

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JUNE 24, 2019

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
MATT SCHNEIDER, DIRECTOR
DANNY GIOMETTI, ASSOCIATE PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP19-0009 TO PERMIT ADDITIONS TOTALING 1,013 SQUARE FEET TO AN EXISTING SINGLE-FAMILY DWELLING, AND A 170 SQUARE FOOT ADDITION TO THE ATTACHED GARAGE LOCATED AT 130 MONARCH BAY DRIVE.

RECOMMENDATION: That the Planning Commission adopt the attached draft Resolution approving Coastal Development Permit (CDP19-0009).

APPLICANT: Phil Edmondson

OWNERS: Carl and Janet Nolet

REQUEST: Approval of a Coastal Development Permit (CDP) to permit additions totaling 1,013 square feet to an existing single-family dwelling, and a 170 square foot addition to the attached garage located at 130 Monarch Bay Drive.

LOCATION: 130 Monarch Bay Drive (670-121-11)

NOTICE: Notice of the Public Hearing was mailed via first class mail to property owners within a 500-foot radius and occupants within a 100-foot radius of the subject site, published within a newspaper of general circulation on June 14, 2019, and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, and the Dana Point Library on June 14, 2019.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15301 of the CEQA Guidelines (Class 1 – Existing Facilities) due to the fact that the project consists of an addition to an existing SFD.

ISSUES:

1. Is the proposal consistent with the Dana Point General Plan, the Dana Point Zoning Code (DPZC) and the Local Coastal Program (LCP)?
2. Does the proposal satisfy all findings required pursuant to the DPZC and the LCP for approval of a CDP and SDP?
3. Is the proposed project compatible with and an enhancement to the site and surrounding neighborhood?

BACKGROUND:

The subject site is situated near the end of a cul-de-sac along Monarch Bay Drive, northwest of the intersection of Pacific Coast Highway and Crown Valley Parkway within the residential Single Family 4 (RSF 4) zoned community of Monarch Bay (Supporting Document 2). The 15,390-square foot lot is surrounded by single family dwelling's (SFD's) along the side and rear property lines and across Monarch Bay Drive. The subject site is developed with a 3,329 square foot, single-story, SFD with an attached 488 square foot garage built in 1965, a pool and spa, site- walls, and decorative hardscaping and landscaping. Previous Coastal Development Permit's (CDP's) were approved in years 2000 and 2003, both for additions to the existing SFD.

In May of 2019, the subject entitlement application along with the Monarch Bay Architectural Committee approval was submitted to the City of Dana Point. The subject site is located within the Appeal Jurisdiction of the California Coastal Commission (CCC) and with a scope of work exceeding limitations or including items identified under Section 9.69.040(b)(2) of the DPZC (Exemptions), require a major CDP. The proposal includes additions of 1,013 square feet to the living area, and 170 square feet to the attached garage of the SFD, which requires the approval of a major CDP.

DISCUSSION:

COASTAL DEVELOPMENT PERMIT (CDP19-0009)

The project proposes a remodel and addition to the foyer and living areas, a new hall bathroom, additions to all bedrooms, bathrooms and walk-in closets, a chef's kitchen and a safe room, resulting in an updated gross floor area of 4,830 square feet . Additionally, the project proposes to increase the size of the garage by 170 square feet for a total garage area of 658 square feet in order to accommodate enclosed golf-cart parking (Supporting Document 3).

All additions are proposed to be constructed at 14 feet in height as measured from existing grade to the top of roof and, with the exception of a stacked-stone veneer entry, exterior walls

will be finished in smooth stucco to modernize the appearance of the existing SFD.

Aside from the construction of a new low retaining wall running the length of the southern side yard, no additional site improvements are proposed at this time.

The aforementioned improvements blend together to update the look of the existing SFD, to a style, as viewed from the street, commensurate with modern architecture. The current design has been reviewed and approved by the Monarch Bay Architectural Review Committee.

Pursuant to Section 9.69.070 "Basis for Action on Coastal Development Permit Applications" of the DPZC, every Coastal Development Permit requires the following findings:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code; and,
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act; and,
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment; and,
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources; and,
5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards; and,
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas; and
7. That the proposed development conforms to the General Plan, Local Coastal Program and Zoning Code.

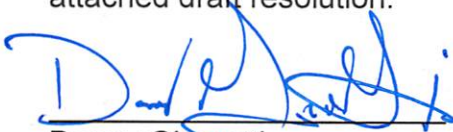
Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting the above mentioned findings are detailed in the attached draft Planning Commission Resolution (Action Document 1).

CORRESPONDENCE:

To date, the City has received no correspondence related to the subject application. The Monarch Bay Homeowners Architectural Committee has reviewed and approved the subject plans (Supporting Document 4).

CONCLUSION:

Based on the subject analysis, Staff has determined that the project is consistent with the policies and provisions of the City of Dana Point General Plan, the DPZC, and those portions thereof comprising the LCP and that the Planning Commission findings articulated in the draft resolution, supporting approval of the subject improvement requests can be made. Therefore, staff recommends approval of CDP19-0009, subject to the conditions contained in the attached draft resolution.



Danny Giometti
Associate Planner



Matt Schneider, Director
Community Development Department

ACTION DOCUMENTS:

1. Draft PC Resolution 19-06-24-XX

SUPPORTING DOCUMENTS

2. Project Vicinity Map and Site Photos
3. Architectural Plans
4. Monarch Bay HOA Approval

ACTION DOCUMENT 1: Draft Resolution 19-06-24-XX

RESOLUTION NO. 19-06-24-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP19-0009 TO PERMIT ADDITIONS TO AN EXISTING SINGLE-FAMILY DWELLING, AND TO THE ATTACHED GARAGE LOCATED AT 130 MONARCH BAY DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Carl and Janet Nolet, (the "Applicant") is the owner of real property commonly referred to as 130 Monarch Bay Drive (APN 670-121-11) (the "Property"); and

WHEREAS, the Applicant has made an application for a Coastal Development Permit to permit additions totaling 1,013 square feet to an existing single-family dwelling, and a 170 square foot addition to the attached garage located at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15301 of the CEQA Guidelines (Class 1 - Existing Facilities) due to the fact that the project consists of additions to an existing single-family dwelling; and

WHEREAS, the Planning Commission did, on the 24th day of June, 2019, review the Coastal Development Permit (CDP) as prescribed by law; and

WHEREAS, at said Planning Commission Review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to CDP.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.
- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP18-0003, subject to conditions:

Findings:

Coastal Development Permit CDP19-0009

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code **in that the site and architectural design of the proposed improvements are**

found to comply with all development standards of the Dana Point General Plan, Local Coastal Program and Zoning Code and will further General Plan Urban Design Element Goal Number 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by updating the single-family dwelling’s (SFD) architecture with a modern style that is compatible and complimentary to new and/or renovated neighboring SFD’s.

2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that while the project is located between the nearest public roadway and the sea or shoreline, the property is located within a private community, or to which the public does not have access nor areas of public recreation. Moreover, adequate access to public beaches and areas of recreation exist nearby at County beaches and accordingly, the site is in conformance with all policies of Chapter Three of the California Coastal Act.**
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that the project is qualified as Categorical Exempt from review under CEQA pursuant to Section 15301 (Class 1 - Existing Facilities) due to the fact that the project consists of an addition and remodel to an existing SFD.**
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is a previously developed parcel surrounded by similar SFD development, and is not located adjacent to a park or recreation area, and consequently implementation of the project will not impact environmentally sensitive habitat areas and no buffer areas are necessary.**
5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an previously developed property located within an established residentially developed area, and the proposed Project will be constructed in conformance with applicable regulations for**

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geological and erosional forces, flood, and fire thereby minimizing undue risks from these or other hazards.

6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed additions to an existing SFD and attached garage include finish materials and architecture resulting in a Project that is complementary to surrounding development in terms of mass, size and scale, in area where no visually degraded areas exist.**
7. That the proposed development conforms to the General Plan, and Local Coastal Program and Zoning Code **in that the proposed project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works & Engineering Services, and conforms with the City's regulations regarding development of SFD's in the Residential Single Family 4 (RSF 4) Zoning District designation of the Dana Point Zoning Code, the Residential 3.5-7 DU/AC designation in the City's General Plan, and the requirements of the City's Coastal Overlay District.**

Conditions:

A. General:

1. Approval of this application permits additions totaling 1,013 square feet to an existing single-family dwelling, and a 170 square foot addition to the attached garage located at 130 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community

Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.

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9. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
10. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
12. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
13. In lieu of a separate submittal, review, and issuance of a grading permit, the Public Works Department will review the required geotechnical report, drainage plan, landscape plan, and erosion control plan as a part of the Building Permit application.
14. Separate review, approval, and permits are required for:
 - Separate Structures
 - Retaining Walls
 - Site Walls over 3 ft.
 - Fire Sprinklers
 - Demolition of Structures
 - Swimming Pool/Spa

B. Prior to Building Plan Check Submittal:

15. Building(s) shall comply with the 2019 editions of the Building Code with all local amendments.
16. Project "Conditions of Approval" shall appear on the submitted drawings.
17. Building plan check submittal shall include the following construction

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documents:

- Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
- Energy Calculations (2 sets)
- Structural Calculations (2 sets)
- Soils/Geology Report (3 sets)
- Drainage Plan

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

18. Fire Department review maybe required. Submit plans directly to the Orange County Fire Authority for their review.
19. Minimum roofing classification is Class "A".
20. Fire-rated Construction: Plans should clearly identify and detail the fire-rated construction for any construction due to close proximity to the property line.
21. Separate review, approval, and permits are required for separate structures.
22. Soils Report (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.
23. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, fc of 4500 psi.
24. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CAL Green requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.

C. Prior to the Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:

25. Approvals are required from:
 - Planning Division
 - Public Works & Engineering Services
 - Obtain Orange County Fire Authority Approval

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- Obtain “Will Serve” letter from Water District.
 - Provide an SDG&E service work order for proposed service location
26. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
27. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval. The review of the submitted geotechnical report shall be done on a time and materials basis.
28. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
29. A separate erosion control plan shall be included in the project plans. The erosion control plan shall address the potential erosion and sediment loss for the proposed hillside development.
30. Prior to commencement of framing, the applicant shall verify, by survey, that each structure will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of this entitlement. The City’s standard “Setback Certification” form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.
31. If applicable, the applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Director of Community Development, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.

- D. **Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:**
32. Verification of all conditions of approval is required by all City Departments.
 33. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to final project sign-off by the Building Division.
 34. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
 35. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.
 36. A written approval by the Geotechnical Engineer of Record approving the construction as being in conformance with the approved plan from a geotechnical standpoint.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 24th day of June 2019, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Roy Dohner, Chairman
Planning Commission

ATTEST:

Matt Schneider, Director
Community Development Department

Supporting Document 2: Project Vicinity Map and Site Photos



City of Dana Point
CDP19-0009
Danny Giometti, Associate Planner
Community Development Department
33282 Golden Lantern (Danny Giometti, Associate Planner)
Dana Point, CA 92629-1805

VICINITY MAP

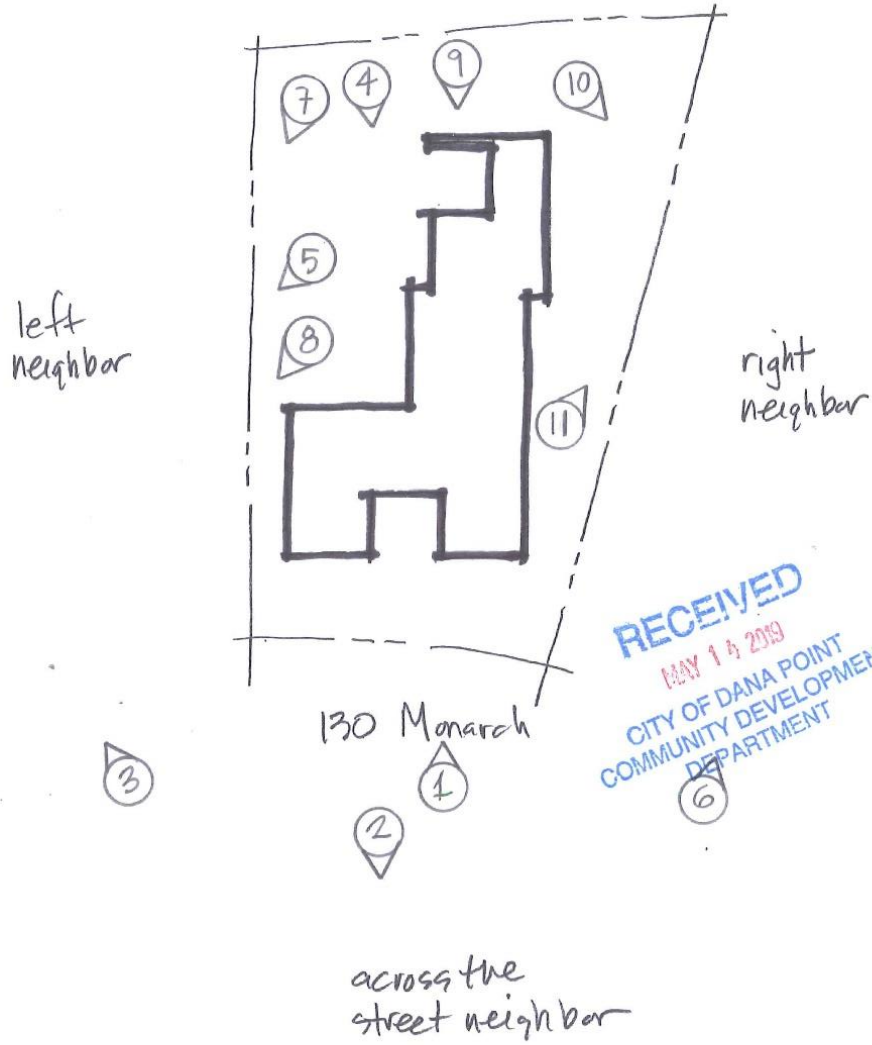


Project: CDP19-0009
Applicant: Phil Edmondson
Location: 130 Monarch Bay Drive



Photo Log Key Plan

09 May '19
nolet 130
1/7



RECEIVED
MAY 14 2019
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

2/7



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3/7

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Supporting Document 3: Architectural Plans

ATTACHMENT



OWNER: CARL & JANET NOLET
130 MONARCH BAY DRIVE
DANA POINT, CA. 92629
(949) 448-5100

SITE SURVEY

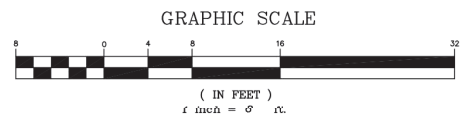
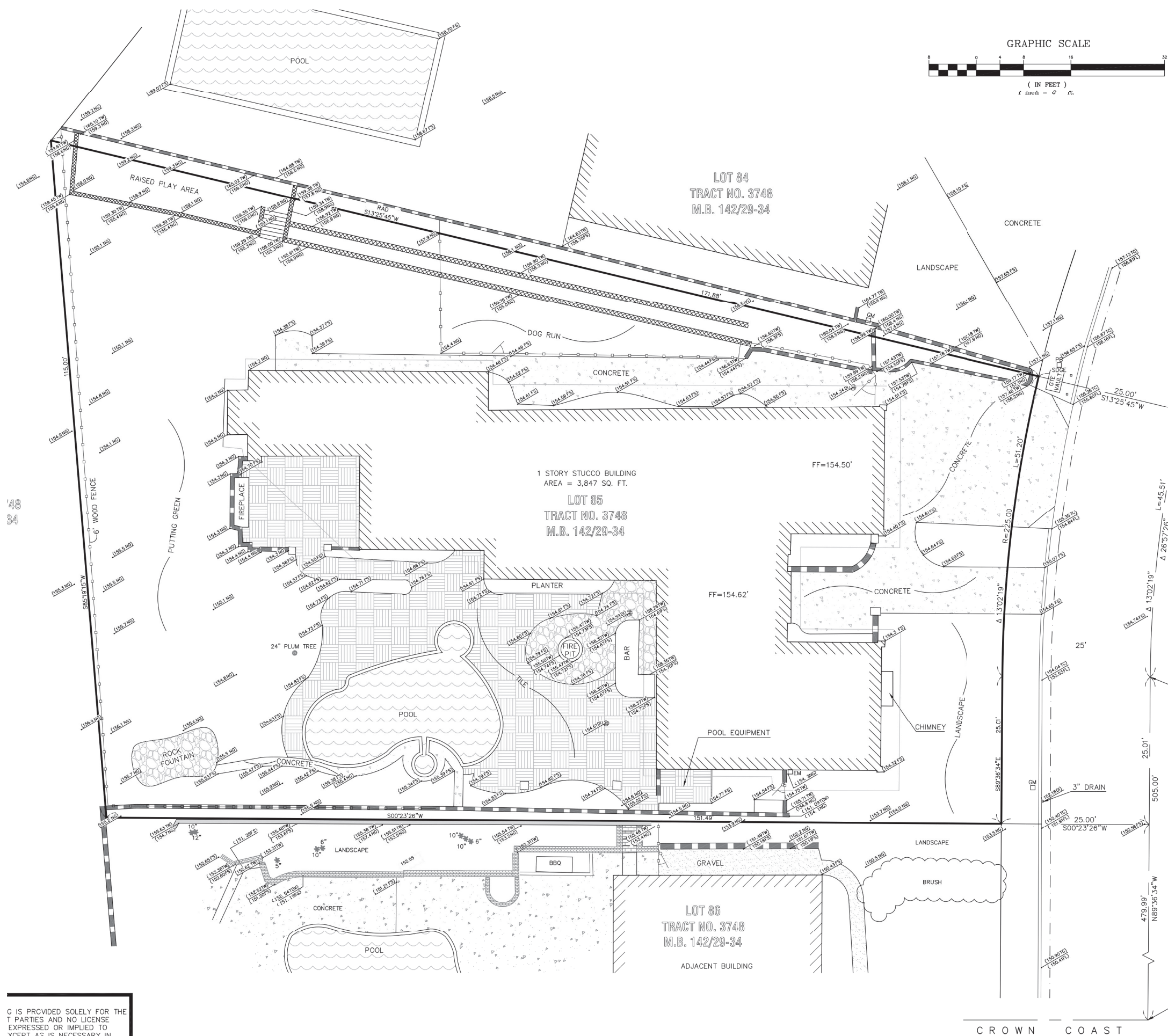
01 JUNE 2019

PACIFIC COAST ARCHITECTS



2000 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA. 92663
(949) 678-8488
FAX 678-8234

2



ESTABLISHED BY CL TIES
PER TRACT 3748 TIES
PAGE 14 OF 14

FREDERICK LANE

ESTABLISHED BY CL TIES
PER TRACT 3748 TIES
PAGE 14 OF 14



LEGAL DESCRIPTION:

LOT 85, TRACT NO. 3748, AS SHOWN ON A MAP RECORDED IN BOOK 142, PAGES 30 TO 34, INCLUSIVE, MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, TOGETHER WITH ALL APPURTENANCES THEREOF AND ALL BUILDINGS AND IMPROVEMENTS THEREON IF ANY.

BENCHMARK:

BM # J-1313 ELEV = 75.342 NGVD 29
BRONZE/BRASS DISK ON THE TOP OF THE EASTERLY CORNER OF A 29' BY 3' CONCRETE CATCH BASIN 0.55 MILES NORTHWESTERLY ALONG PACIFIC COAST HIGHWAY FROM ITS INTERSECTION WITH NIGUAL ROAD TO THE BOTTOM OF A DOWNHILL GRADE, 48' SOUTHWESTERLY OF THE CENTERLINE OF PACIFIC COAST HIGHWAY

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE CENTERLINE OF KING JOHN LANE BEING NORTH 89°36'34" WEST PER TRACT NO. 3748, M.B. 142/29-34

ESTABLISHED BY CL TIES
PER TRACT 3748 TIES
PAGE 14 OF 14

SYMBOLS

	ELECTRIC METER
	GAS METER
	WATER METER
	SAN DIEGO GAS & ELECTRIC PULL BOX
	WOOD FENCE
	RETAINING WALL
	RAILROAD TIE WALL

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION

David T. Rosell

DAVID T. ROSELL P.L.S. 6281

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. ADDITIONAL DEEDS, EASEMENTS, VACATIONS, TAKINGS AND/OR RESTRICTIONS AFFECTING THE SUBJECT PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF ORANGE COUNTY

FD SPIKE & TIN
PER TRACT 3748 TIES
PAGE 6 OF 14

CROWN COAST

G IS PROVIDED SOLELY FOR THE T PARTIES AND NO LICENSE EXPRESSED OR IMPLIED TO VEPT AS IS NECESSARY IN



OWNER: CARL & JANET NOLET
 130 MONARCH BAY DRIVE
 DANA POINT, CA 92629
 (949) 448-5100

ROOF PLAN & (E) FLOOR PLAN
 W/ AREA CALCULATIONS

01 JUNE 2019

PACIFIC COAST ARCHITECTS



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 CA 92663
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NOLET 130 : CDP

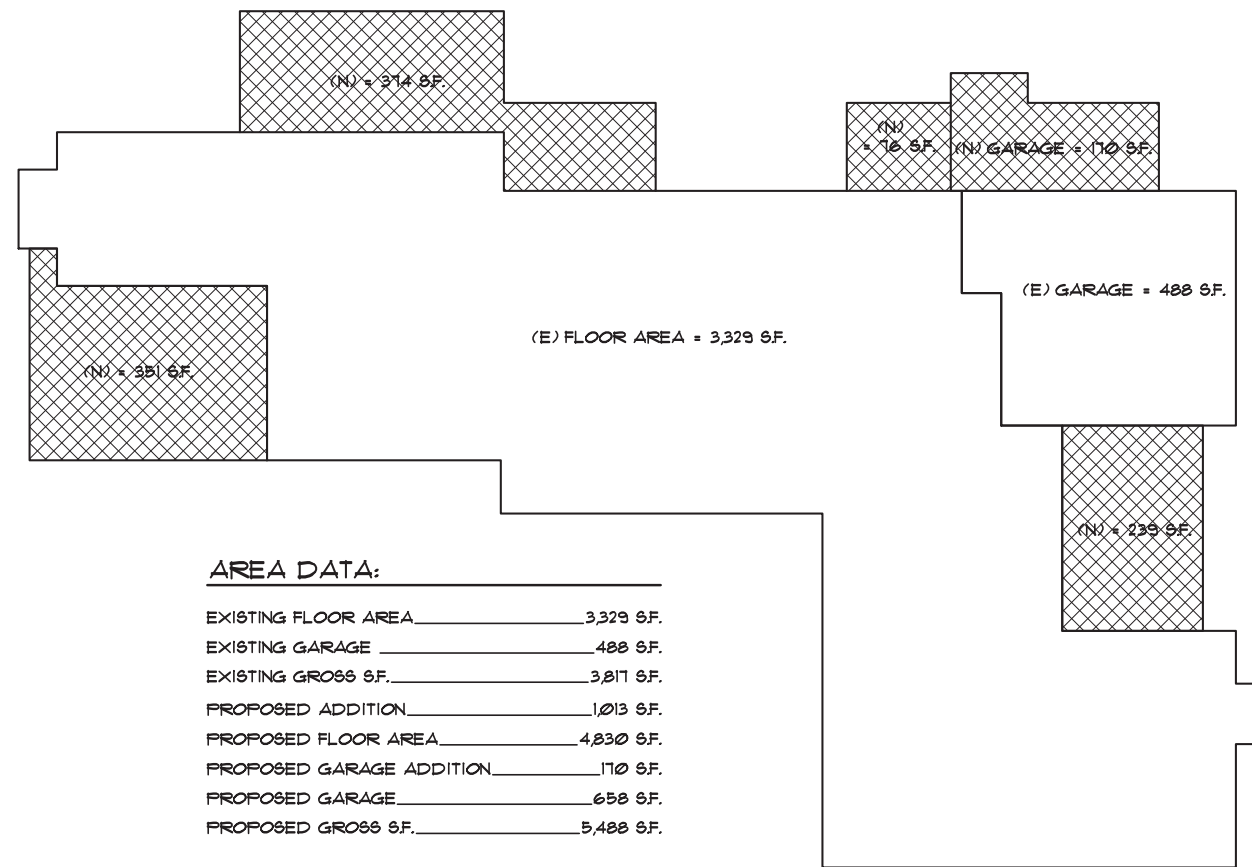
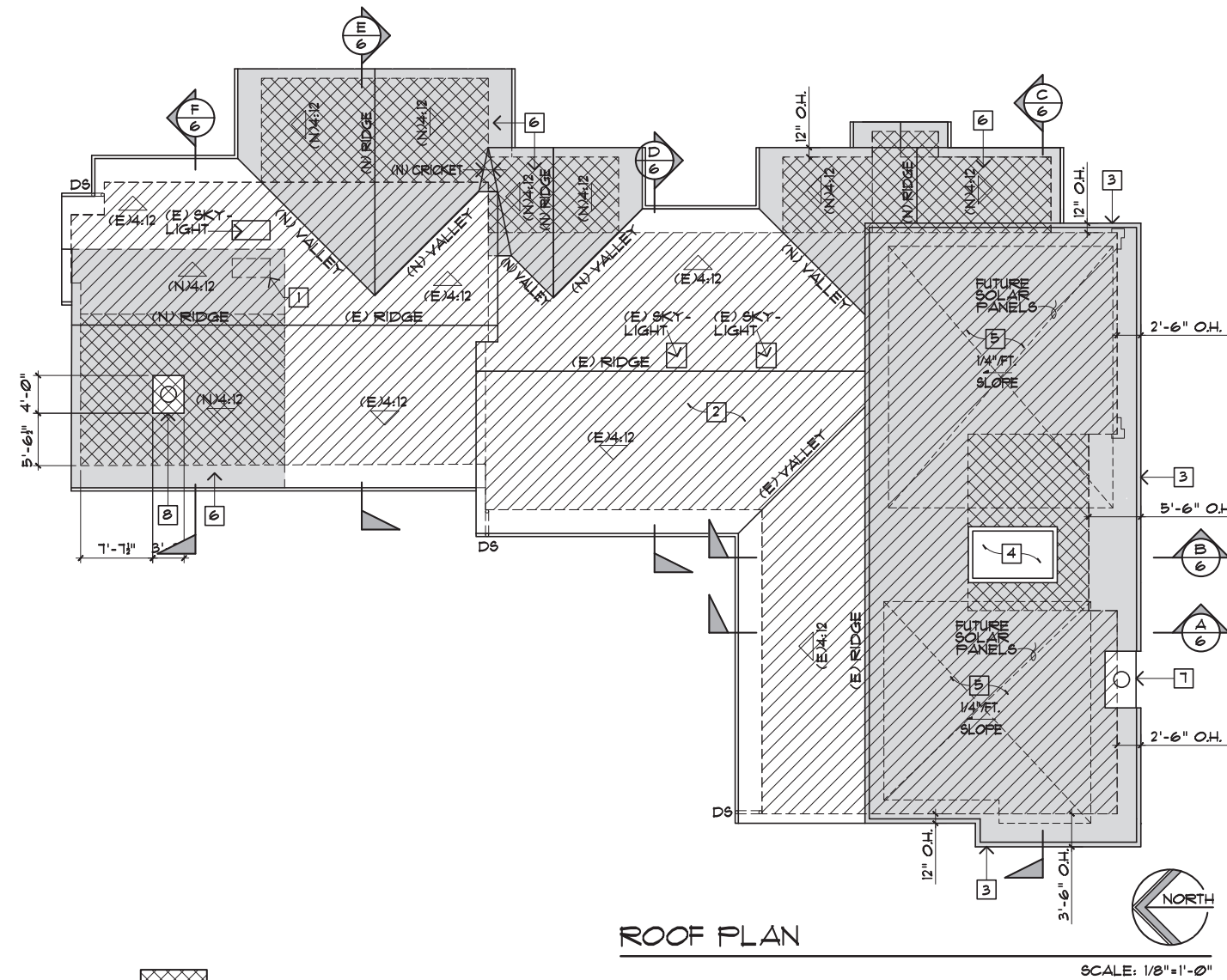


LEGEND:

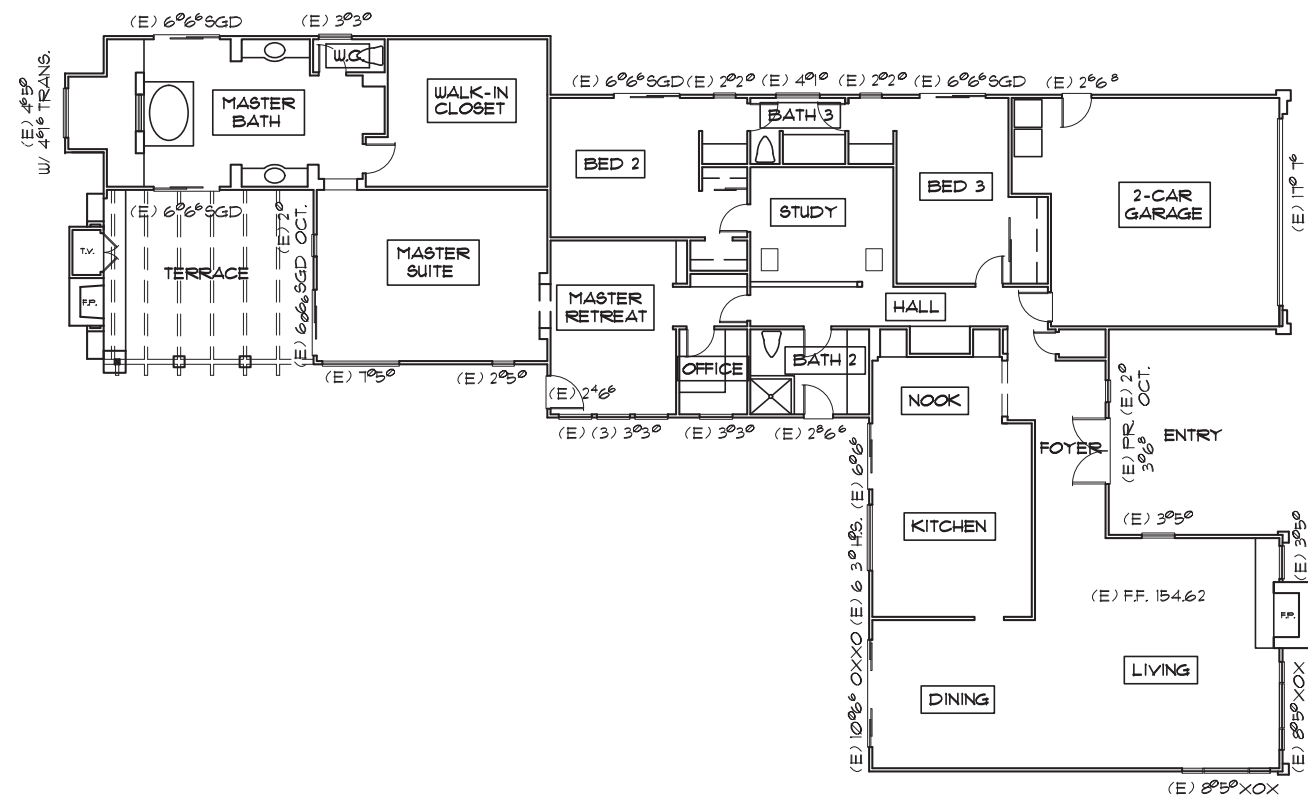
- = AREA OF INTERIOR WORK
- = AREA OF NEW ROOF AT ADDITION
- = AREA OF NEW ROOF
- = KEY-NOTES
- (E) = EXISTING
- (N) = NEW

ROOF PLAN NOTES:

1. REMOVE (E) SKYLIGHT. PROVIDE NEW LIGHT WEIGHT CONC. ROOF TILES TO MATCH EXISTING LIGHT WEIGHT ROOF TILES.
2. AREA OF WORK BELOW (E) ROOF.
3. NEW PARAPET AT NEW FLAT ROOF.
4. (N) FIXED SKYLIGHT, TO MATCH (E). DARK BRONZE ANODIZED ALUM. FRAME W/ SOLAR BRONZE GLASS, NON REFLECTIVE, FRAME COLOR TO MATCH (E) ROOF TILES. NO UPLIGHTING FROM BELOW SKYLIGHT WILL BE ALLOWED.
5. ROLLED ASPHALT ROOFING, COLOR TO CLOSELY MATCH (E) ROOF TILES.
6. (N) LT. WT. CONC. ROOF TILES TO MATCH (E) ROOF TILES.
7. RAISE THIS (E) CHIMNEY PER EXT. ELEVATIONS.
8. (N) CHIMNEY PER EXT. ELEVATIONS.



SCALE: 1/8"=1'-0"



AREA CALCULATIONS

EXISTING FLOOR PLAN



OWNER: CARL & JANET NOLET
 130 MONARCH BAY DRIVE
 DANA POINT, CA. 92629
 (949) 448-5100

PROPOSED FLOOR PLAN

01 JUNE 2019

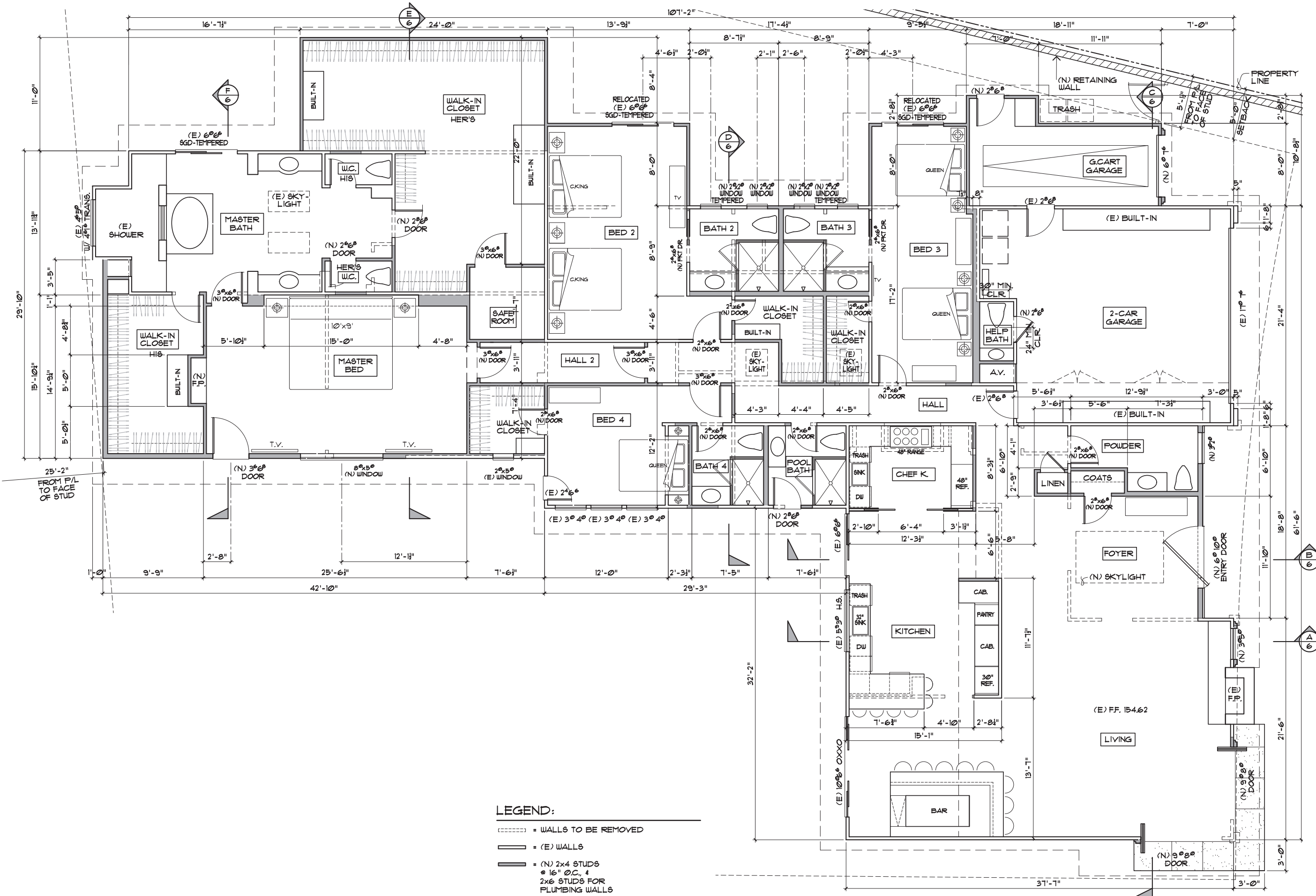
PACIFIC COAST ARCHITECTS



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 CA. 92663
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 FAX 675-8234

NOLET 130 : CDP

4



LEGEND:

- = WALLS TO BE REMOVED
- = (E) WALLS
- = (N) 2x4 STUDS @ 16" O.C. & 2x6 STUDS FOR PLUMBING WALLS

PROPOSED FLOOR PLAN





OWNER: CARL & JANET NOLET
 130 MONARCH BAY DRIVE
 DANA POINT, CA. 92629
 (949) 448-5100

EXTERIOR ELEVATIONS

01 JUNE 2019

PACIFIC COAST ARCHITECTS



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NOLET 130 CDP

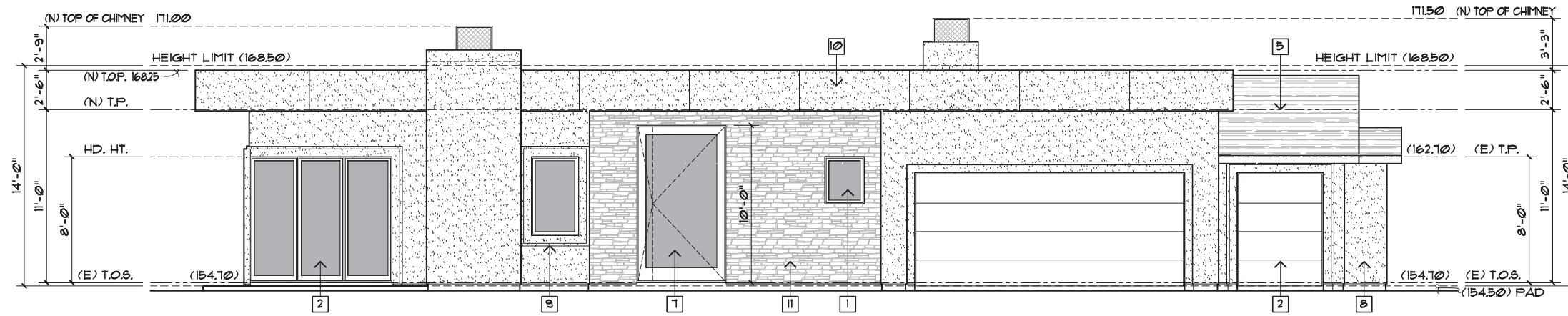
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GENERAL NOTES:

- ALL NEW MATERIALS AND COLORS ARE TO MATCH EXISTING.
 NOTE: EXISTING DOORS & WINDOWS ARE: WOOD PAINTED WHITE.

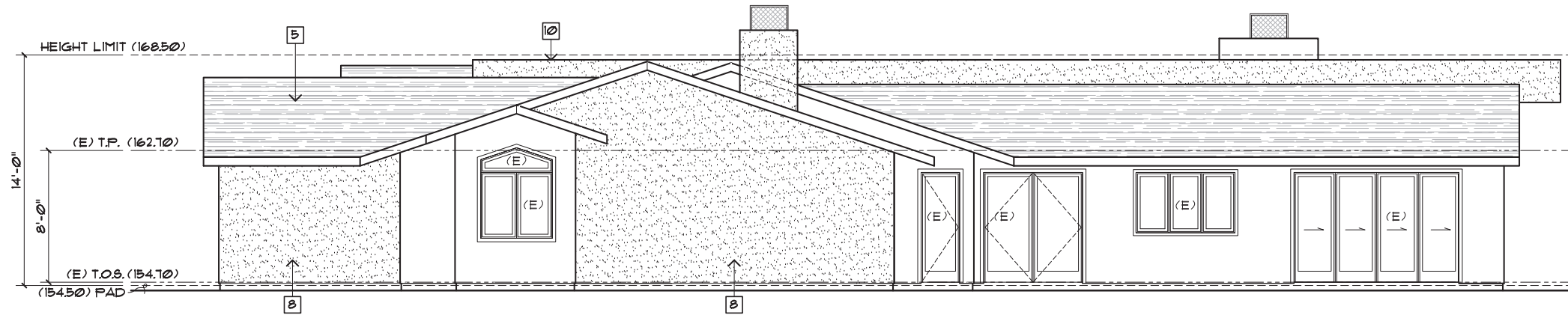
ELEVATION NOTES:

- NEW WINDOW, TO MATCH (E) W/ (N) TRIM TO MATCH (E).
- NEW DOOR, TO MATCH (E) W/ (N) TRIM TO MATCH (E).
- LOCATION OF REMOVED WINDOW/DOOR. PROVIDE (N) STUCCO AND MATCH COLOR AND TEXTURE OF (E) STUCCO.
- WHERE SKYLIGHTS AT ROOF ARE REMOVED, PROVIDE NEW LIGHT WEIGHT CONC. ROOF TILES TO MATCH (E) LIGHT WEIGHT ROOF TILES.
- NEW ROOF AREA TO BE LT. WT. CONC. ROOF TILES TO MATCH (E).
- NEW CUSTOM WOOD ENTRY DOOR, EXTERIOR TO BE WHITE TO MATCH (E) W/ DUAL GLAZED GLASS PANEL..
- (N) STUCCO, COLOR & TEXTURE TO MATCH EXISTING.
- 2x6 STUCCO PLANT-ON SURROUND W/ 1x1 STEP EDGE, TO MATCH (E) ARCHITECTURAL DETAILING. (SEE DETAIL 1, SHEET 6)
- NEW STUCCO PARAPET AT FLAT ROOF, COLOR & TEXTURE TO MATCH (E) STUCCO.
- (N) STONE AT ENTRY.



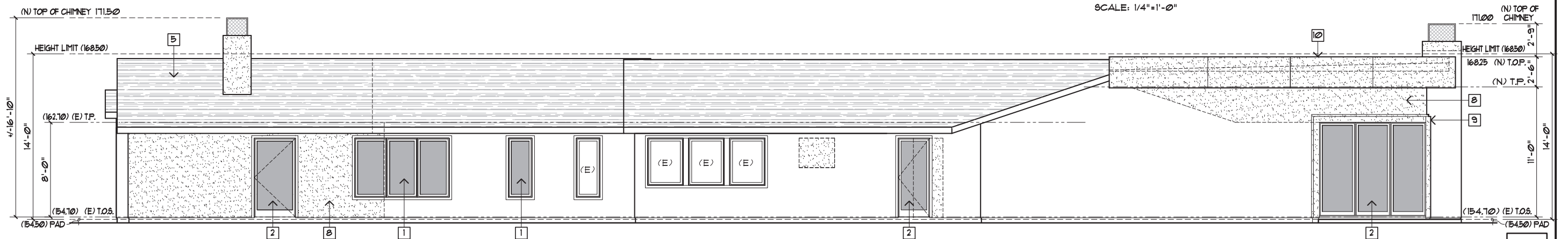
FRONT ELEVATION

SCALE: 1/4"=1'-0"



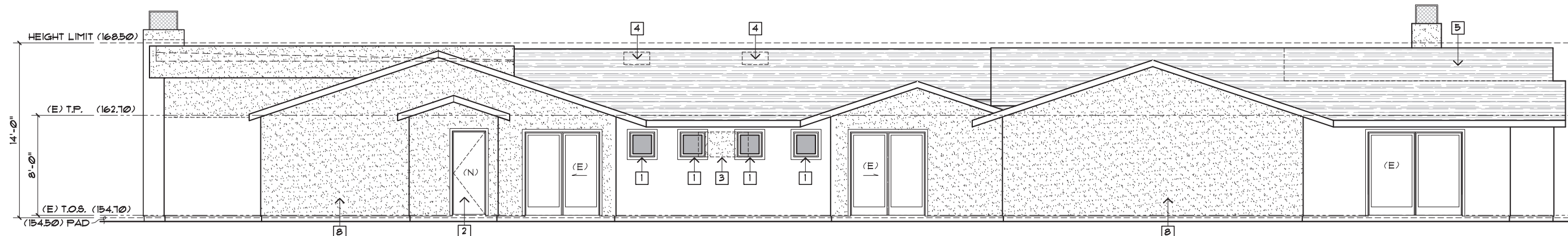
REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"



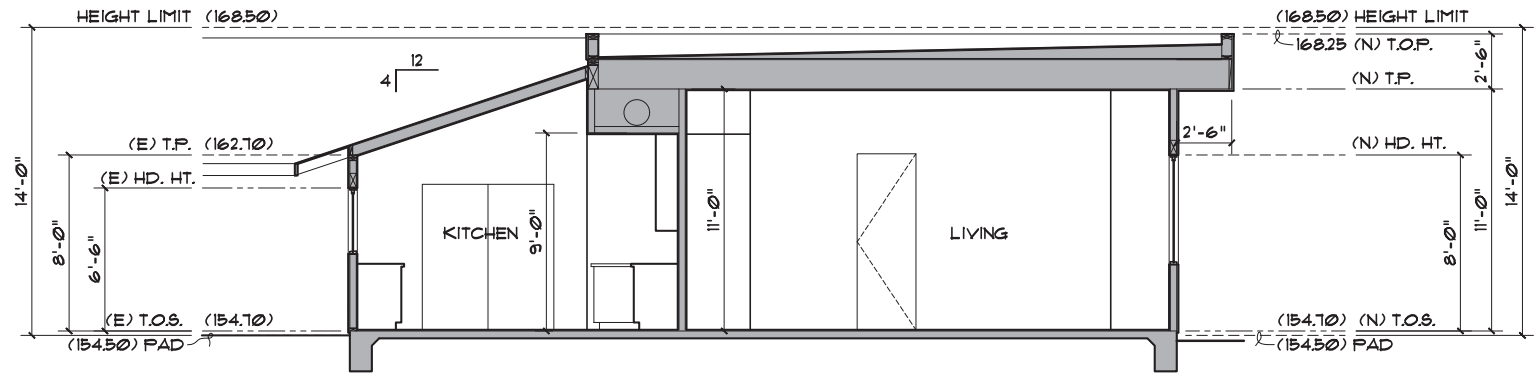
RIGHT ELEVATION

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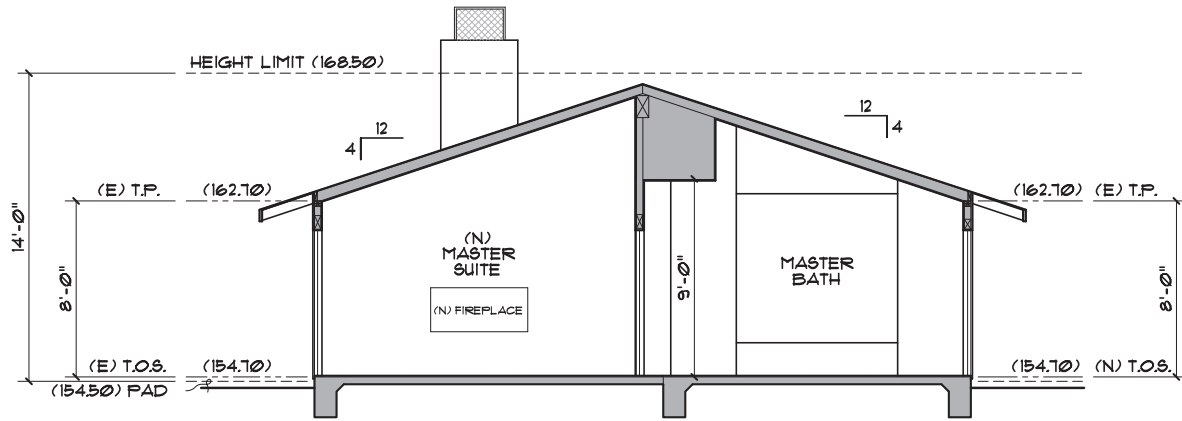
OWNER: CARL & JANET NOLET
 130 MONARCH BAY DRIVE
 DANA POINT, CA 92629
 (949) 448-5100

BUILDING SECTIONS



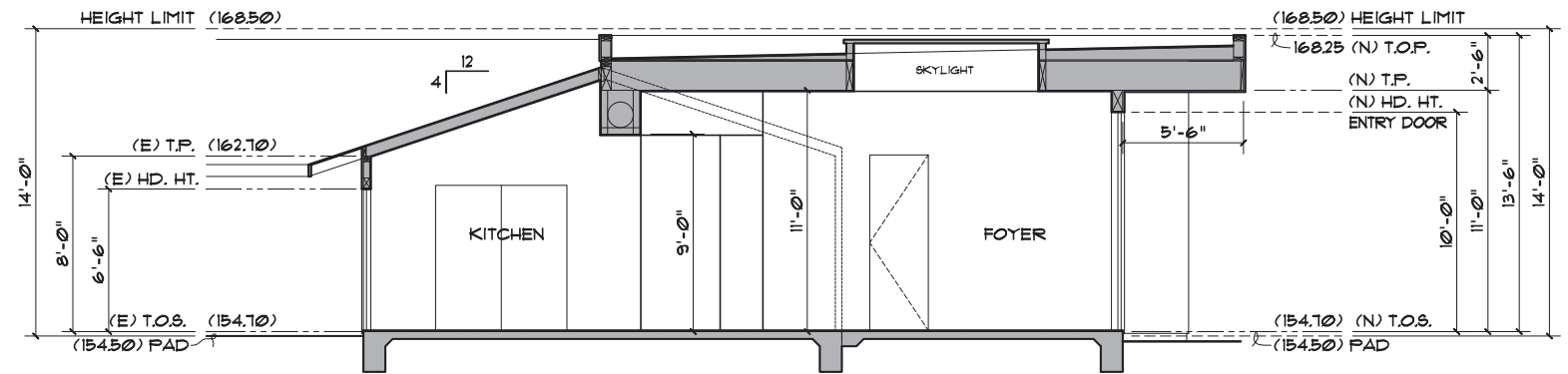
SECTION A

SCALE: 1/4"=1'-0"



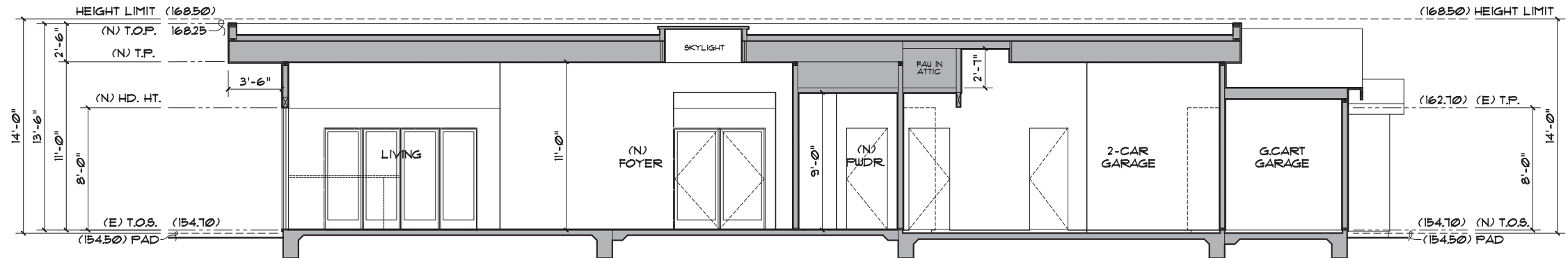
SECTION F

SCALE: 1/4"=1'-0"



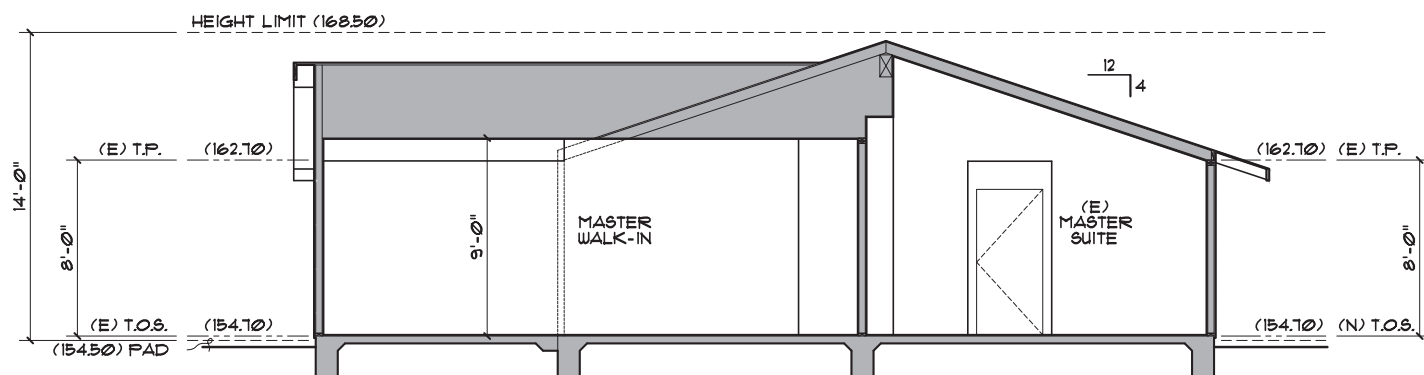
SECTION B

SCALE: 1/4"=1'-0"



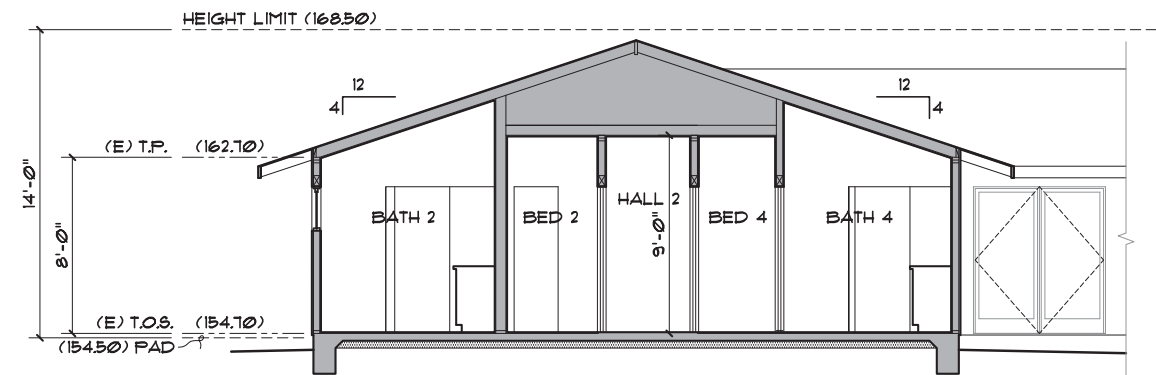
SECTION C

SCALE: 1/4"=1'-0"



SECTION E

SCALE: 1/4"=1'-0"



SECTION D

SCALE: 1/4"=1'-0"

NOLET 130 = CDP

01 JUNE 2019

PACIFIC COAST ARCHITECTS



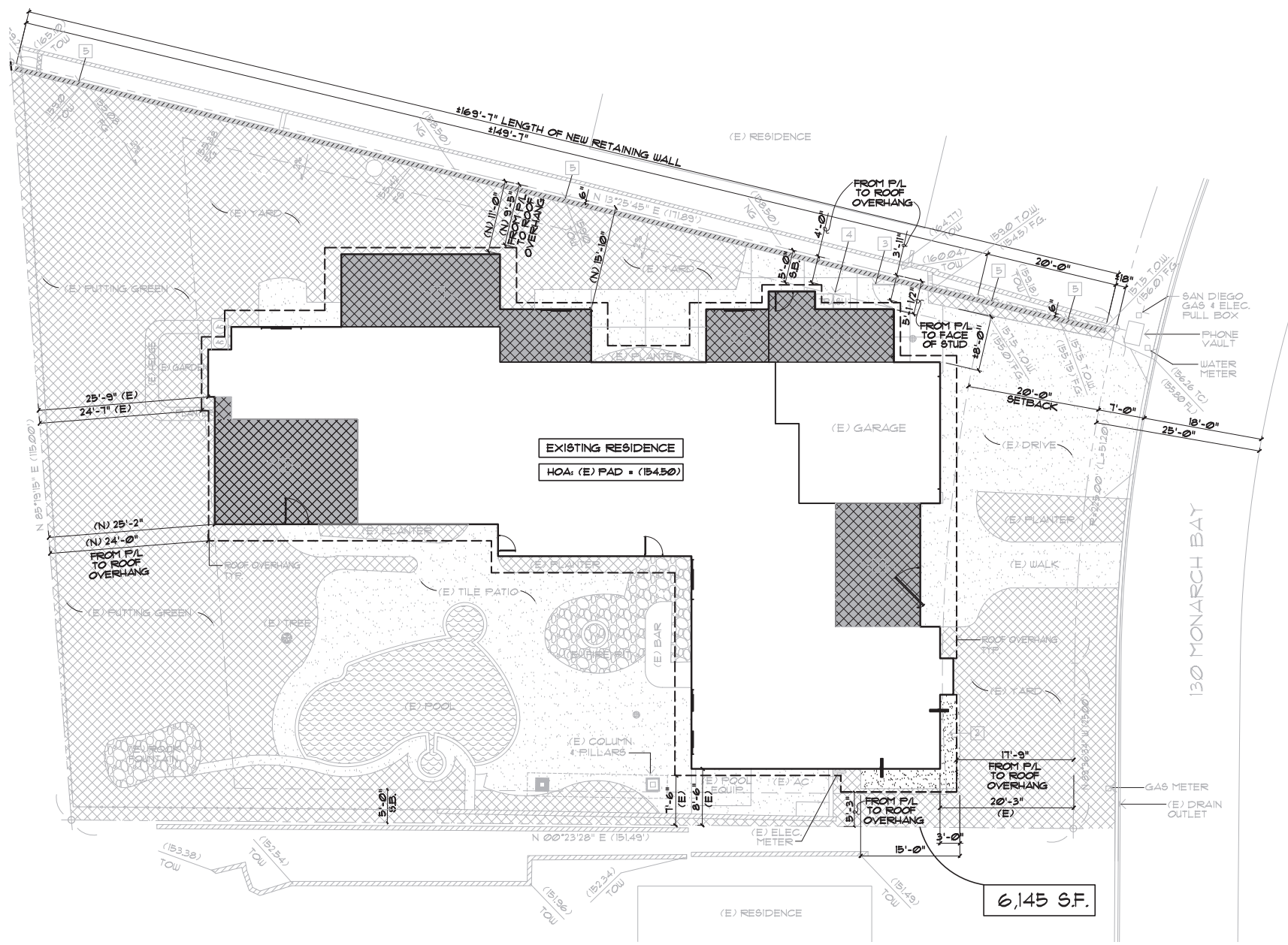
2000 NEWPORT
 BLVD. SUITE 114
 NEWPORT BEACH,
 CA. 92663
 (949) 675-8488
 FAX 675-8234





OWNER: CARL & JANET NOLET
 130 MONARCH BAY DRIVE
 DANA POINT, CA 92629
 (949) 448-5100

LOT COVERAGE CALCULATIONS



□ LOT COVERAGE DATA:

LOT AREA	15,017 SF.
ALLOWABLE LOT COVERAGE CITY (45%)	6,757.65 SF.
ALLOWABLE LOT COVERAGE HOA (40%)	6,006.8 SF.
MIN. LANDSCAPE AREA REQUIRED (25%)	3,754.3 SF.
EXISTING LOT COVERAGE (RESIDENCE) (25% OF LOT COVERAGE, 40% ALLOWED)	3,811 SF.
PROPOSED LOT COVERAGE (RESIDENCE) (31% OF LOT COVERAGE, 40% ALLOWED)	5,488 SF.

○ LOT LANDSCAPE AREA:

MIN. LANDSCAPE AREA REQUIRED (25%)	3,754.3 SF.
LANDSCAPE AREA PROVIDED 6,145 SF. > 3,754.3 ✓ PER AREA-CALCS SH.T	6,145 SF. (42%)
(ALL LANDSCAPING IS EXISTING TO REMAIN)	
(ARTIFICIAL TURF AREA	3,033 SF.

LOT COVERAGE CALCULATIONS



SCALE = 1" = 10'-0"

NOLET 130 = CDP

01 JUNE 2019

PACIFIC COAST ARCHITECTS



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 FAX 675-8234

7



OWNER: CARL & JANET NOLET
 130 MONARCH BAY DRIVE
 DANA POINT, CA 92629
 (949) 448-5100

DEMOLITION PLANS

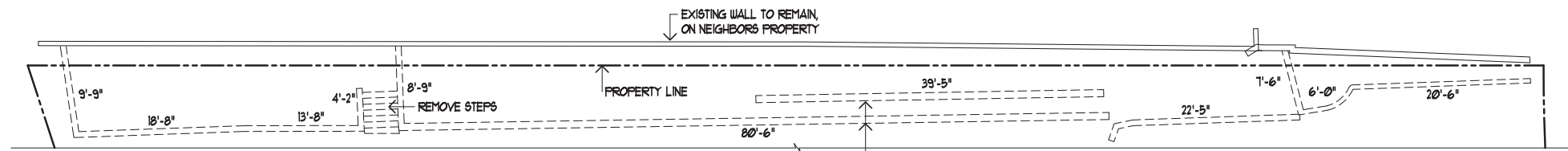
01 JUNE 2019

PACIFIC COAST ARCHITECTS



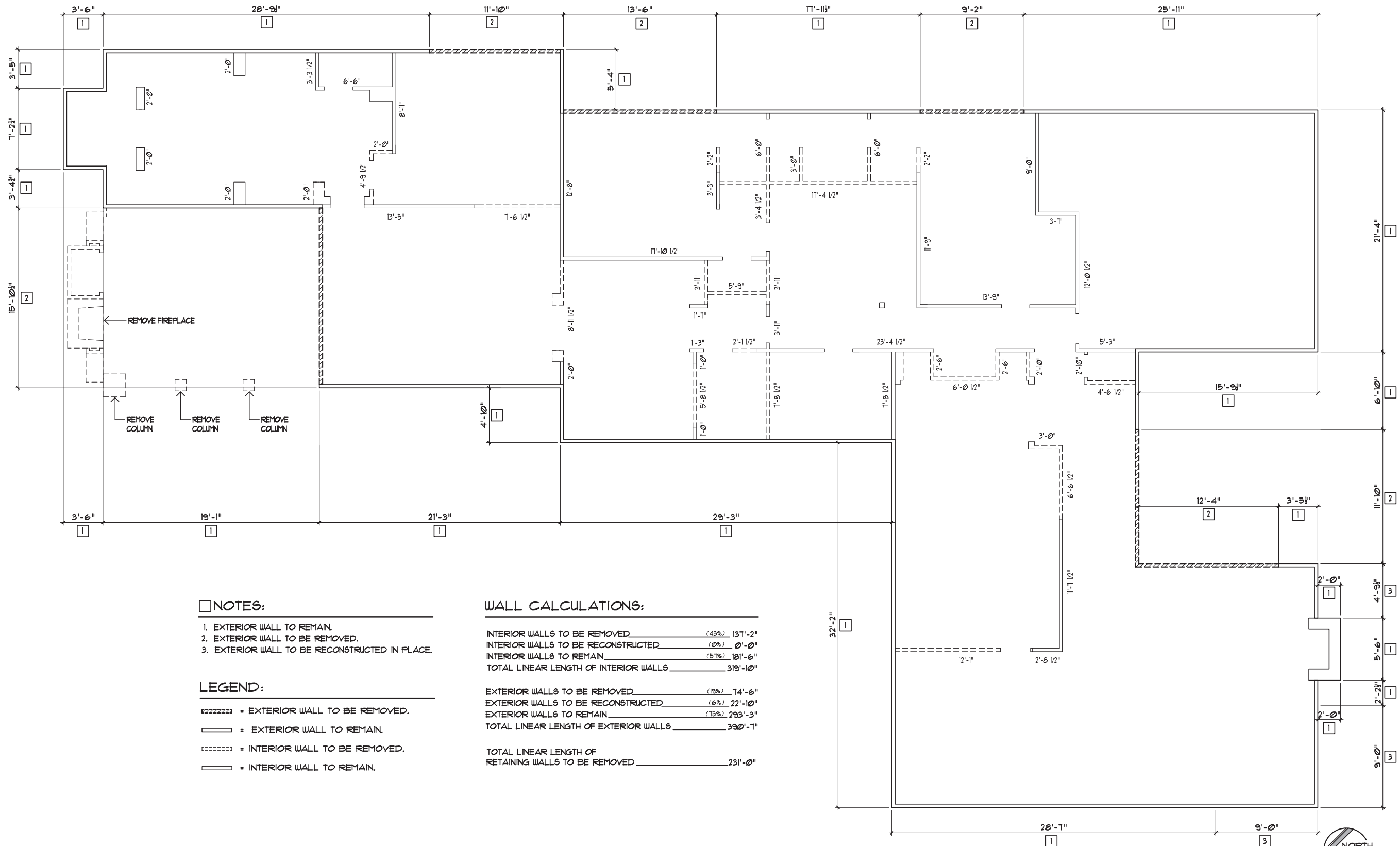
2000 NEWPORT
 BLVD. SUITE 114
 NEWPORT BEACH,
 CA. 92663
 (949) 878-8488
 FAX 878-8234

NOLET 130 : CDP



RETAINING WALL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



SCALE: 1/4" = 1'-0"

NOTES:

1. EXTERIOR WALL TO REMAIN.
2. EXTERIOR WALL TO BE REMOVED.
3. EXTERIOR WALL TO BE RECONSTRUCTED IN PLACE.

LEGEND:

- = EXTERIOR WALL TO BE REMOVED.
- = EXTERIOR WALL TO REMAIN.
- = INTERIOR WALL TO BE REMOVED.
- = INTERIOR WALL TO REMAIN.

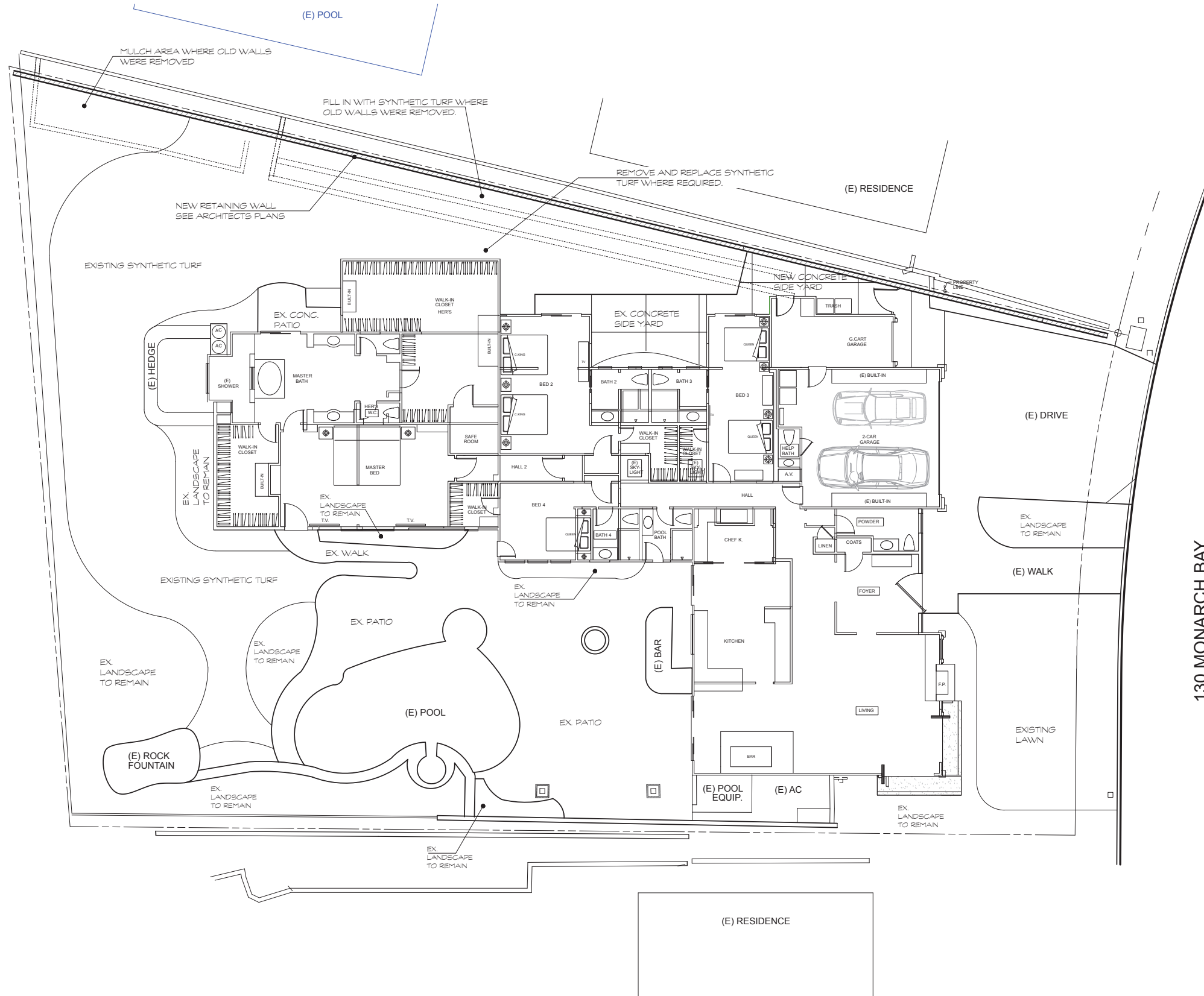
WALL CALCULATIONS:

INTERIOR WALLS TO BE REMOVED (43%) 137'-2"
 INTERIOR WALLS TO BE RECONSTRUCTED (0%) 0'-0"
 INTERIOR WALLS TO REMAIN (57%) 181'-6"
 TOTAL LINEAR LENGTH OF INTERIOR WALLS 319'-0"

EXTERIOR WALLS TO BE REMOVED (19%) 74'-6"
 EXTERIOR WALLS TO BE RECONSTRUCTED (6%) 22'-10"
 EXTERIOR WALLS TO REMAIN (75%) 293'-3"
 TOTAL LINEAR LENGTH OF EXTERIOR WALLS 390'-1"

TOTAL LINEAR LENGTH OF
 RETAINING WALLS TO BE REMOVED 231'-0"

DEMOLITION FLOOR PLAN



LANDSCAPE ARCHITECTURAL PLANS FOR
CARL AND JANET NOLET
 130 MONARCH BAY DR. • DANA POINT, CA 92629
 PH. (949) 448-5700

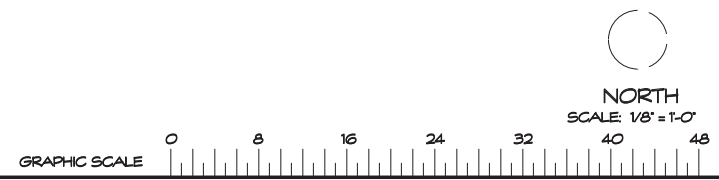
EX. LANDSCAPE
 PLAN
 (NO PROPOSED
 LANDSCAPE)

DATE: 6-4-10
 DRAWN BY: D.P.

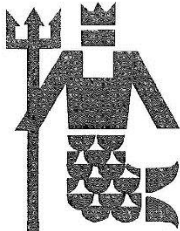
SHEET NO.

1

OF - 1



Supporting Document 4: Monarch Bay HOA Approval



Monarch Bay Association

January 29, 2019

*Carl Nolet
130 Monarch Bay Drive
Monarch Beach, CA 92629*

via e-mail

**RE: 130 MONARCH BAY DRIVE
APPROVAL OF HOME REMODEL PLANS DATED 01/23/19-PACIFIC COAST
ARCHITECTS**

Dear Mr. Nolet,

Thank you for having your Architect Phil Edmondson attend the Monarch Bay Association Architectural Control Committee on January 29, 2019, he is truly a delight to work with. At that meeting, your home remodel plans were unanimously approved as presented and stamped/approved plans were provided to Phil.

The Committee truly appreciates your on-going cooperation and wish you luck with your project.

*Respectfully,
THE MONARCH BAY ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE*

**CC: Board
Phil Edmondson via email
MB/130/arch/home remodel approval/01.29.19**