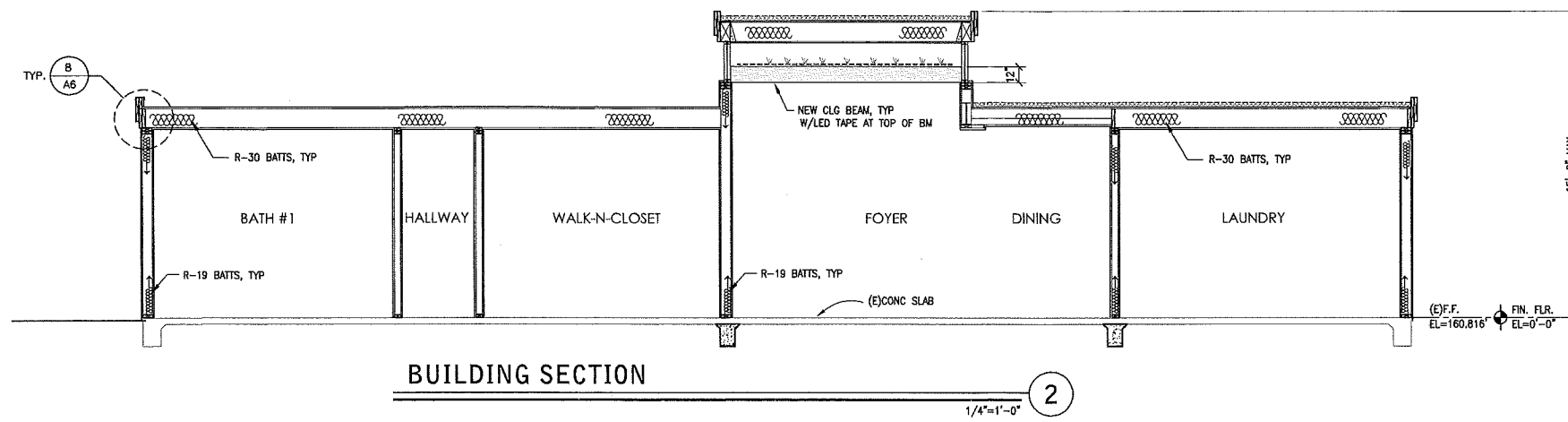
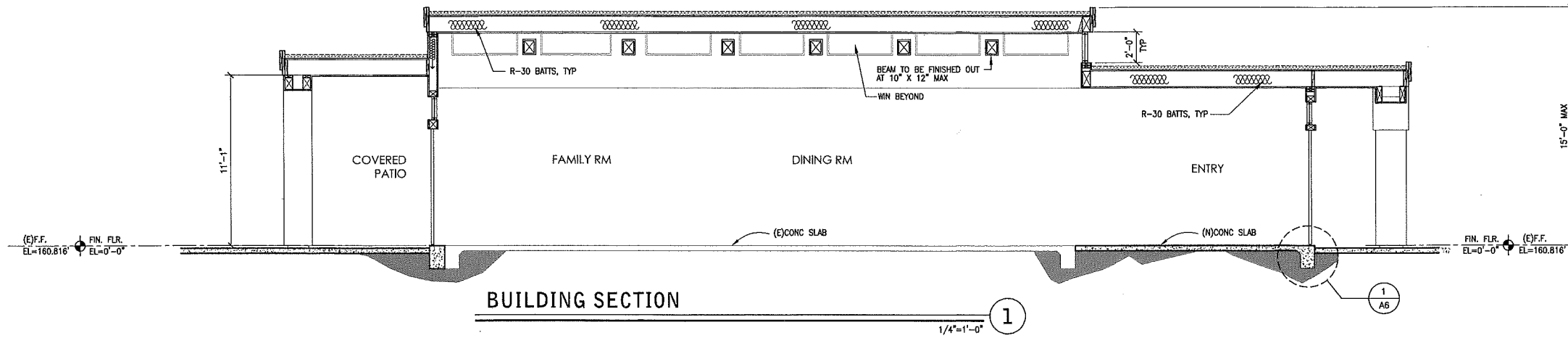
Janet Richart

WESSELINK RESIDENCE
 128 Monarch Bay Dr
 Dana Point, CA

Project	Revision	Date
1-17	HOA REVIEW	10.18.18
2-02	HOA REVIEW	11.29.18
3-04	HOA REVIEW	6.12.19
4-01	PLANNING REVIEW	4.23.19
5-01	P.C. CORRECTIONS	

Job No. _____
 Date _____
 Drawn by J.R.
 Checked by J.R.

ELEVATIONS



John Paul

WESSELINK RESIDENCE
 128 Monarch Bay Dr
 Dana Point, CA

No.	Description	Date
1	100% HSA REVIEW	10.15.12
2	50% HSA REVIEW	11.29.12
3	50% HSA REVIEW	03.22.13
4	PLANNING REVIEW	08.19
5	P.C. CORRECTIONS	

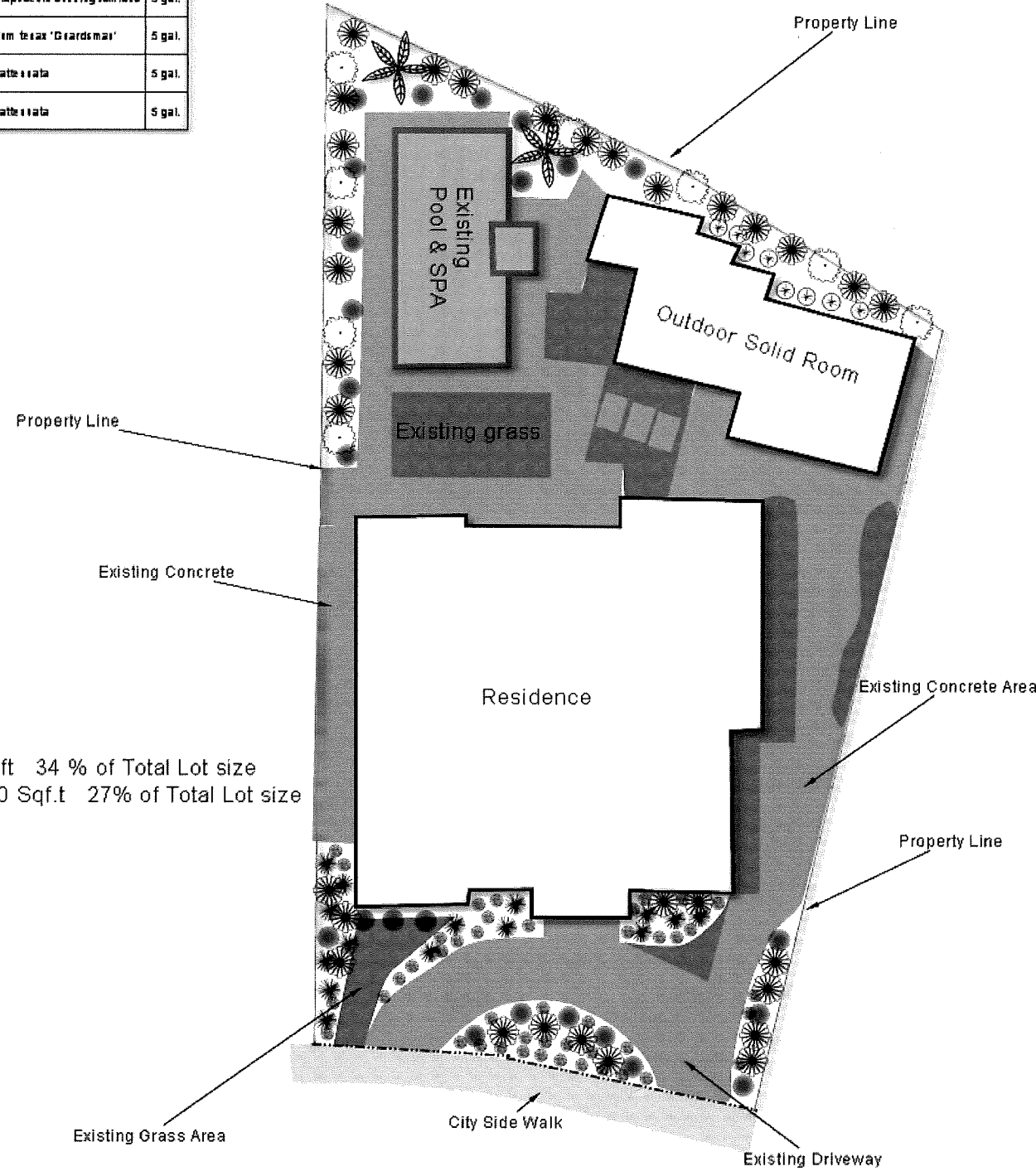
Job. No.
 Date
 Drawn by J.P.
 Checked by J.P.

SECTIONS

Plant Legend				
Symbol	Qty	Common	Botanical	Size
	14	Border Grass	Liriope m. nebig biseae	5 gal.
	8	Bergalivillea - Height & Max growth	Bergalivillea spectabilis	5 gal.
	8	Calla Lily	Zantedeschia	5 gal.
	15	Gardenia	Gardenia jasminoides	5 gal.
	2	King Palm	Archontophoenix cunninghamiana	5 gal.
	31	New Zealand Flax	Phormium tenax 'Grassman'	5 gal.
	1	Octopus Agave - Frost Yard	Agave attenuata	5 gal.
	20	Octopus Agave	Agave attenuata	5 gal.

Matathan II Grass Area
 Existing Concrete Area

Special Notes:
 Total Lot Size: 12191 Sq.ft
 Total Concrete Area: 4150 sq.ft 34 % of Total Lot size
 Total Softscape Area: 3305.00 Sq.ft 27% of Total Lot size



IRRIGATION NOTE:

INSTALL RAIN BIRD AUTOMATIC IRRIGATION CONTROL VALVES AND PRESSURE REGULATORS AND FILTERS FOR DRIP IRRIGATION. RETROFIT EXISTING AUTOMATIC CONTROL VALVES FOR DRIP IRRIGATION IF PRESENT. REALIGN EXISTING FRONT YARD LAWN AND PLANTER BED IRRIGATION SYSTEM LINES TO CONFORM TO NEW LANDSCAPE DESIGN IF APPLICABLE. ALL NEW AND EXISTING PLANTER BEDS SHALL HAVE AUTOMATIC OPERATION LOW-PRESSURE DRIP IRRIGATION SYSTEM TO ALL GARDEN PLANTS AND POTTED PLANTS. PLANTS SHALL HAVE STAKED FLAG TYPE DRIP EMITTERS AND/OR MICRO-SPRAY STICK HEADS AS NECESSARY FOR COLOR AND GROUND COVER PLANT TYPES. LAWN SHALL HAVE FIXED SPRAY RAINBIRD MODEL 1804 POP-UP SPRINKLER HEADS WITH ADJUSTABLE SPRAY NOZZLES. INSTALL SCHEDULE 40 PVC MAIN LINES AND CLASS 200 PVC LATERAL LINES.

DRAINAGE NOTE:

CONTRACTOR SHALL PROVIDE FULL LANDSCAPE DRAINAGE SYSTEM UTILIZING 3" PLASTIC MAIN DRAIN AND LATERAL DRAIN PIPE. INSTALL ATRIUM DRAINS IN PLANTER BEDS, 6" SQUARE DRAINS IN SOD LAWNS, AND BRASS FINISH HARD SURFACE DECK DRAINS AS NECESSARY. WHERE RETAINER WALLS OCCUR CONTRACTOR SHALL PROVIDE SOLID PLASTIC PERFORATED DRAINAGE PIPE WITH GEO-SOCK LINER AND 3/4" CRUSHED ROCK BACKFILL WITH LANDSCAPE FABRIC INTERFACE OR, PROVIDE DRAINAGE SYSTEM AS SPECIFIED BY LOCAL BUILDING AND SAFETY DEPARTMENT FOR RETAINER WALLS SPECIFIED ON PLAN. CONNECT ALL EXISTING RAIN GUTTER DOWNSPOUTS TO UNDER GROUND DRAINAGE SYSTEM OR PROVIDE SLEEVE RISERS FOR FUTURE RAIN GUTTER INSTALLATION. PROVIDE MINIMUM OF TWO 3" CURB CORES AT GUTTER WHERE APPLICABLE.

NOTICE TO CONTRACTORS:

1. OBTAIN ALL PERMITS, INSPECTIONS, AND ENGINEERING AS REQUIRED BY LOCAL CODE.
2. PROVIDE STEEL REINFORCEMENT, COMPACT SUB-GRADE, EXPANSION JOINTS AND DEEPEDED EDGES AND BORDERS FOR PAVING.
3. INSTALL PLASTIC SHEETING TO PROTECT HOUSE WALLS FROM SPLASH STAINS AND SCRATCHES.
4. TOP OF PAVING MUST BE 2" BELOW SCREED LINE OF HOUSE.
5. ELEVATION NOTATIONS REFER TO INCHES ABOVE OR BELOW LEVEL GRADE.
6. OBTAIN NAMES OF ORIGINAL HOUSE FINISHES (STUCCO, STONE, ETC) FROM HOMEOWNER.
7. VERIFY COLORS AND ALL MATERIALS WITH HOMEOWNER PRIOR TO PURCHASE/INSTALL.
8. VERIFY/OK SWIMMING POOL LAYOUTS WITH HOMEOWNER PRIOR TO EXCAVATION.
9. VERIFY ALL ELEVATIONS AND MEASUREMENTS, PROPERTY LINES, EASEMENTS, BOUNDARIES.

SCALE: 1/8" = 1'

HOMEPRO REMODELING
 30 IRON BARK
 ALISO VIEJO, CA 92656
 (949) 283-6187
 Wesslink Residence
 128 Monarch Bay Dr.
 Dana Point, CA
 SHEET NUMBER
 1 OF 1

Supporting Document 5: Color and Material Sample Board

WESSELINK RESIDENCE
128 MONARCH , DANA POINT, CA



(N) 7/8" SMOOTH COAT STUCCO OVER METAL LATH w/ 2-LAYER GRADE-D PAPER O/ALL WOOD BASE SHEATHING. STUCCO COLOR & TEXTURE COLOR: BEHR W-F-400 SWAN WING



(N) TRAVERTINE 8"x24" TILE



DOOR / WINDOW SASH AND TRIM COLOR & STYLE: EUROLINE DARK BRONZE



NEW CEDAR HORIZONTAL SIDING
COLOR: NATURAL SEALER



1" x 4" FOAM STUCCO MOLDING W/ SMOOTH COAT STUCCO
COLOR: BEHR W-F-400 SWAN WING