

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: MAY 13, 2019

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
MATT SCHNEIDER, DIRECTOR OF COMMUNITY DEVELOPMENT
BELINDA DEINES, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP19-0001 AND SITE DEVELOPMENT PERMIT 19-0015 TO DEMOLISH AN EXISTING 3,515 SQUARE-FOOT SINGLE-FAMILY DWELLING AND CONSTRUCT A NEW 4,592 SQUARE-FOOT SINGLE-FAMILY DWELLING AND ATTACHED THREE-CAR GARAGE WITHIN THE RESIDENTIAL SINGLE FAMILY 4/PLANNED RESIDENTIAL DISTRICT 3 (RSF 4/PRD 3) DISTRICT LOCATED AT 33731 SHACKLETON ISLE

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP19-0001 and Site Development Permit SDP19-0015.

APPLICANT: Mont and Robyn Flora, Property Owners

REPRESENTATIVE: Michael Masilotti, Architect

REQUEST: Approval of a Coastal Development Permit to demolish an existing single-family dwelling and construct a new single-family dwelling and attached two-car garage located within the RSF 4 Zoning District, Coastal Overlay District, and the Appeals Jurisdiction of the California Coastal Commission. Approval of a Site Development Permit to construct an entry portico, walls, and pilasters greater than 42" in height within the front setback, and retaining walls greater than 72" in height.

LOCATION: 33731 Shackleton Isle (APN 672-061-17)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on May 3, 2019, published within a newspaper of general circulation on May 3, 2019, and posted on May 10, 2019 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorical Exempt per Section 15303(a) (Class 3 – New Construction) in that the project involves construction of one single-family dwelling in a residential zone.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC) and Local Coastal Program (LCP);
- Project compatibility with and enhancement of the site and surrounding neighborhood; and
- Project satisfaction of all findings required pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP) and Site Development Permit (SDP).

BACKGROUND: The subject site is an 8,483 square-foot lot located within Niguel Shores, which consists of a built-out neighborhood of single-family dwellings (Supporting Document 2). The site is improved with a 3,515 square-foot, two-story single-family dwelling and attached three-car garage built in 1976. All existing improvements will be demolished and the existing structure is not identified as a historic resource.

The property is zoned “Residential Single Family 4” (RSF 4) with the “Planned Residential District 3” (PRD 3) overlay, identified in the City’s General Plan with a land use designation of “Residential 3.5-7 DU/AC,” and is located within the City’s Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

DISCUSSION: The project includes demolition of all existing structures and the landscaping, and construction of a new 4,592 square-foot, two-story single-family dwelling with a 635 square-foot attached three-car garage. The proposed structure consists of four bedrooms, four bathrooms, an office, theater, and laundry room on the lower level and an open concept living, dining, and kitchen area, with a master bedroom suite on the upper level. The proposed structure maintains a one-story appearance from street view from Shackleton Isle, and the applicant proposes to lower the pad elevation approximately 3’-4 ½” below existing grade. The proposed three-car garage meets the covered parking requirement for the site.

Development standards for this property are set forth in the City’s Zoning Code Chapter 9.09 (Residential Development Standards) specifically for the RSF 4 District. Table 1 summarizes applicable RSF 4 District zoning designation development standards and the project’s conformance with those requirements:

Table 1: Compliance with RSF 4/PRD 3 Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Front Setback (Garage)	5' minimum	8'-9 ½"	Yes
Front Setback (House)	20' minimum	29'	Yes
Side Setbacks	10' aggregate	5'; 5'	Yes
Rear Setback	15' minimum	43'-4 ½"	Yes
Height	24' maximum Less than 3:12 roof pitch	21'-6" ¼":12	Yes
Lot Coverage	45% maximum	41%	Yes
Landscape Coverage	25% minimum	59%	Yes
Parking Required	3 car garage	3 car garage	Yes

The proposed structure's architectural style is described as contemporary with grey stained composite shingle siding, matte black metal standing seam and grey slate tile roofing, white windows and doors, and glass deck railings.

A new small pool will be constructed in the front courtyard with new hardscape and landscape proposed throughout the site. The proposed landscape plan will be subject to compliance with DPZC Chapter 9.55, Water Efficient Landscape Standards and Requirements, based on the total rehabilitated landscape area provided onsite.

The project as designed complies with all applicable development standards, including setbacks, parking, lot coverage, landscape area, and height limits.

Coastal Development Permit CDP19-0001

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, demolition of existing structures and construction of a new single-family dwelling on land located in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires approval of a Coastal Development Permit (CDP).

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any*

body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).

- 3. Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
- 4. Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
- 5. Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
- 6. Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
- 7. Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 19-05-13-XX, attached to this report as Action Document 1.

Site Development Permit SDP19-0015

Pursuant to DPZC Section 9.05.120(c), alternatives to the heights for fences and provisions for the placement of porticos within required yards may be granted subject to approval of a Minor Site Development Permit and the provisions of Chapter 9.71. Fences and walls located within the 20' front setback are limited to a height of 42 inches. The applicant proposes to construct an 11'-3" x 11'-3" entry portico located within the front setback and built 5' from the front property line. The height of the portico is proposed at 13'-4" measured above the finished surface. In order to meet pool security fencing requirements, the applicant proposes to construct a 5' high garden wall and 5'-6" high pilasters located within the front setback and built 4' from the front property line. The applicant proposes installation of two trees and various shrubs in the planter area between the proposed wall and the sidewalk, which will screen the height of the wall from street view.

Pursuant to DPZC Section 9.05.120(d), retaining walls greater than 30" in height may be permitted subject to approval of a Minor Site Development Permit. The applicant proposes to construct a 7'-1" high retaining wall along the west side property line, which will result in a grading cut condition relative to existing grade. The wall is proposed

adjacent to the structure and concealed by 5' high wood gates along the side yard. An existing 6' wall on the adjacent property will remain as-is.

DPZC Section 9.71.050 stipulates a minimum of four findings for approval of a SDP, requiring:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

The recommended findings for approval of the SDP are outlined in the draft Resolution No. 19-05-19-XX, attached to this report as Action Document 1.

CORRESPONDENCE: On February 5, 2019, the proposed project received conditional approval from the Niguel Shores Community Association. Staff has received letters from adjacent neighbors expressing concerns related to view preservation and privacy (Supporting Document 6).

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. The project has been found to comply with all development standards, and staff recommends that the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 19-0001 and Site Development Permit 19-0015 subject to the findings and conditions of approval contained therein.



Belinda Deines, Senior Planner



Matt Schneider, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 19-05-13-xx

Supporting Documents

2. Vicinity Map
3. Color and Material Sample Boards
4. Site Photos
5. Architectural Plans
6. Correspondence

Action Document 1: Draft Planning Commission Resolution No. 19-05-13-xx

RESOLUTION NO. 19-05-13-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP18-0011 AND SITE DEVELOPMENT PERMIT SDP19-0015 TO DEMOLISH AN EXISTING 3,515 SQUARE-FOOT SINGLE-FAMILY DWELLING, AND CONSTRUCT A NEW 4,592 SQUARE-FOOT SINGLE-FAMILY DWELLING AND A 635 SQUARE-FOOT ATTACHED TWO-CAR GARAGE LOCATED WITHIN THE CITY'S COASTAL OVERLAY DISTRICT AT 33731 SHACKLETON ISLE

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Michael Masilotti, Architect, (the "Representative") has filed an application on behalf of Mont and Robyn Flora, ("Applicant"), the owners of real property commonly referred to as 33731 Shackleton Isle (APN 672-061-17) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit and Site Development Permit to allow demolition and construction of a new single-family dwelling at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling; and

WHEREAS, the Planning Commission did, on the 13th day of May, 2019, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP19-0001 and Site Development Permit SDP19-0015.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP19-0001 and SDP19-0015 subject to the following conditions of approval:

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Findings:

Coastal Development Permit CDP19-0001

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “preserve the individual positive character and identity of the City’s communities” by effecting new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County and State beaches and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in that the application proposes the construction of one new single-family dwelling.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would**

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not result in adverse impacts.

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located within an established area of residential uses with little to no natural landforms present and; in that the proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed project would construct a new single-family dwelling utilizing materials and methods that conform to the development and design standards of the Dana Point Zoning Code and result in development of the property in a manner that is complementary to surrounding development in terms of mass, size and scale.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.**

Site Development Permit SDP19-0015

1. Compliance of the site design with development standards of this Code.
Pursuant to DPZC Section 9.05.120(c), alternatives to the 42" height limit for fences, walls, and entry features within required front yards may be permitted subject to approval of a Minor Site Development Permit. The proposed improvements located within the required 20' front setback involve construction of a 5' high garden wall, 5'-6" pilasters, and a 13'-4" high entry portico located within the required 20' front setback. The entry portico will be attached to the proposed garage, which allows a 5' front setback under the PRD 3 development standards. Other properties in the immediate area have structures and garages built within 5' of the front property line and the proposed site design is consistent with pattern of development along the street.

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Pursuant to DPZC Section 9.05.120(d), retaining walls greater than 30" in height may be permitted subject to approval of a Minor Site Development Permit. The proposed project involves construction of a 7'-1" high retaining wall located along the west side property line. The proposed retaining wall will not be visible to street view and does not contribute to the appearance of mass and scale. Therefore, the proposed improvements and site design are in compliance with development standards.

2. Suitability of the site for the proposed use and development.

Proposed construction of the entry portico, pilasters, and walls complement and add visual interest to the front elevation of proposed construction of a new single-family dwelling. The applicant proposes to install adequate plant materials and trees to screen the walls and front courtyard area from street view.

The proposed 7'-1" high retaining wall allows for excavation to establish a lower level floor and provide adequate exterior egress for bedrooms, which will daylight to a level walkway along the side yard. The walkway will be screened by an existing 6' high wall on the adjacent property. As such, the property is suitable for the proposed use and development.

3. Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.

The proposed improvements will be architecturally integrated with the contemporary design of the new structure, which is consistent with the City's General Plan and all applicable provisions in the Urban Design Guidelines. The City's General Plan Urban Design Element Goal 5 encourages achievement of design excellence in site planning, architecture and landscape architecture in new development.

4. Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.

The proposed entry portico, pilasters, and walls complement and match the proposed site and structural design, which is compatible with the existing residential development in the immediate area. These improvements are setback from the front property line and sidewalk and screened by landscaping and utilize a variety of brick veneer, batten board panels, painted wood gates, and painted wood finish materials. The proposed retaining wall will be visually screened from the street on both sides and will result in a cut

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condition relative to existing grade. Therefore, the proposed improvements are appropriate for the site and function of the proposed use.

Conditions:

General:

1. Approval of this application permits demolition of all existing site improvements and the construction of a new 4,592 square-foot single-family dwelling and 635 square-foot attached two-car garage at 33731 Shackleton Isle in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
3. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its

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agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The project shall meet all water quality requirements.
8. A grading permit shall be obtained prior to any work, including demolition activities.
9. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The Applicant, or Applicant's agent(s), shall be responsible for coordinating any potential conflicts or existing easements.
10. The Applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
11. The Applicant, Applicant's agent(s), or successor-in-interest, shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.

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Prior to Issuance of a Grading Permit:

12. The Applicant, or Applicant's Agent(s), shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
13. The grading permit application shall include a driveway design in accordance with the City of Dana Point Zoning Code requirements for the new driveway and garage.
14. The grading permit application shall include a drainage plan that shows all storm water being directed to Shackleton Isle. The plan shall clearly show that no stormwater is directed toward the slope and rear of the property.
15. The Applicant, or Applicant's Agent(s), shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
16. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
17. The Applicant, or Applicant's Agent(s), shall submit an application for shoring as needed, to the Building Division. In the event shoring is required, a separate permit submittal shall be made to the Building Division for review and approval. All shoring permits shall be issued concurrently with the grading permit.
18. The Applicant, or Applicant's Agent(s), shall submit an application for separate structures, including retaining walls. Retaining walls and other structures not supported by the building foundation require a separate submittal for review and approval to the Building Division. Any retaining walls required to establish the grading and approved pad shall be issued concurrently with the grading permit.
19. A performance bond shall be required for all grading activities up to 100% of the proposed improvements. A separate performance bond may be required for shoring activities to ensure completion of grading activities and protection of adjoining improvements.

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Prior to Issuance of a Building Permit:

20. Building plan check submittal shall include two (2) sets of the following construction documents: building plans (4 sets), energy calculations, structural calculations, soils/geology report, and drainage plan.
21. All documents prepared by a professional shall be wet-stamped and signed.
22. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief.
23. The Applicant, or Applicant's Agent(s), shall submit payment for all supplemental fees, including school, park, water, sewer and other impact-related fees.
24. The Applicant, or Applicant's agent(s), shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
25. The Applicant, or Applicant's agent(s), shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
26. The Applicant, or Applicant's agent(s), shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
27. The Applicant, or Applicant's agent(s), shall submit a certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal for the construction of temporary shoring, as needed. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the installation of the shoring system as being

substantially completed in conformance with the recommendation of the project geotechnical report from a geotechnical standpoint.

28. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
29. The Applicant, or Applicant's Agent(s), shall submit a final Landscape and Irrigation Plan for review and approval by both the Public Works/Engineering Department and the Planning Division. The plan shall include all proposed and existing plant materials (location, type, size, and quantity), an irrigation plan (if irrigation is proposed), site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with applicable provisions of the Zoning Code, the preliminary plans approved by the Planning Commission and further, recognize the principles of drought tolerant landscaping.
30. Prior to commencement of framing, the Applicant, or Applicant's Agent(s), shall submit a setback certification, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP19-0001 and SDP19-0015. The City's standard "Setback Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed civil engineer/surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval.
31. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP19-0001 and SDP19-0015. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval before release of final roof sheathing is granted.

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Prior to Final Approval of All Permits:

32. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
33. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
34. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved plans and which specifically approves construction for all engineered drainage devices and retaining walls.
35. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
36. All permanent best management practices, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
37. Public Works final approval will be required for all permits.
38. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
39. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval. All landscaping of the subject property shall be installed (per plan) prior to final inspection by the Planning Division.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 13th day of May, 2019 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

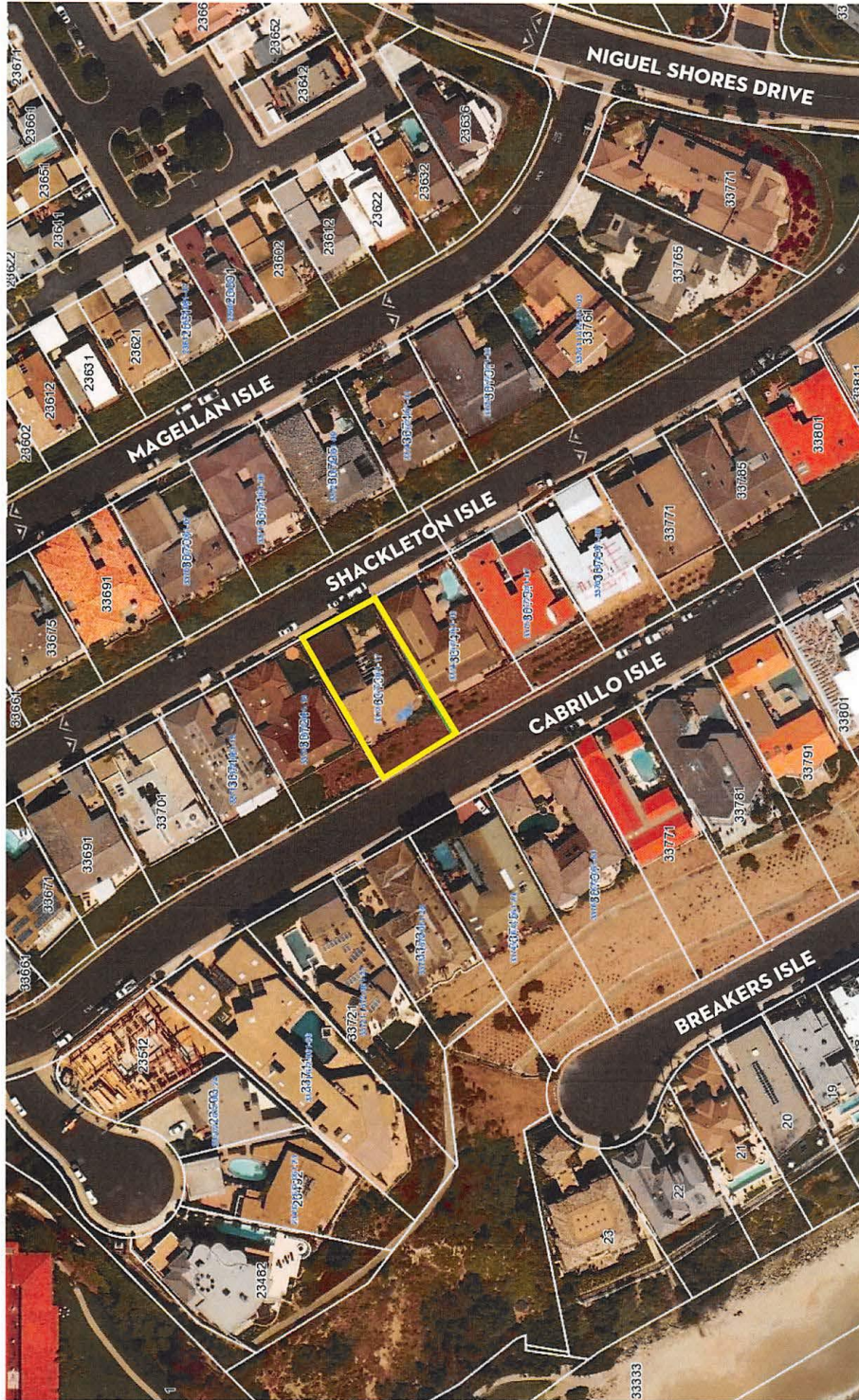
Roy Dohner, Chairperson
Planning Commission

ATTEST:

Matt Schneider, Director
Community Development Department

Supporting Document 2: Vicinity Map

VICINITY MAP: 33731 SHACKLETON ISLE



Supporting Document 3: Color and Material Sample Boards

FLORA - 33671 SHACKLETON

lights flanking doors

black doors on pool room (both sides)

entry sconces

(x3) garage upper sconce options

Ben Moore "White Heron"
(windows, garage, trim)

FRONT ELEVATION

COURT YARD ELEVATION

whitewashed brick wall base and columns

Jeld-Wen Aluminum Clad windows- split-fractional upper

blue/gray entry door

shake color

NATE FISCHER INTERIORS

Supporting Document 4: Site Photos



PROJECT SITE FRONT ELEVATION

33731 SHACKLETON ISLE



PROJECT SITE REAR ELEVATION

RECEIVED
FEB 19 2019
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



FRONT ELEVATION ADJACENT PROPERTY
33741 SHACKLETON ISLE



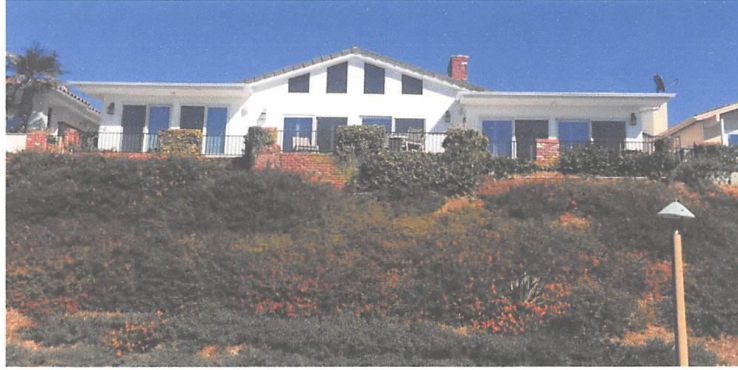
FRONT ELEVATION ADJACENT PROPERTY
33721 SHACKLETON ISLE



SIDE ELEVATION ADJACENT
33721 SHACKLETON ISLE



SIDE ELEVATION ADJACENT
33741 SHACKLETON ISLE



33701 MAGELLAN ISLE



33711 MAGELLAN ISLE



33725 MAGELLAN ISLE

DIRECTLY ACROSS SHACKLETON ISLE

ES1	EXISTING SURVEY
SP1	SITE PLAN / PRELIMINARY DRAINAGE PLAN
A1	NOT USED
A2	LOWER LEVEL FLOOR PLAN
A3	UPPER LEVEL FLOOR PLAN
A4	ROOF PLAN
A5	BUILDING SECTIONS
A6	EXTERIOR ELEVATIONS
A7	EXTERIOR ELEVATIONS

CONSULTANTS

ARCHITECT:	MICHAEL MASILOTTI ARCHITECTS 28213 VIA FIERRO LAGUNA HILLS, CA 92653 (949) 643-0948
STRUCTURAL ENGINEER:	N/A
SURVEY:	ROM SURVEYING INC. 23016 LAKE FOREST DR. #109 LAGUNA HILLS, CA 92653 (949) 858-7824
TITLE 24 ENGINEER:	N/A
SOILS ENGINEER:	N/A
LANDSCAPE ARCHITECT:	TIERRA GROUP LIBA PIERCE 6 SAN RICARDO RANCHO SANTA MARGURITA, CA 949 713 4333

LEGAL DESCRIPTION

LOT 36 TRACT 1156
APN 672 061 11

PROJECT DATA

PROJECT ADDRESS:	33731 SHACKLETON ISLE DANA POINT CA.
BUILDING TYPE:	V-N
OCCUPANCY:	R-3, U-1
NUMBER OF STORIES:	2
ZONE:	RSF-4 PRO-3

AREA CALCULATIONS

ALLOWABLE:	PROPOSED:
LOT AREA 8,482.5 s.f.	LOT AREA 8,482.5 s.f.
MAX. FOOTPRINT 3,811.3	FOOTPRINT 3,482
45%	41%

AREA		
LOWER LEVEL 2,841	GARAGE 635	
UPPER LEVEL 1,145	DECK 361	
4,986	PORCH 121	

BUILDING CODES

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA GREEN CODE
- 2016 C.R.C. CALIFORNIA RESIDENTIAL CODE
- 2016 C.P.C. CALIFORNIA PLUMBING CODE
- 2016 C.M.C. CALIFORNIA MECHANICAL CODE
- 2016 C.E.C. CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA ENERGY CODE
- CITY OF DANA POINT CODES AND ORDINANCES

CLIENT: MONT and ROBYN FLORA

PROJECT: 33731 SHACKLETON ISLE
DANA POINT CA. 92625

DATE: 4-22-19



25124 VIA CATALINA LAGUNA NIGUEL, CA. 949 491 3520

TITLE SHEET

TS.1

THE FLORA RESIDENCE

AT

33731 SHACKLETON ISLE

DANA POINT, CA.

DEFERRED SUBMITTALS

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE CITY BY THE SUBCONTRACTOR. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

1. AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE NEW AND EXISTING RESIDENCE AND GARAGE. SHOP DRAININGS SHALL BE PROVIDED BY THE SUBCONTRACTOR FOR REVIEW AND APPROVAL BY THE CITY PRIOR TO FABRICATION.
2. A SEPARATE LANDSCAPE PERMIT SUBMITTAL AND THIRD PARTY REVIEW ARE REQUIRED. THIS PROJECT WILL BE SUBJECT TO D.P.M.C. CHAPTER 359 WATER EFFICIENT LANDSCAPE STANDARDS AND REQUIREMENTS.

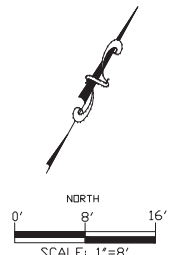
PROJECT INFORMATION TABLES

DESCRIPTION	ZONING STANDARDS			CONFORMS
	REQUIRED	EXISTING	PROPOSED	
USE	S.F.R.	S.F.R.	S.F.R.	YES
ZONE/PRD	RSF4/PRD3	RSF4/PRD3	RSF4/PRD3	YES
SPECIFIC PLAN	-	-	-	YES
LOT SIZE	8,700 SF.	8,482.5	8,482.5	YES
LOT WIDTH	50'	65'	65'	YES
LOT DEPTH	75'	130.5	130.5	YES
MAX. LOT COVERAGE	45%	-	41%	YES
MAX. BLDG. HEIGHT	24'	1/2- 18.75'	1/2- 21.5'	YES
LOT SLOPE %	-	-	-	-
MAX. # OF STORIES	2	2	2	YES
ROOF SLOPE	-	1/4":12	1/4":12	YES
FLOOR AREA RATIO	-	-	-	-
SETBACKS				
FRONT YARD	5' GAR. 20' HOUSE	4.2' G. 37.5' HOUSE	8.8' G. 39.1' HOUSE	YES
SIDE YARD LEFT	4.5'	4.5'	5'	YES
SIDE YARD RIGHT	5'	5'	5'	YES
REAR YARD	15'	40.5'	43.4'	YES
OPEN SPACE	-	-	-	-
LANDSCAPE AREA	25% MIN.	-	5,086 59%	YES
IRRIGATED LANDSCAPE AREA	-	-	2,351 27.7%	YES
PARKING	3 CAR GARAGE	3 CAR GARAGE	3 CAR GARAGE	YES

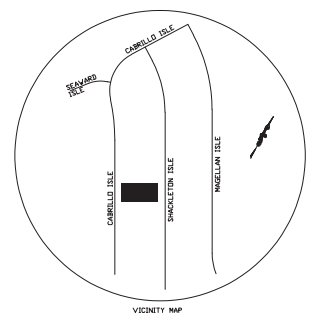
DESCRIPTION	PROJECT DATA			REMODEL
	EXISTING	PROPOSED	TOTAL	
FLOOR AREA				
LOWER LEVEL	-	2,841	2,841	0
UPPER LEVEL	-	1,145	1,145	0
TOTAL LIVING AREA	3,985	4,986	4,986	0
GARAGE AREA	580	635	635	0
GROSS FLOOR AREA	4,565	5,221	5,221	0
ELEVATED DECK/TERRACE	40	361	361	0

IMPERVIOUS SURFACES	LOT AREA		% OF LOT AREA	
	EXISTING	PROPOSED	EXISTING	PROPOSED
STRUCTURE	-	3,482	-	41%
HARDSCAPE WITH DRIVEWAY	-	2,630	-	31%
TOTAL	-	6,112	-	72%

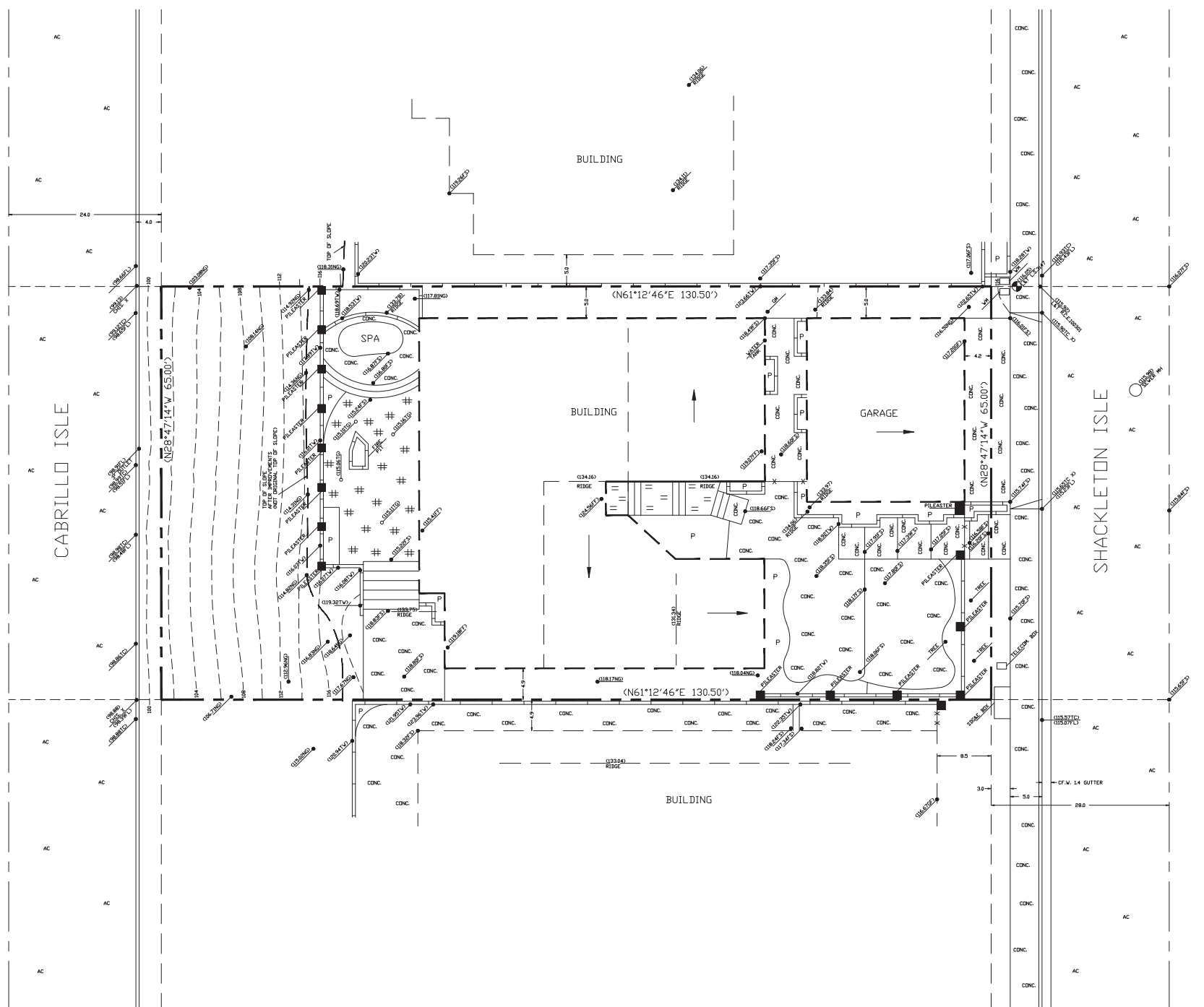
DEMOLITION (LIN. FT.)	EXISTING			REMOVED	REMAINING	DEMO TOTAL %
	EXISTING	PROPOSED	TOTAL			
EXTERIOR WALLS	-	-	-	-	-	100%
INTERIOR WALLS	-	-	-	-	-	100%
TOTAL WALLS	-	-	-	-	-	100%



NOTE: RECORD EASEMENTS ARE NOT PLOTTED IF ANY.



LEGEND	
SYMBOL	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
=	DECK
#	BRICK
---	WALL
---	BUILDING
---	PROPERTY LINE
---	FENCE
⊕	BENCH MARK
⊙	NATURAL GRADE
⊙	POWER POLE
⊙	WATER METER
F.F.	FINISH FLOOR
G.F.	GARAGE FLOOR
CONC.	CONCRETE
F.S.	FINISH SURFACE
M.H.	MAN-HOLE
P	PLANTER
A.C.	ASPHALT
T.G.	TOP-GRADE



RdM SURVEYING INC.
 RON MIEDEMA L.S. 4653
 23016 LAKE FOREST DR. #409
 LAGUNA HILLS, CA 92653
 (949) 858-2924 OFFICE
 (949) 858-3438 FAX
 RDMSURVEYING@COX.NET

TOPOGRAPHIC SURVEY
 JOB: 68-77 DATE: 9/20/18

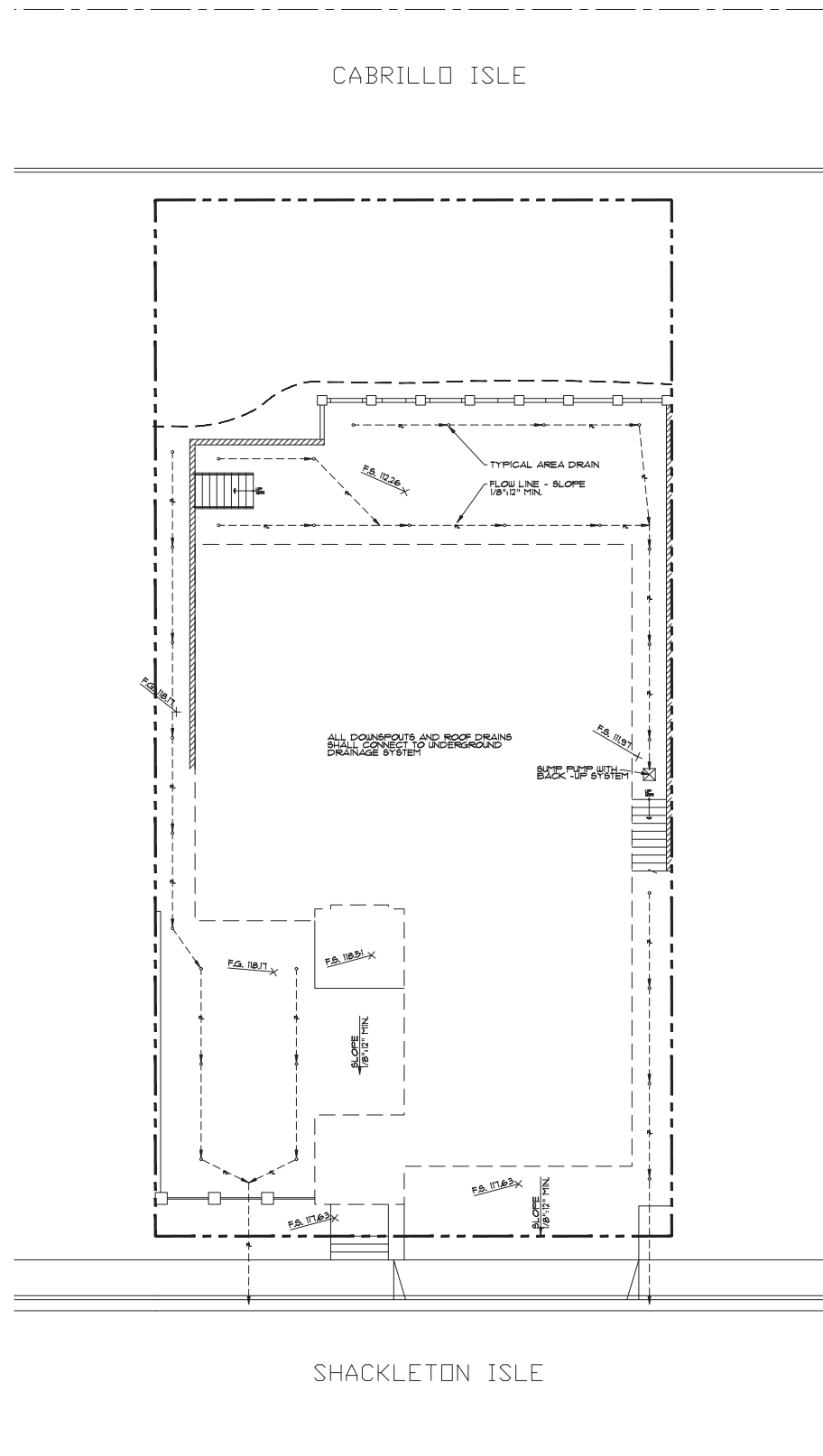
OWNER:
 MONT FLORA

LEGAL DESCRIPTION:
 LDT 36 OF TRACT MAP NO. 7156

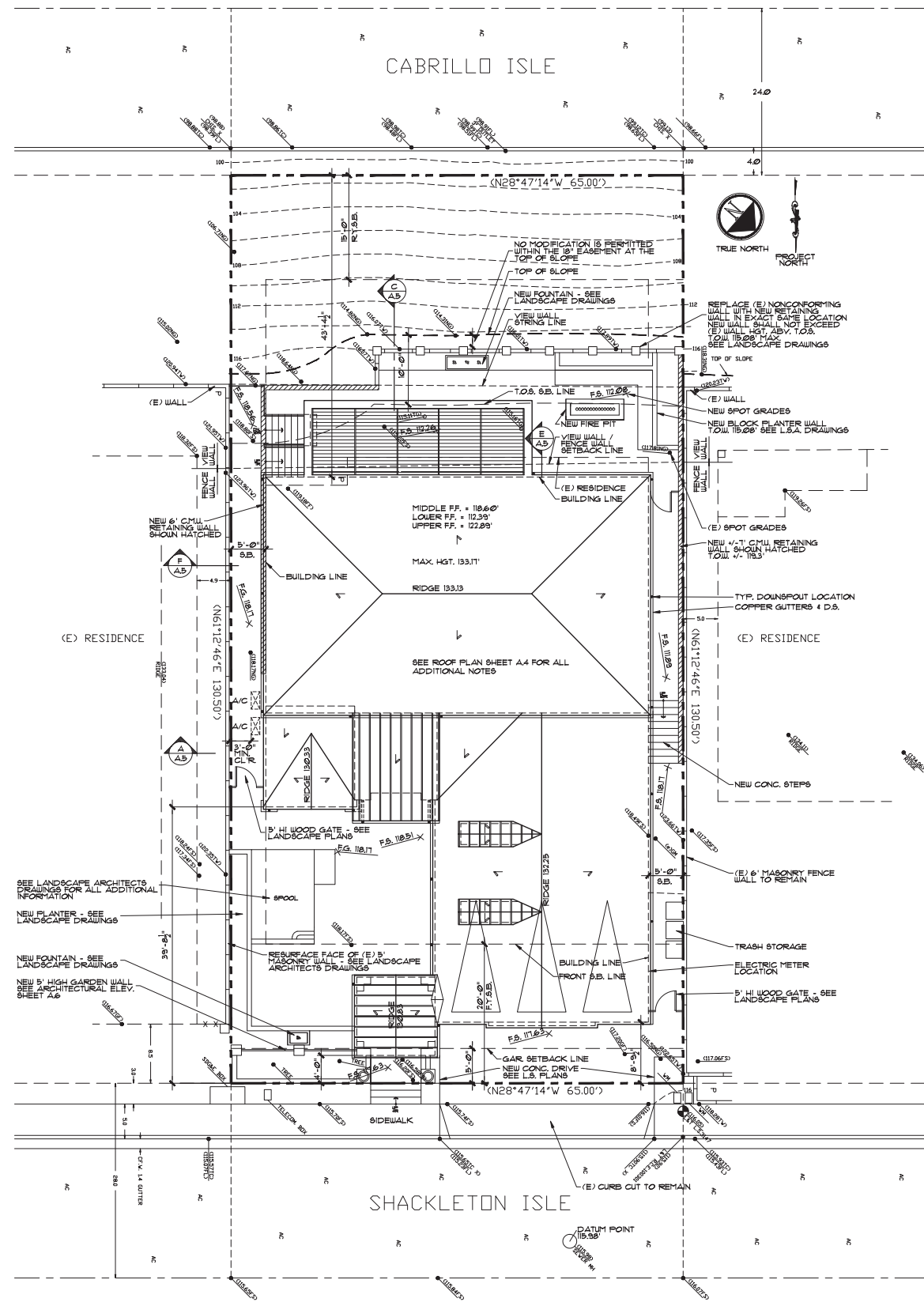
BENCH MARK:
 LEAD AND TAG ELEVATION= 116.05

ADDRESS OF PROJECT:
 33731 SHACKLETON ISLE
 DANA POINT, CA
 EXISTING SURVEY

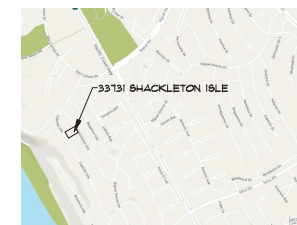
ES.1



PRELIMINARY DRAINAGE PLAN
SCALE: 1/8" = 1'-0"



SITE PLAN
SCALE: 1/8" = 1'-0"



VICINITY MAP

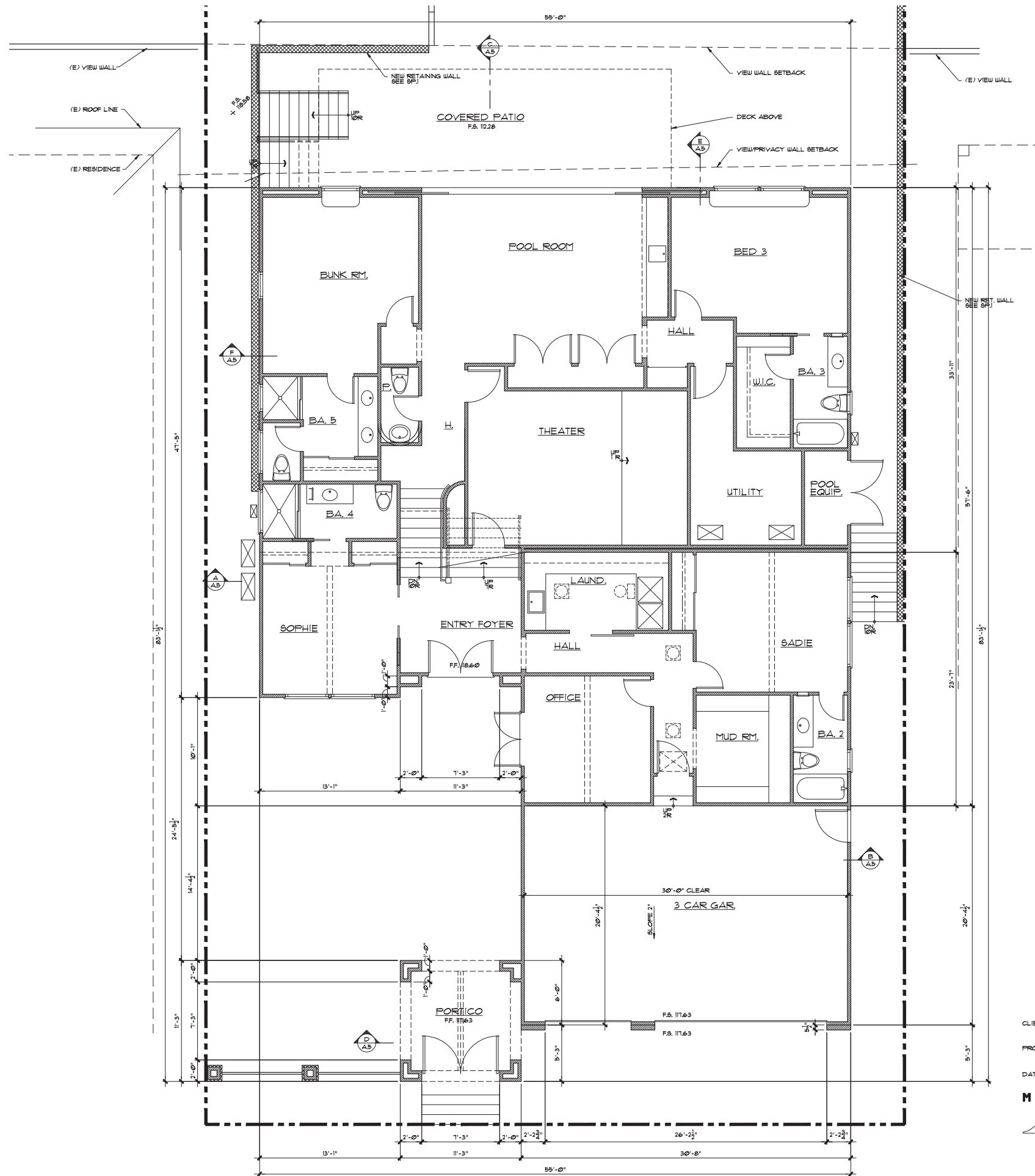
CLIENT: MONT and ROBYN FLORA
PROJECT: 33731 SHACKLETON ISLE
DANA POINT CA. 92629
DATE: 4-22-19



25124 VIA CATALINA LAGUNA NIGUEL, CA. 949 491 3520

SITE PLAN

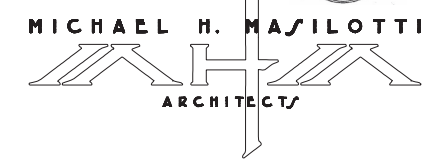
SP.1



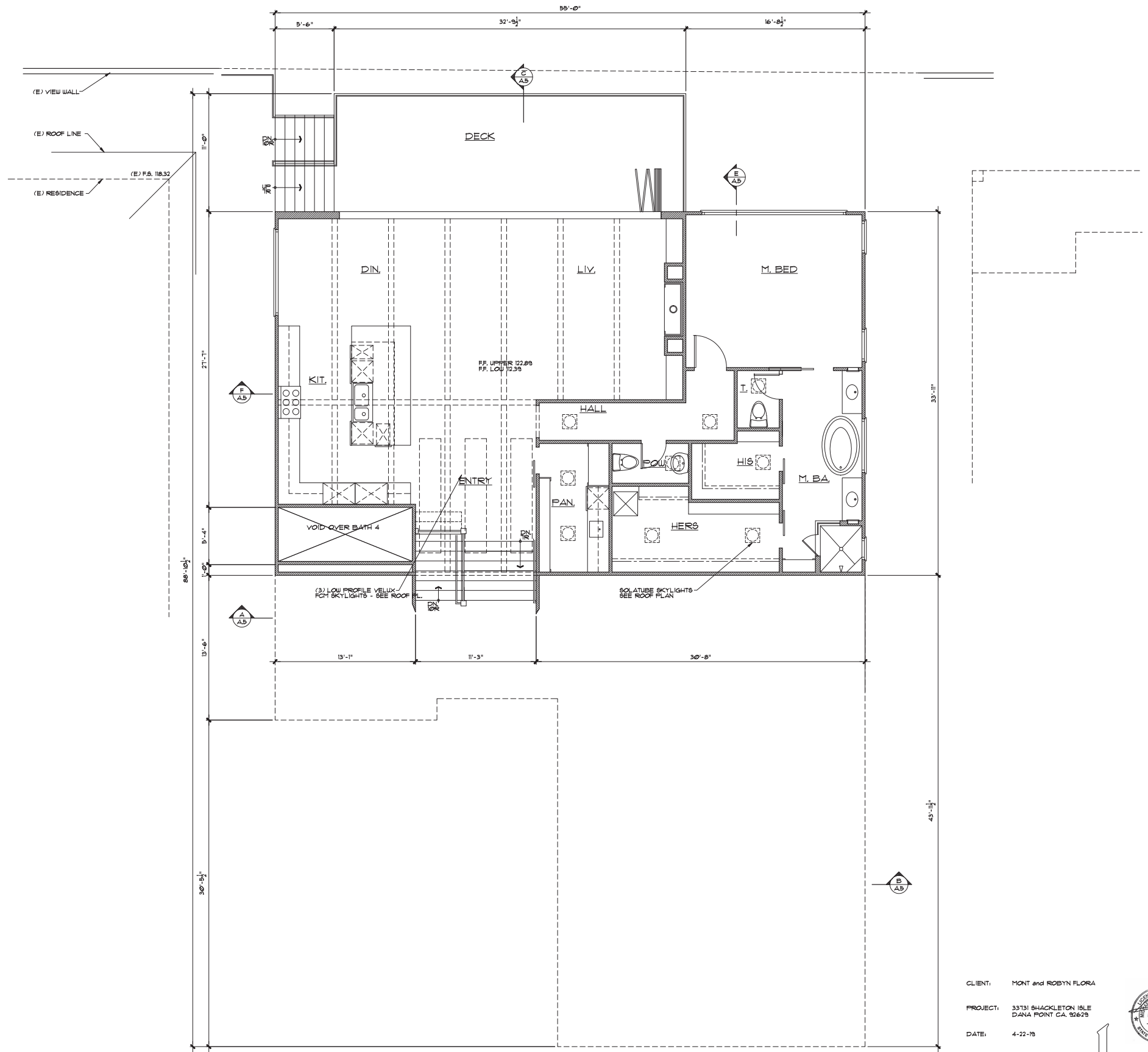
LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

CLIENT: MONT and ROBYN FLORA
 PROJECT: 33731 SHACKLETON ISLE
 DANA POINT CA. 92625
 DATE: 4-22-15



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UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

CLIENT: MONT and ROBYN FLORA
 PROJECT: 33731 BHACKLETON ISLE
 DANA POINT CA. 92629
 DATE: 4-22-19

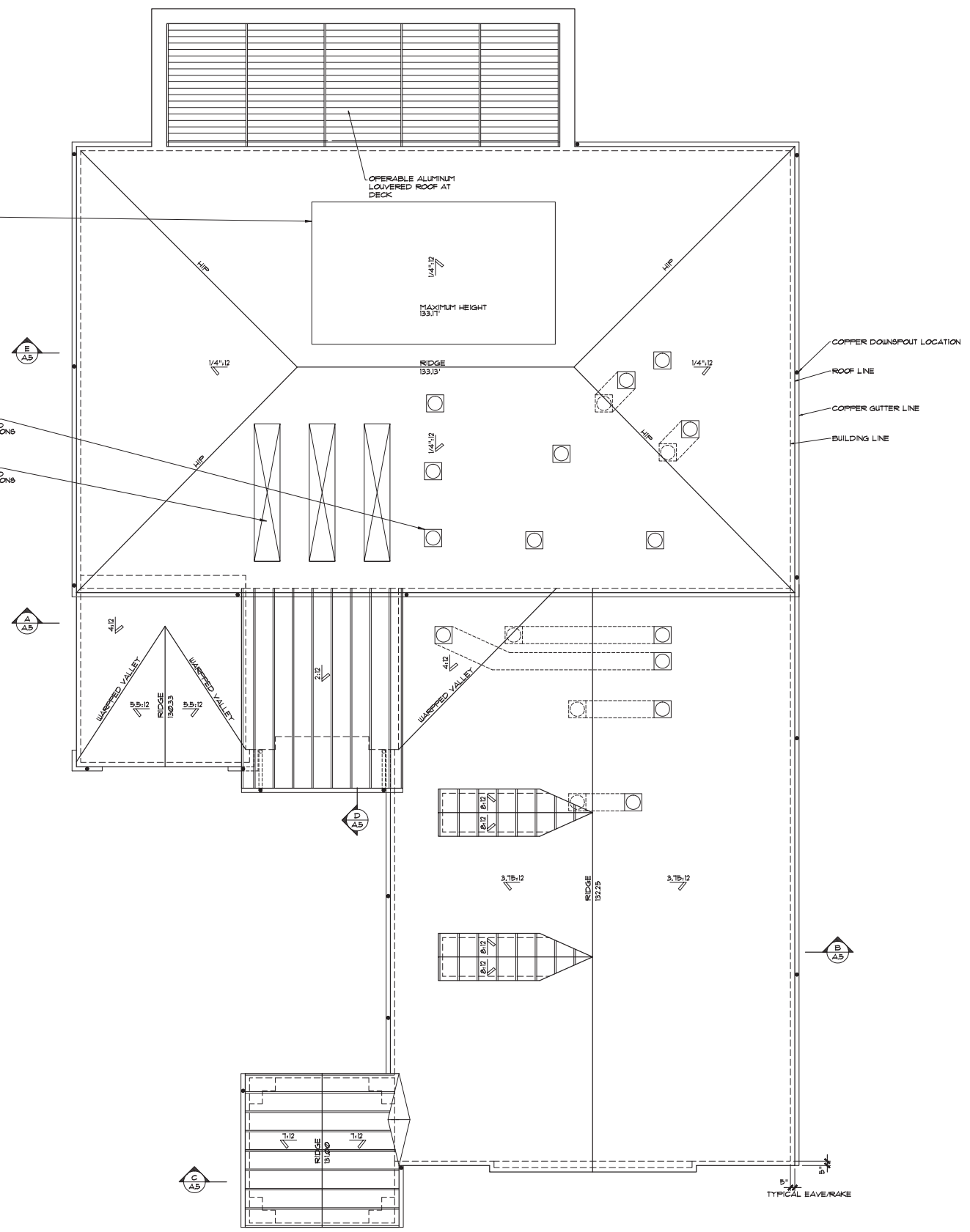
MICHAEL H. MASILOTTI
 ARCHITECTS

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RE-USE (E) PHOTOVOLTAIC ARRAY CONTRACTOR TO COORDINATE SIZE AND LOCATION WITH ARCHITECT, SUPPLIER AND UTILITY.
 ALL SOLAR PANELS SHALL COMPLY WITH THE FOLLOWING:
 1. THE WIRING WILL BE HOUSED IN CONDUIT PAINTED TO MATCH THE ADJACENT SURFACE.
 2. THE FRAME OF THE SOLAR ARRAY IS TO BE DARK IN COLOR NOT A CLEAR ANODIZED ALUMINUM.
 3. ANY EQUIPMENT OTHER THAN THE INVERTER IS TO BE HOUSED INSIDE OR SCREENED FROM THE STREET AND ADJACENT PROPERTIES.
 4. THE SOLAR SYSTEM SHALL BE INSTALLED FLUSH OR PARALLEL TO THE ROOF.

NEW SOLAR TUBE SKYLIGHT LOCATIONS SOLAR TUBES TO BE INSTALLED WITH DARK FRAMES AND SHALL NOT EXTEND ABOVE 133.7 FT. MAX. HGT. - SEE ELEVATIONS

(3) LOW PROFILE VELUX SKYLIGHT LOCATIONS - TO BE INSTALLED WITH DARK FRAMES AND SHALL NOT EXTEND ABOVE 133.7 FT. MAX. HGT. - SEE ELEVATIONS



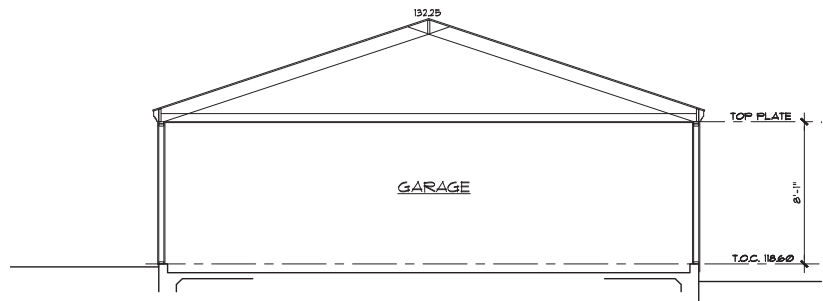
ROOF PLAN
 SCALE: 1/4" = 1'-0"

CLIENT: MONT and ROBYN FLORA
 PROJECT: 33731 BHACKLETON ISLE DANA POINT CA. 92629
 DATE: 4-22-19

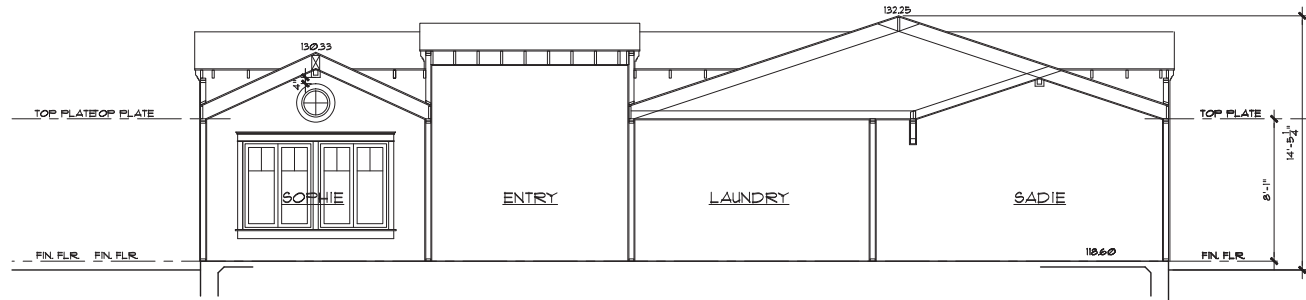
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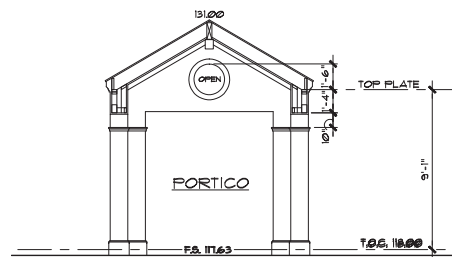
ROOF PLAN A.4



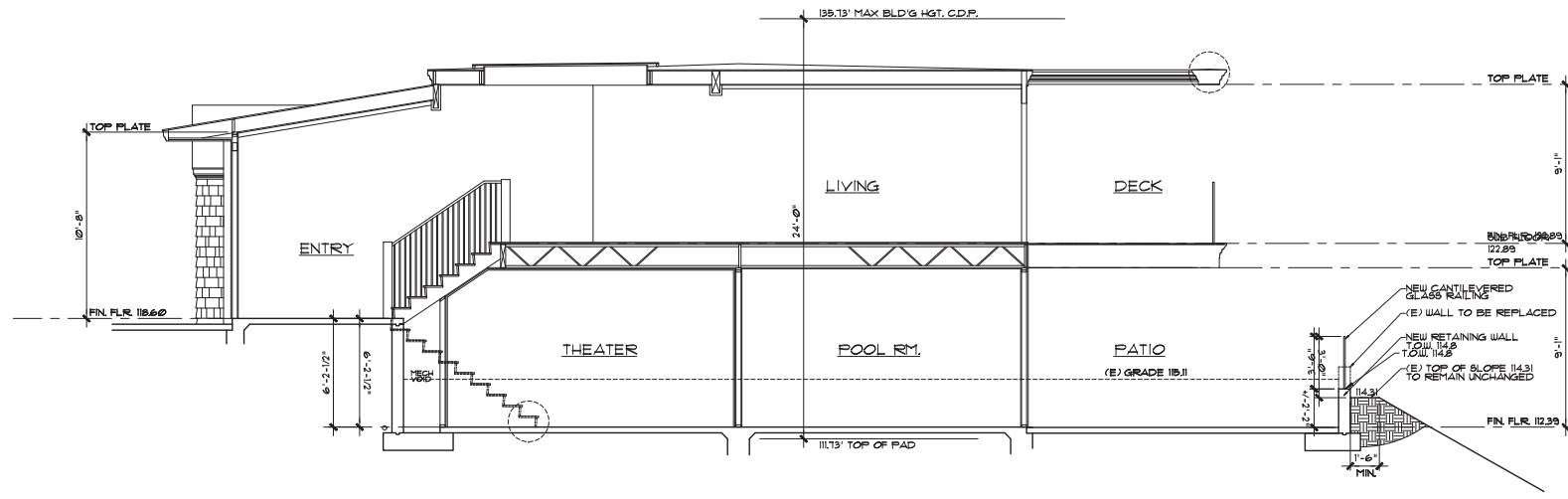
SECTION B
SCALE: 1/4" = 1'-0"



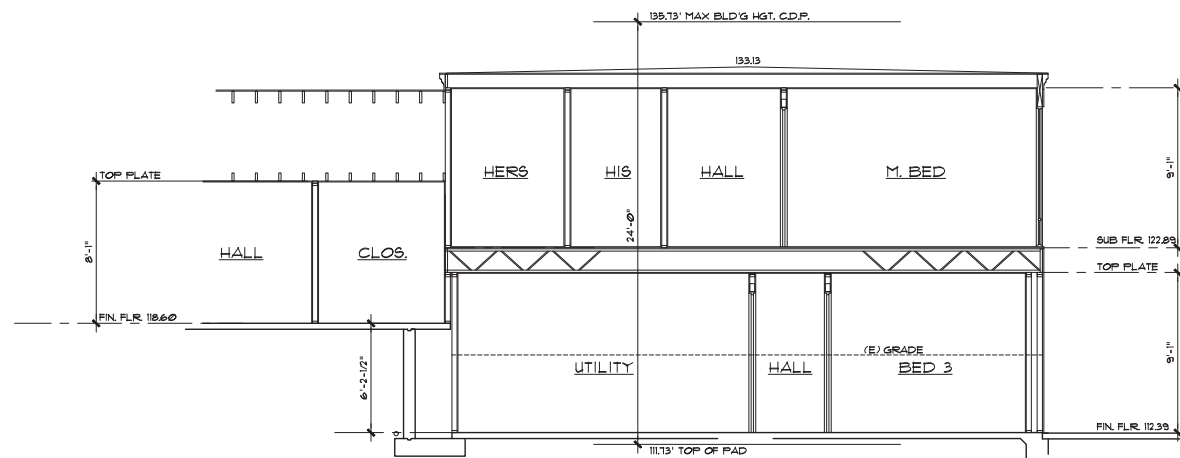
SECTION A
SCALE: 1/4" = 1'-0"



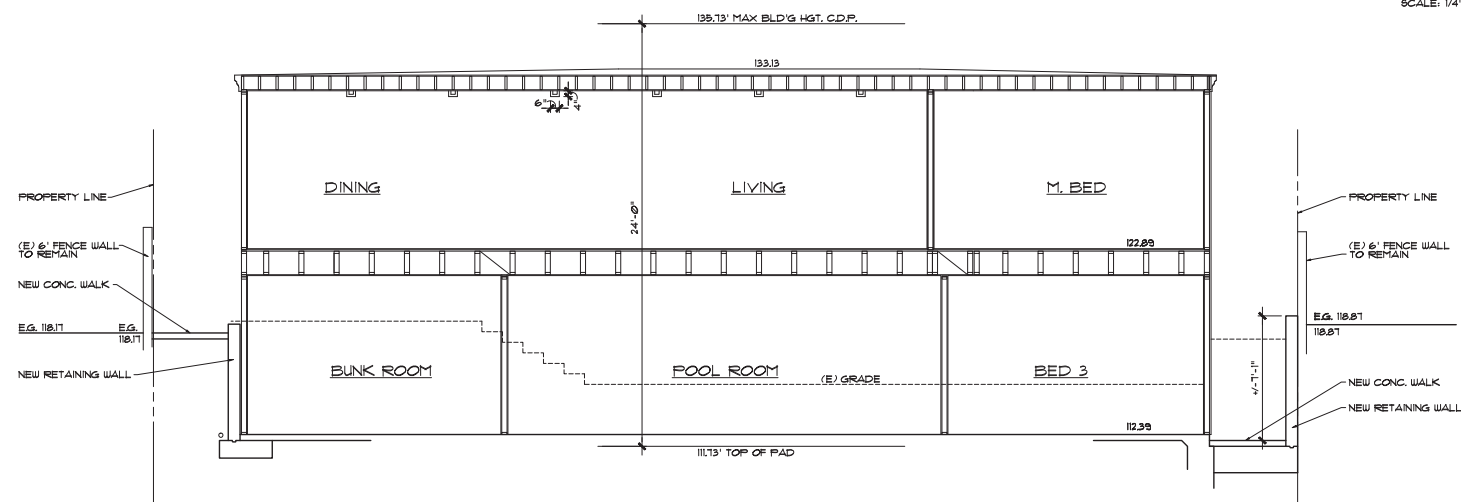
SECTION D
SCALE: 1/4" = 1'-0"



SECTION C
SCALE: 1/4" = 1'-0"



SECTION E
SCALE: 1/4" = 1'-0"



SECTION F
SCALE: 1/4" = 1'-0"

CLIENT: MONT and ROBYN FLORA
PROJECT: 33731 SHACKLETON ISLE
DANA POINT CA. 92625
DATE: 4-22-15



MICHAEL H. MASILOTTI
ARCHITECTS

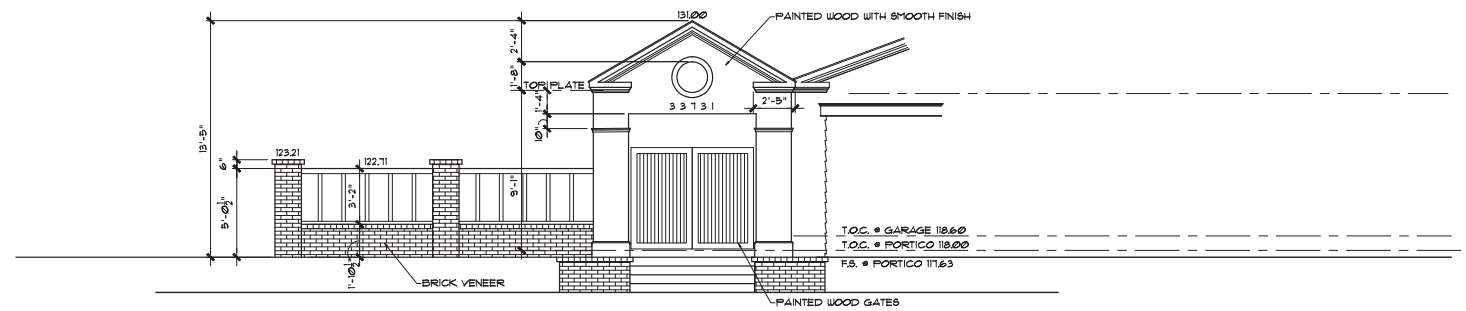
25124 VIA CATALINA LAGUNA NIGUEL, CA. 949 491 3520

BUILDING SECTIONS

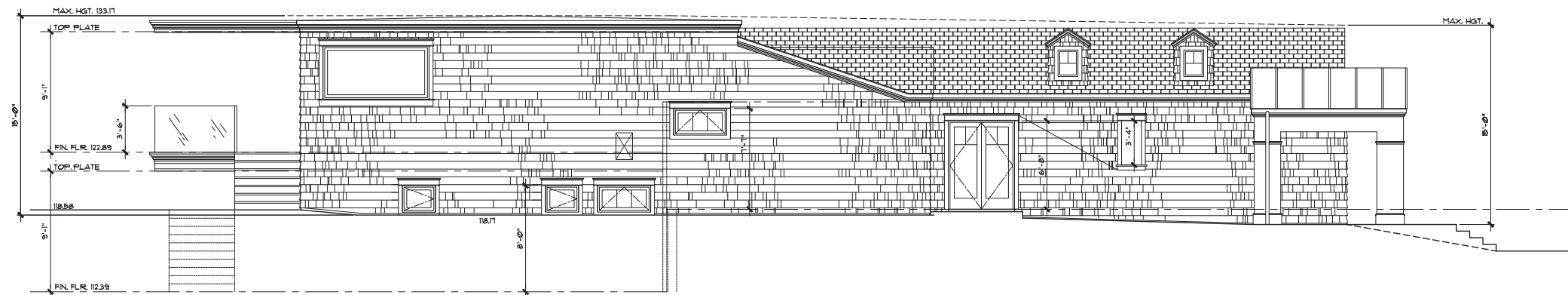
A.5



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PORTICO AND FENCE WALL ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

CLIENT: MONT and ROBYN FLORA
PROJECT: 33731 BHACKLETON ISLE
DANA POINT CA. 92625
DATE: 4-22-15

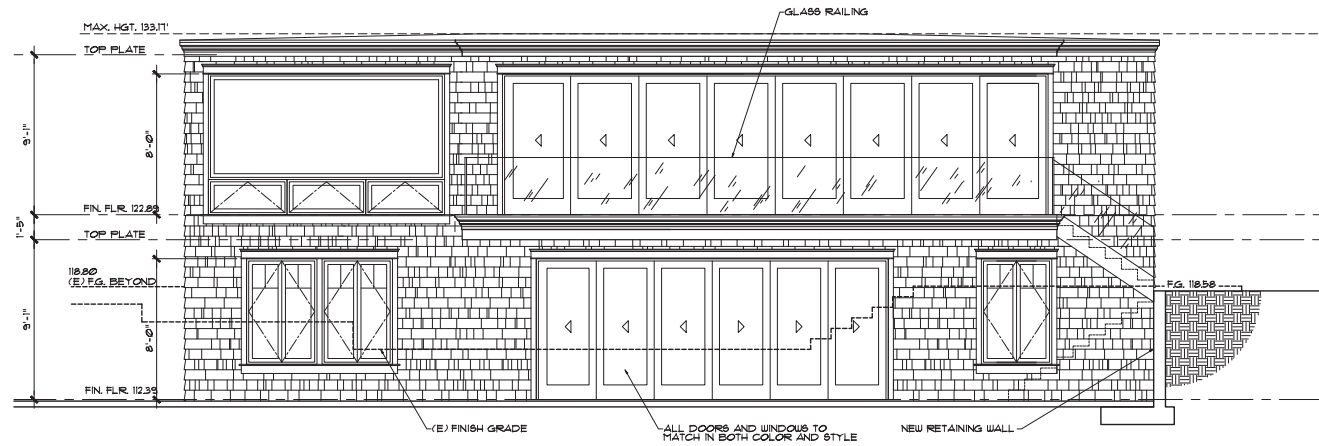


MICHAEL H. MASILOTTI
ARCHITECTS

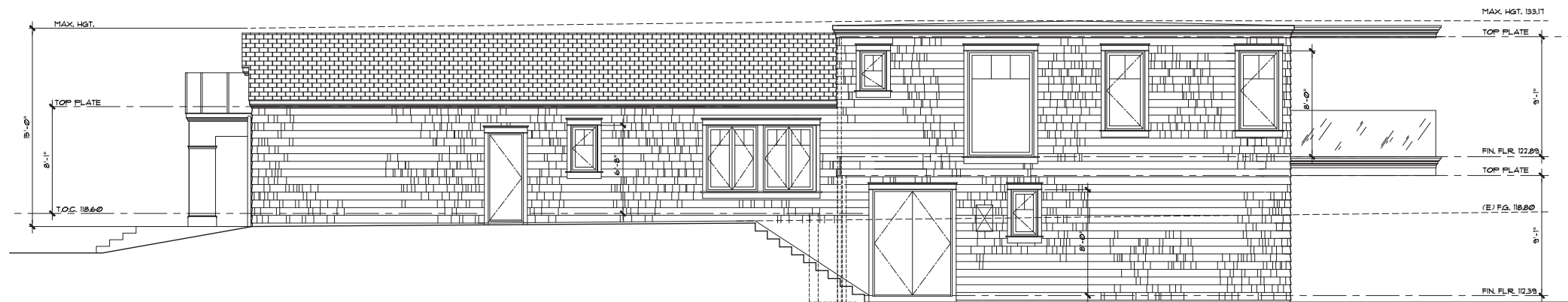
25124 VIA CATALINA LAGUNA NIGUEL, CA. 949 491 3520

EXTERIOR ELEVATIONS

A.6



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

CLIENT: MONT and ROBYN FLORA

PROJECT: 33731 BHACKLETON ISLE
DANA POINT CA. 92629

DATE: 4-22-19



MICHAEL H. MASILOTTI
ARCHITECTS

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EXTERIOR ELEVATIONS



CONSTRUCTION LEGEND

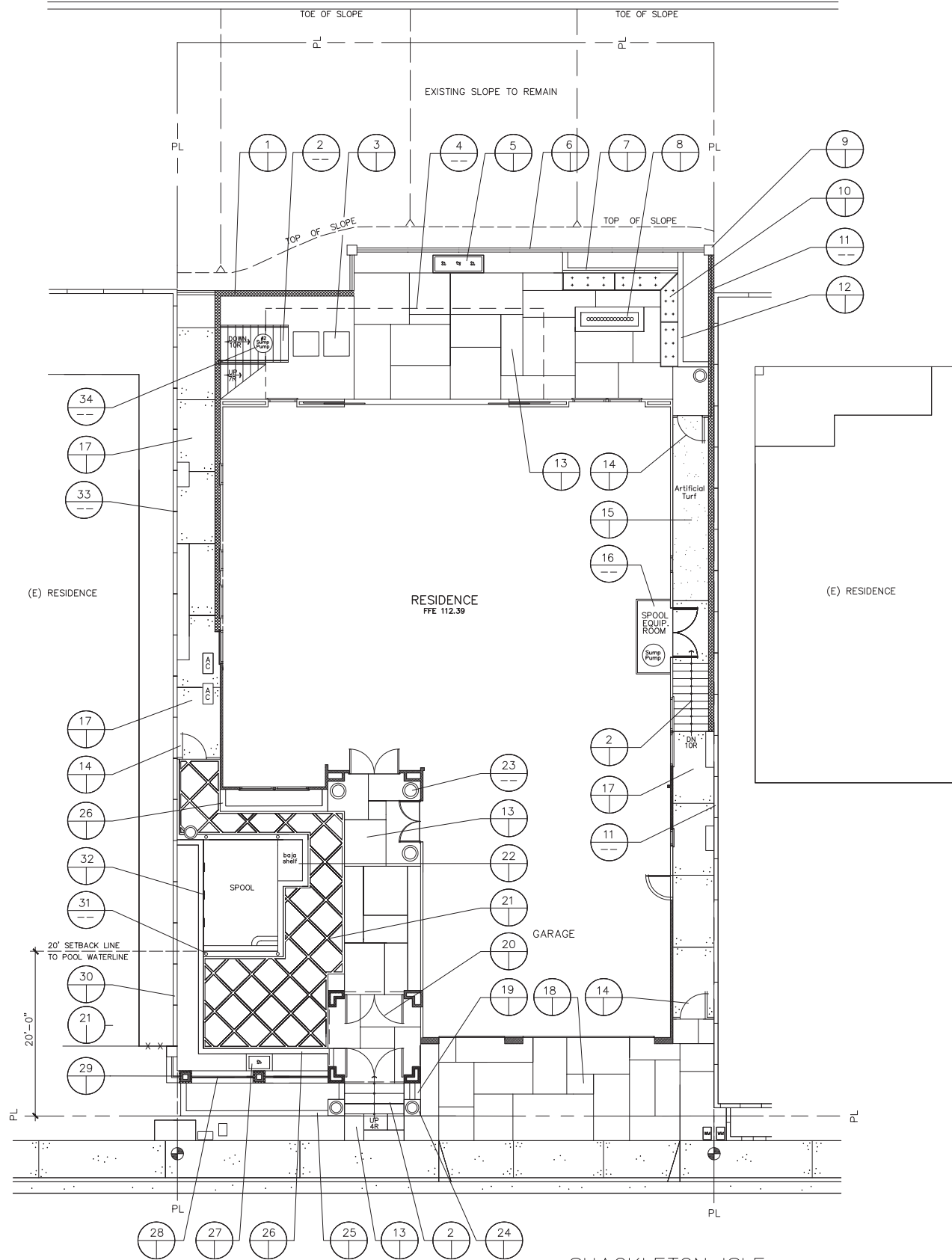
- 1 CONCRETE BLOCK RETAINING WALL - SMOOTH STUCCO FINISH & FORMED CAP. COLOR TO BE 'CLOUD GRAY' BY OMEGA PRODUCTS INTERNATIONAL. SEE STRUCTURAL PLAN FOR WALL DESIGN AND EXACT HEIGHT.
- 2 COLORED CONCRETE STEPS 'PEWTER' OR 'SILVERSMOKE' BY DAVIS COLORS - WASHED FINISH TO MATCH PAVING. SLIGHT CANTILEVER & SQUARED EDGE. SEE GRADING PLAN FOR EXACT NUMBER. **
- 3 3'x3' COLORED CONCRETE PADS - COLOR AND TEXTURE TO MATCH ADJACENT PAVING - SEE CALLOUT #2. **
- 4 LIMIT OF BALCONY ABOVE. SEE ARCHITECTURAL AND STRUCTURAL PLANS.
- 5 12" HT. CONCRETE BLOCK FOUNTAIN WALL - BRICK VENEER 'CHALKDUST' OR 'ASHLAND' (OR MIX OF BOTH) W/MEDIUM GRAY CANTILEVER PRECAST CAP. *** HEIGHT NOT TO EXCEED NEW STUCCO WALL AT TOP OF SLOPE. ALLOW FOR WATER CONNECTION.
- 6 REMOVE EXISTING BRICK WALL & GLASS SCREEN. REPLACE WITH 12" HT. CONCRETE BLOCK WALL - SMOOTH STUCCO FINISH & 'MEDIUM GRAY' PRECAST CAP W/NEW 4'-0" HT. GLASS SCREEN. SEE CALLOUT #1. BOTH HEIGHTS TO MATCH EXISTING.
- 7 16" HT. CONCRETE BLOCK WALL SEATWALL - SMOOTH STUCCO FINISH. SEE CALLOUT #1. ATOP THIS WALL TO BE 24" HT. CEDAR HORIZONTAL PLANKS - 4" WIDE & 2" GAP BETWEEN EACH. LIGHT NATURAL COLOR/FINISH TO MATCH SIDEYARD GATES.
- 8 12" HT. CONCRETE BLOCK GAS FIREPIT - BRICK VENEER ALL SIDES + COLORED 'MEDIUM GRAY' PRECAST CAP. SEE CALLOUT #5. STONE FIRE BALLS PER OWNER'S SELECTION. ALLOW FOR GAS CONNECTION. ***
- 9 (2) NEW CONCRETE BLOCK PILASTERS - SMOOTH STUCCO FINISH & 'MEDIUM GRAY' PRECAST CONCRETE CAP. HEIGHT TO MATCH EXISTING.
- 10 18" HT. x 24" WIDE BUILT-IN CONCRETE SEATING - SMOOTH PLASTER FINISH (ON HORIZONTAL SEAT) WITH BRICK VENEER FACE. SEE CALLOUT #5. *** DECORATIVE CUSHIONS AND PILLOWS PER OWNER.
- 11 EXISTING PROPERTY LINE TO REMAIN. REMOVE EXISTING WROUGHT IRON FENCING AND REPLACE WITH GLASS SCREEN TO MATCH NEW GLASS SCREEN ALONG TOP OF REAR SLOPE. HEIGHT TO MATCH EXISTING. RESURFACE INSIDE FACE OF WALL STUCCO FINISH TO MATCH ADJACENT, NEW WALLS. SEE CALLOUT #1. EXISTING CAP TO REMAIN. SEE GRADING PLAN FOR HEIGHT.
- 12 3'-0" HT. CONCRETE BLOCK RETAINING WALL - SMOOTH STUCCO FINISH 'CLOUD GRAY' + 'MEDIUM GRAY' PRECAST CONCRETE CAP.
- 13 4" DEEP COLORED CONCRETE PAVING 'PEWTER' OR 'SILVERSMOKE' BY DAVIS COLORS - WASHED FINISH. HAND-TROWELED JOINTS AS SHOWN. **
- 14 6'-0" HT. DECORATIVE CEDAR WOOD GATE - NATURAL LIGHT COLOR.
- 15 ARTIFICIAL TURF PER OWNER'S SELECTION/HOA APPROVAL. INSTALLED PER MANUFACTURER SPECIFICATIONS.
- 16 ENCLOSED POOL EQUIPMENT AND SUMP PUMP. ALLOW FOR PROPER DRAINAGE.
- 17 COLORED CONCRETE PAVING 'PEWTER' OR 'SILVERSMOKE' BY DAVIS COLORS - WASHED FINISH. EXPANSION JOINTS AS SHOWN.
- 18 6" DEEP COLORED CONCRETE PAVING AT DRIVEWAY 'PEWTER' OR 'SILVERSMOKE' BY DAVIS COLORS - WASHED FINISH. HAND-TROWELED JOINTS AS SHOWN. **
- 19 24" HT. CONCRETE BLOCK RETAINING WALL - BRICK VENEER FACE + 'MEDIUM GRAY' PRECAST CAP. SEE CALLOUT #5. WALLS TO BE LOCATED BOTH SIDES OF STEPS ***
- 20 DOUBLE 6'-0" HT. DECORATIVE CEDAR ENTRY DOORS - NATURAL LIGHT COLOR.
- 21 3'x3' COLORED CONCRETE PADS 'PEWTER' OR 'SILVERSMOKE' BY DAVIS COLORS - WASHED FINISH. 3" WIDE ARTIFICIAL TURF BANDING ON 45 DEGREE DIAGONAL WIDE AS SHOWN. **
- 22 3'x5' PEBBLETEC SHALLOW 'BAJA SHELF' SECTION OF SPOOL.
- 23 DECORATIVE POTS PER OWNER'S SELECTION - TOTAL 7. ALLOW FOR DRAINAGE AND DRIP IRRIGATION.
- 24 (2) 20" HT. PEDESTAL PILASTERS AT ENTRY STEPS W/BRICK VENEER (ALL SIDES) & 'MEDIUM GRAY' CANTILEVER PRECAST CAP. SEE CALLOUT #5. ALLOW FOR DRAINAGE AND DRIP IRRIGATION TO ACCOMMODATE DECORATIVE POTS. ***
- 25 18" HT. CONCRETE BLOCK RETAINING WALL W/BRICK VENEER & 'MEDIUM GRAY' PRECAST CAP. SEE CALLOUT #5. ***
- 26 18" HT. CONCRETE BLOCK RETAINING WALL W/BRICK VENEER & 'MEDIUM GRAY' PRECAST CAP. SEE CALLOUT #5. WATERPROOF ADJACENT WALL OR HOUSE (WHERE SOIL IS IN CONTACT) AS APPLICABLE. ***
- 27 PREFABRICATED FOUNTAIN PER OWNER'S SELECTION OR BUILT-IN CONCRETE BLOCK FOUNTAIN WALL W/BRICK VENEER. SEE CALLOUT #5. ALLOW FOR WATER & ELECTRICAL CONNECTIONS. HEIGHT NOT TO EXCEED HEIGHT OF COURTYARD WALL. ***
- 28 12" HT. CONCRETE BLOCK WALL (HEIGHT TO MATCH EXISTING DEMOLISHED WALL) - SEE CALLOUT #1. 5'-0" HT. BOARD AND BATTEN SIDING (PAINTED WHITE) ATOP NEW 12" HT. LOW WALL REPLACING EXISTING FENCING.
- 29 (2) NEW CONCRETE BLOCK PILASTERS - HEIGHT TO MATCH EXISTING. BRICK VENEER (ALL SIDES) & 'MEDIUM GRAY' CANTILEVER PRECAST CAP. ***
- 30 REMOVE EXISTING WOOD FENCING INSIDE PROPERTY LINE. RESURFACE EXISTING WALL BEHIND THIS FENCE. SMOOTH STUCCO FINISH & COLOR - SEE CALLOUT #1. EXISTING CAP TO REMAIN.
- 31 ARCHING WATER SPOUTS INTO POOL LOCATED AT COPING CORNERS AS SHOWN. EXACT TOTAL AND LOCATIONS TO BE DETERMINED.
- 32 9'x18' PEBBLETEC SPOOL WITH 'MEDIUM GRAY' CANTILEVER PRECAST CONCRETE COPING - SQUARED EDGE. (3) WEIR SPILLWAYS INTO SPOOL CENTERED ON RAISED BOND-BEAM/RETAINING WALL.
- 33 EXISTING WALL TO REMAIN. RESURFACE INSIDE FACE - SMOOTH STUCCO FINISH & COLOR - SEE CALLOUT #1. EXISTING CAP TO REMAIN. SEE GRADING PLAN FOR HEIGHT.
- 34 SECONDARY SUMP PUMP LOCATION UNDER ENCLOSED STAIRCASE - SMOOTH STUCCO FINISH. SEE CALLOUT #1. ALLOW FOR DRAINAGE AND ACCESS.

- ** OPTION FOR COLORED CONCRETE PAVING TO BE 'LIGHT OR DARK GRAY' SLATE PAVING BY THOMPSON'S BUILDING MATERIALS.
- *** OPTION FOR BRICK VENEER ON WALLS/PILASTERS TO BE STACKED STONE VENEER - 'PLAZA GRAY RUBBLE' AND 'MEDIUM GRAY' PRECAST CONCRETE CAP. AVAILABLE AT THOMPSON'S BUILDING MATERIALS.

CONSTRUCTION NOTES

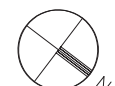
- * THE TOP 12" MINIMUM OF ALL LANDSCAPE AREAS SHALL BE AMENDED TOP SOIL. SEE PLANTING NOTES/SPECS.
- * ALL CONCRETE SHALL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2000 P.S.I. AT 28 DAYS.
- * ALL CONSTRUCTION IS TO BE PLUMB AND TRUE UNLESS OTHERWISE NOTED OR INDICATED.
- * VERIFY WITH THE SOILS ENGINEER THE NEED FOR ADDITIONAL REINFORCING BASE MATERIAL, PRESATURATION, ETC. FOR ALL PAVING AND WALLS.
- * ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES.
- * WHEREVER THE PLANS VARY FROM THOSE CODES AND/OR ORDINANCES THE CONTRACTOR SHALL FOLLOW THE PLANS AS LONG AS THEY MEET OR EXCEED THOSE CODES AND/OR ORDINANCES. IF THE PLANS DO NOT MEET CODE, THEN CODE SHALL BE FOLLOWED.
- * PAVING AND CONCRETE CONTRACTORS ARE TO COOPERATE AND COORDINATE WITH THE ELECTRICAL & IRRIGATION CONTRACTORS FOR ALL REQUIRED SLEEVES, PIPES, CONDUITS, ETC., UNDER ALL PAVING.
- * CONTRACTOR SHALL ALLOW AT LEAST 6-8 WEEKS TIME FROM PLACEMENT OF ORDER UNTIL DELIVERY ON ANY SPECIFIED ITEMS.
- * REFER TO ENGINEERING PLANS FOR ALL VERTICAL DIFFERENTIALS, GRADES, AND DRAINAGE.
- * ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER/BUILDER OR HIS REPRESENTATIVE & LANDSCAPE ARCHITECT.
- * WRITTEN DIMENSIONS & DETAILS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- * ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE.
- * ALL FOOTINGS FOR ALL WALLS SHALL HAVE #4 REBAR AND SHALL BE MONOLITHIC POUR. SEE GRADING PLAN FOR ANY WALLS OVER 3' HT.
- * ALL SUPPORT FOOTINGS FOR ALL HARDSCAPE SHALL BE #3 REBAR SPACED AT 18" O.C. IN BOTH DIRECTIONS.

CABRILLO ISLE



SHACKLETON ISLE

NOTE
THIS PROJECT WILL BE SUBJECT TO DPMC CHAPTER 9.55 WATER EFFICIENT LANDSCAPE STANDARDS AND REQUIREMENTS.



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Landscape Architecture / Planning
California Licensed Landscape Architect # 3388

REVISED
PRELIMINARY
CONSTRUCTION PLAN

LANDSCAPE ARCHITECTURAL PLANS FOR:
FLORA RESIDENCE
33731 SHACKLETON ISLE
DANA POINT, CALIFORNIA 92629



DRAWN BY: LP
PLOT DATE: 4/23/19
SCALE: 1/8"=1'-0"

SHEET
L-1
OF 3

PLANT LEGEND

SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QUANTITY	SIZE	H ₂ O USE	SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QUANTITY	SIZE	H ₂ O USE
TREES											
	CUP ANA	CUPANOPSIS ANACARDIODES / CARROTWOOD TREE (Upright Multi-Trunked)	1	24" BOX	M		HED HEL	HEDERA HELIX / ENGLISH IVY (Remove from stake and train against wall on strung wire - at 45 degree diagonal pattern at 24" o.c.)	2	5 GALLON	M
	MAG LG	MAGNOLIA 'LITTLE GEM' / LITTLE GEM MAGNOLIA	2	24" BOX	M		TRA JAS	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE (Lean against wall on trellis support)	5	5 GALLON	M
SHRUBS											
	AEU URB	AEONIUM URBIUM 'GREEN' / GREEN AEONIUM	41	1 GALLON	L	GROUND COVERS					
	AEU BM	AEONIUM 'BRONZE METAL' / BRONZE AEONIUM	8	1 GALLON	L		OPH JAP	OPHIPOGON JAP. 'COMPACTA' / DWARF MONDO GRASS (in sideyard planter pockets)	FLATS	8" OC	M
	AEU SUN	AEONIUM 'SUNBURST' / STRIPED AEONIUM	8	1 GALLON	L		SOL SOL	SOLEIROLIA SOLEIROLII / BABY'S TEARS (in sideyard planter pockets)	FLATS	6" OC	M
	AGA ATT	AGAVE ATTENUATA / FOXTAIL AGAVE	11	5 GALLON	L		DG or FINE MULCH	COMPACTED & SEALED DECOMPOSED GRANITE LOCATED THROUGHOUT SUCCULENT PLANTING AREAS. FINE MULCH LOCATED THROUGHOUT SHRUB AREAS	-	-	-
	AGA BG	AGAVE 'BLUE GLOW' / BLUE GLOW AGAVE	3	5 GALLON	L	DECORATIVE POTS (quantities may vary depending on size & shape of pots)					
	ASP MEY	ASPARAGUS DENIS, 'MEYER' / MEYER ASPARAGUS FERN	7	5 GALLON	M		ALO VER	ALOE VERA / MEDICINAL ALOE	1	1 GAL	L
	ANI RV	ANIGOSANTHOS 'RUBY VELVET' / DK. RED KANGAROO PAWS	17	5 GALLON	M		ECH PVN	ECHEVERIA PERLE VON NURNBERG / LAVENDER ECHEVERIA	3	1 GAL	L
	AZA RB	AZALEA 'RED BIRD' / SUN-TOLERANT AZALEA	8	5 GALLON	M		AEU URB	AEONIUM URBIUM 'GREEN' / GREEN AEONIUM	2	1 GAL	L
	BUX GB	BUXUS JAP. 'GREEN BEAUTY' / BOXWOOD	48	5 GALLON	M		SED MOR	SEDUM MORGANIANUM / DONKEY TAIL	2	6" POT	L
	CAM JAP	CAMELLIA JAPONICA 'FORMAL WHITE' / WHITE CAMELLIA	2	5 GALLON	M		AEU SUN	AEONIUM 'SUNBURST' / STRIPED AEONIUM	2	1 GAL	L
	ECH PVN	ECHEVERIA PERLE VON NURNBERG / LAVENDER ECHEVERIA	31	1 GALLON	L		KAL THY	KALENCHOE THYRSIFLORA / PADDLE PLANT KALENCHOE	2	1 GAL	L
	ECH MS	ECHEVERIA ELEGANS 'MEXICAN SNOWBALL' / ECHEVERIA	30	1 GALLON	L		SED MOR	SEDUM MORGANIANUM / DONKEY TAIL	2	6" POT	L
	HYD MAC	HYDRANGEA MACROPHYLLA / GARDEN HYDRANGEA	3	15 GALLON	H		SEN CYL	SENECIO CYLINDRICUS / NARROW-LEAF CHALK STICK	1	1 GAL	L
	IMP WAL	IMPATIENS WALLERIANA (color per owner)	30	1 GALLON	H		IMP BAT	IPOMOEA B. 'SWEET CAROLINE' / LIGHT GREEN POTATO VINE	2	1 GAL	M
	IRI SPP.	IRIS SPECIES / BEARDED IRIS (color per owner)	8	1 GALLON	M		PHO DD	PHORMIUM 'DARK DELIGHT' / RED FLAX	1	1 GAL	M
	JUN BP	JUNIPERUS CHINENSIS 'BLUE POINT' / BLUE POINT JUNIPER	4	15 GALLON	M		SEN MAN	SENECIO MANDRALISCAE / BLUE CHALKSTICK	3	1 GAL	L
	KAL THY	KALENCHOE THYRSIFLORA / PADDLE PLANT KALENCHOE	5	1 GALLON	L		AEU BM	AEONIUM 'BRONZE METAL' / BRONZE AEONIUM	2	1 GAL	L
	LAV DEN	LAVANDULA DENTATA / SPANISH LAVENDER	6	5 GALLON	L		ECH PVN	ECHEVERIA PERLE VON NURNBERG / LAVENDER ECHEVERIA	3	1 GAL	L
	LIR MUS	LIRIOPE MUSCARI / LILY TURF	20	1 GALLON	M		KAL THY	KALENCHOE THYRSIFLORA / PADDLE PLANT KALENCHOE	2	1 GAL	L
	PHO DD	PHORMIUM 'DARK DELIGHT' / RED FLAX	4	15 GALLON	M		SEN FH	SENECIO 'FISH HOOK' / FISH HOOK SENECIO	1	1 GAL	L
	PIT CDM	PITTOSPORUM 'CREAM DE MINT' / DWARF MOCK ORANGE	10	5 GALLON	M						
	ROS FLO	ROSA FLORIBUNDA 'ICEBERG' / WHITE ICEBERG ROSE	11	5 GALLON	M						
	ROS PRO	ROSMARINUS OFF. 'PROSTRATUS' / PROSTRATE ROSEMARY	4	1 GALLON	L						
	TRA JAS	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE	23	5 GALLON	M						

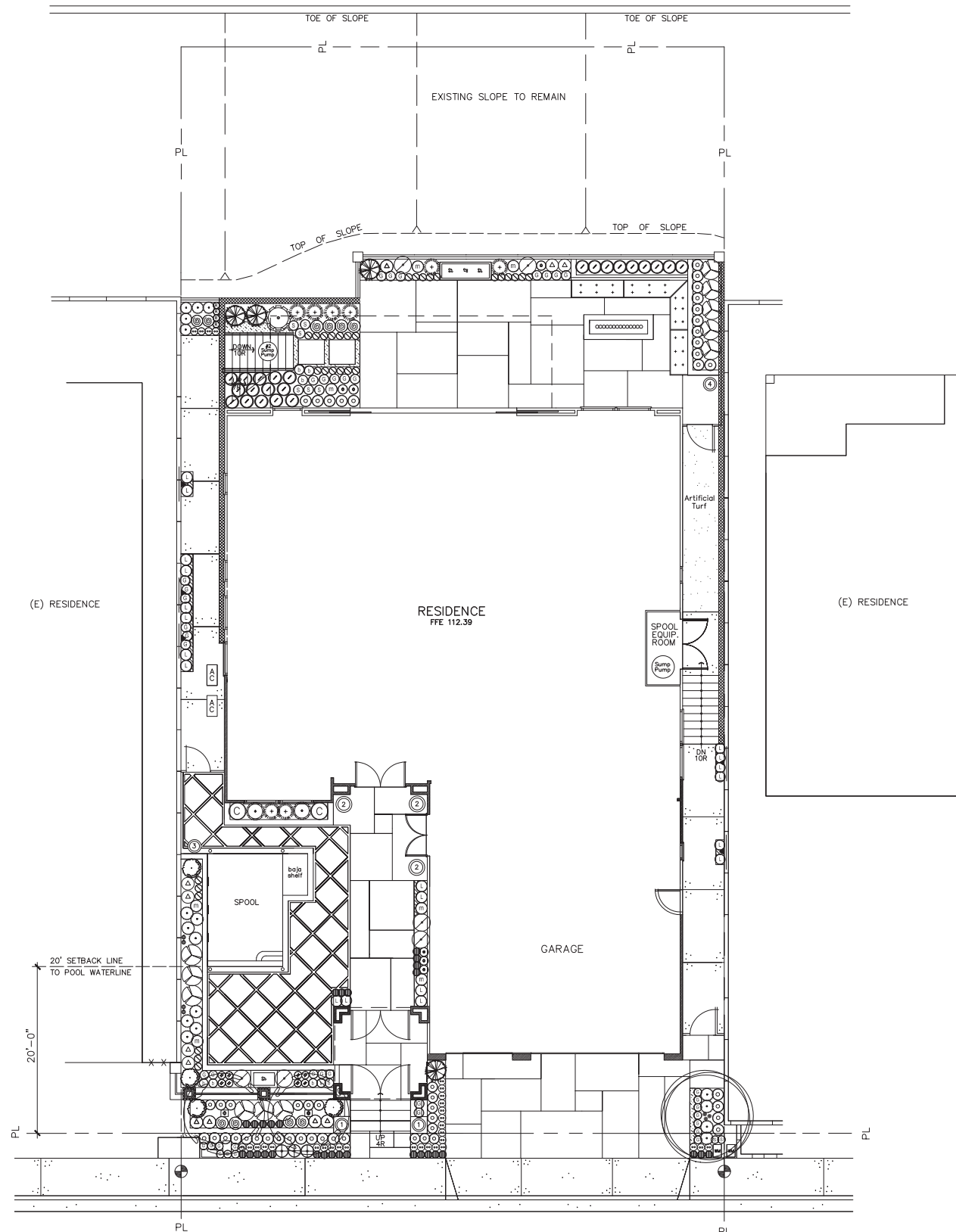
PLANT NOTES

- SOIL LABORATORY TO ANALYZE THE SITE SOIL IN PLANTING AREAS TO DETERMINE THE AGRICULTURAL SUITABILITY AND FERTILITY. THE LABORATORY SHALL SUBMIT A WRITTEN REPORT OF THEIR FINDINGS WITH ANY RECOMMENDATIONS FOR THE AMENDING OF THE SOIL TO THE OWNER AND THE LANDSCAPE ARCHITECT TO BE IMPLEMENTED BY THE CONTRACTOR IN ADDITION TO THE ORIGINAL SOIL PREPARATION MIX.
- SOIL PREPARATION AMENDMENTS (PER 1000 SQUARE FEET):
3 CUBIC YARDS OF NITROGEN STABILIZED & MINERALIZED
150 POUNDS AGRICULTURAL GYPSUM
50 POUNDS GRD-POWER PLUS
- THE REQUIRED SITE SPECIFIC SOILS REPORT AND ITS RECOMMENDATIONS WILL DICTATE THE FINAL SOIL PREPARATION REQUIREMENTS.
- FOR WEED CONTROL, CONTINUE TO IRRIGATE THOROUGHLY FOR A PERIOD OF TWO (2) TO THREE (3) WEEKS OR UNTIL THE WEED SEEDS HAVE GERMINATED. WHEN THERE IS SUFFICIENT WEED SEED GERMINATION, THE CONTRACTOR SHALL APPLY A POST EMERGENT WEED KILLER, ACCORDING TO THE DIRECTIONS OF A LICENSED PEST CONTROL APPLICATOR. THE CONTRACTOR SHALL THEN WAIT AN ADDITIONAL ONE (1) WEEK TO ALLOW THE WEED KILLER TO DISSIPATE PRIOR TO PLANTING.
- BACKFILL MIX FOR TREE AND SHRUB PLANTING (PER CUBIC YARD):
2/3 CUBIC YARD ON SITE SOIL
1/3 CUBIC YARD ORGANIC AMENDMENT (I.E. NITROLIZED SHAVINGS)
1 POUND IRON SULFATE (20% IRON, 10% SULFUR)
2 POUNDS 6-20-20 COMMERCIAL FERTILIZER
10 POUNDS GRD-POWER PLUS
- PROVIDE AGRIFORM OR GRD-POWER PLANTING TABLETS (7 & 21 GRAMS) IN EACH PLANTING PIT AS FOLLOWS:
(1) ONE TABLET (7 GRAMS) FOR EACH GROUND COVER
(1) ONE TABLET (21 GRAMS) FOR EACH 1 GALLON CONTAINER
(3) THREE TABLETS (63 GRAMS) FOR EACH 5 GALLON CONTAINER
(5) FIVE TABLETS (105 GRAMS) FOR EACH 15 GALLON CONTAINER
- CULTIVATE (ROTOTILL) PLANTING AREAS TO A DEPTH OF SIX (6) INCHES WITH THE REQUIRED SOIL PREPARATION AMENDMENTS, WET THOROUGHLY AND ALLOW TO SETTLE. REPEAT THIS PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO HOLD A UNIFORM AND SMOOTH CONSISTENCY TO ALLOW FOR DRAINAGE AND AIR PENETRATION.

NOTE

THIS PROJECT WILL BE SUBJECT TO DPMC CHAPTER 9.55 WATER EFFICIENT LANDSCAPE STANDARDS AND REQUIREMENTS.

CABRILLO ISLE



SHACKLETON ISLE

WATER EFFICIENT LANDSCAPE WORKSHEET

The worksheet is filed out by the project applicant for each Point of Connection. Please complete all sections of the worksheet.

Point of Connection # 1

Maximum Applied Water Allowance (MAWA)

Total MAWA = (ETo x 0.7 x LA in Sq. Ft. x 0.62) + (ETo x 1.0 x SLA in Sq. Ft. x 0.62) = Gallons per year for LA+SLA

where:

MAWA = Maximum Applied Water Allowance (gallons per year)
 ETo = Reference Evapotranspiration Appendix C (inches per year)
 0.7 = Evapotranspiration Adjustment Factor (ETAF)
 1.0 = ETAF for Special Landscaped Area
 LA = Landscaped Area (square feet)
 0.62 = Conversion factor (to gallons per square foot)
 SLA = Special Landscaped Area (square feet)

MAWA Calculation:

	ETo	ETAF	LA or SLA (ft ²)	Conversion	MAWA (Gallons Per Year)
MAWA for LA =	45.1	x 0.7	x 720	x 0.62	= 14,093
MAWA for SLA =	45.1	x 1.0	x 150	x 0.62	= 4,194
Total MAWA =					18,287

Estimated Applied Water Use

EAUW = ETo x K_i x LA x 0.62 + IE = Gallons per year

where:

EAUW = Estimated Applied Water Use (gallons per year)
 ETo = Reference Evapotranspiration Appendix C (inches per year)
 K_i = Landscape Coefficient
 LA = Landscaped Area (square feet)
 0.62 = Conversion factor (to gallons per square foot)
 IE = Irrigation Efficiency = IME x DU
 IME = Irrigation Management Efficiency (90%)
 DU = Distribution Uniformity of Irrigation Head

$K_c = K_e \times K_d \times K_m$
 K_e = species factor (range = 0.1-0.9) (see WUCOLS list for values)
 K_d = density factor (range = 0.5-1.3) (see WUCOLS for density value ranges)
 K_m = microclimate factor (range = 0.5-1.4) (see WUCOLS)

WUCOLS - www.owue.water.ca.gov/docs/wucols00.pdf

EAUW Calculation:

	ETo	K _i	LA	Conversion	IE	EAUW (Gallons Per Year)
Special Landscaped Area	45.1	x 1.0	x 150	x 0.62	+ 1.0	= 4,194
Cool Season Turf	--	x --	x --	x 0.62	+ --	= --
Warm Season Turf	--	x --	x --	x 0.62	+ --	= --
High Water Using Shrub	--	x --	x --	x 0.62	+ --	= --
Medium Water Using Shrub	45.1	x 0.50	x 640	x 0.62	+ 0.90	= 9,942
Low Water Using Shrub	--	x --	x --	x 0.62	+ --	= --
Very Low Water Using Shrubs	--	x --	x --	x 0.62	+ --	= --
Medium Water Using Trees	45.1	x 0.50	x 27	x 0.62	+ 0.80	= 472
	x	x	x	x 0.62	+ --	= --
	x	x	x	x 0.62	+ --	= --
	x	x	x	x 0.62	+ --	= --
	x	x	x	x 0.62	+ --	= --
	x	x	x	x 0.62	+ --	= --
Other	x	x	x	x 0.62	+ --	= --
Total EAUW =						14,608

List sprinkler heads, microspray, and drip emitters here along with average precipitation rate and Distribution Uniformity of Irrigation Head.

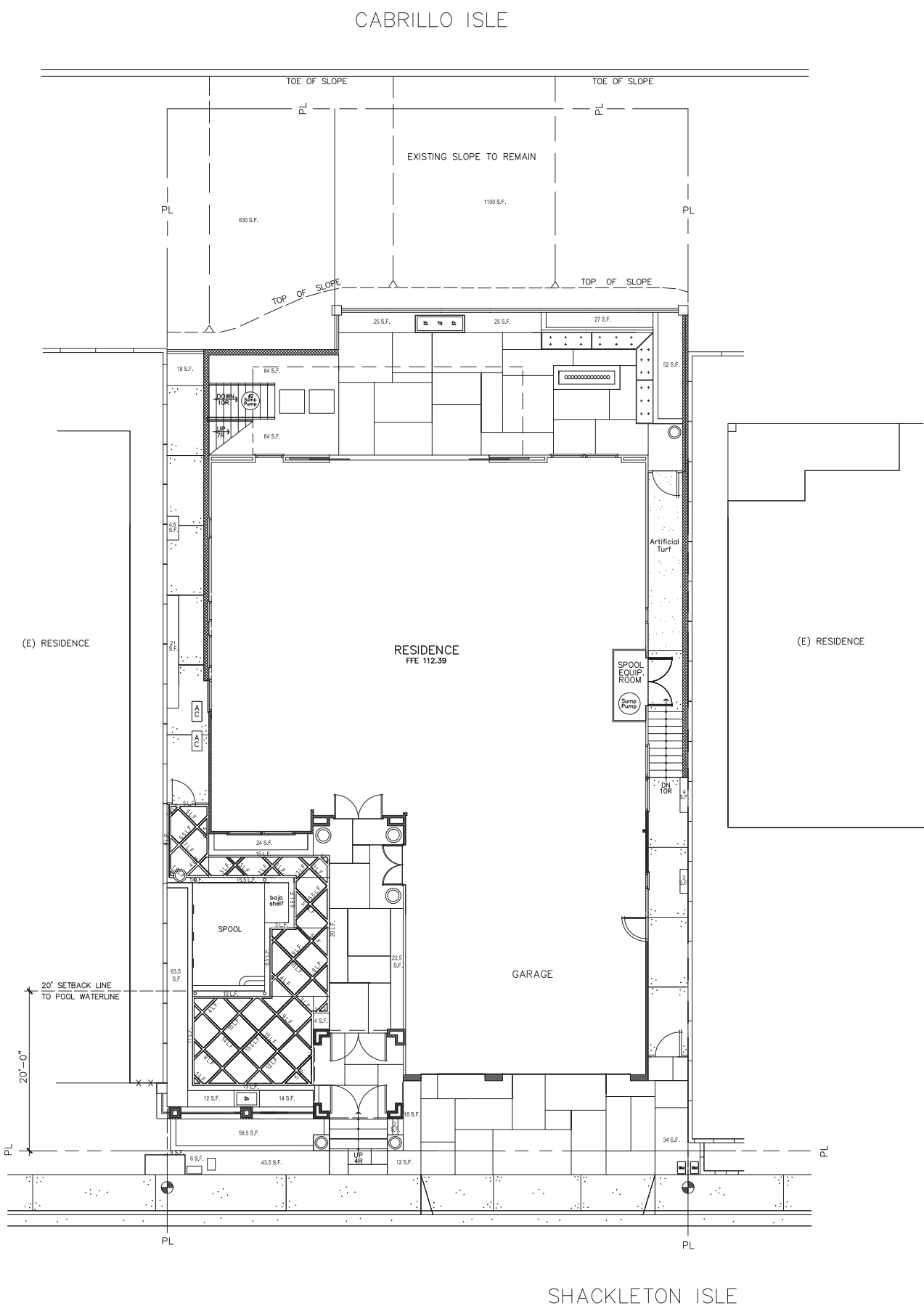
Sprinkler Head Types	Average Precipitation Rate	Distribution Uniformity of Irrigation Head
Drip	0.64	85%
Microspray	--	--
Bubbler	0.54	88%
Low precipitation rotating nozzles	--	--
Stream rotors	--	--

CALCULATIONS

- TOTAL SITE AREA	8,482 S.F.
- TOTAL BUILDING FOOTPRINT	3,482 S.F.
% OF SITE	<u>41 %</u>
- TOTAL SITE HARDSCAPE AREA	2,630 S.F.
% OF SITE	<u>31 %</u>
- TOTAL SITE PERMEABLE AGGREGATE/ SOFTSCAPE AREA - as shown in each area	2,456 S.F.
% OF SITE	<u>28 %</u>
- TOTAL IRRIGATED AREA	2,357 S.F.
% OF SITE	<u>27 %</u>
- TOTAL SITE LANDSCAPED AREA (Softscape & Hardscape)	5,086 S.F.
% OF SITE	<u>59 %</u>

NOTE

THIS PROJECT WILL BE SUBJECT TO DPMC CHAPTER 9.55 WATER EFFICIENT LANDSCAPE STANDARDS AND REQUIREMENTS.



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 California Licensed Landscape Architect #13348

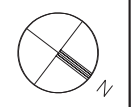
LANDSCAPE PLAN
 CALCULATION PLAN

LANDSCAPE ARCHITECTURAL PLANS FOR:
FLORA RESIDENCE
 33731 SHACKLETON ISLE
 DANA POINT, CALIFORNIA 92629

LICENSED LANDSCAPE ARCHITECT
 LISA A. PIERCE
 No. 13348
 4/30/20
 Renewal Date
 4/23/19
 State
 OF CALIFORNIA

DRAWN BY: LP
 PLOT DATE: 4/23/19
 SCALE: 1/8"=1'-0"

SHEET
 L-3
 OF 3



Supporting Document 6: Correspondence



Niguel Shores Community Association
 33654 Niguel Shores Drive
 Dana Point, California 92629-4221
 (949) 493-0122 • Fax (949) 388-7892

EXTERIOR MODIFICATION APPLICATION
APPROVAL PENDING – NOTICE OF REQUIRED CONDITIONS

PLEASE BE ADVISED: APPROVAL OF THE PROJECT WILL NOT BE ISSUED UNTIL ALL OF THE CONDITIONS LISTED IN THIS NOTICE ARE MET.

PROJECTS COMMENCED PRIOR TO THE COMPLETION OF CONDITIONS ARE CONSIDERED UNAUTHORIZED MODIFICATIONS AND ARE SUBJECT TO ENFORCEMENT ACTION, INCLUDING A LEGAL CEASE & DESIST ORDER, A HEARING AND ADDITIONAL FINES.

Date: 02/05/2019	Tract 7156 / Lot 036
Applicant Name: Flora, Mont and Robyn	
NSCA Address: 33731 Shackleton Isle	
Mailing Address: 25122 Anvil Circle Laguna Hills, CA 92653	
Submittal Date: 10/29/2019 – move to final review 02/04/2019	
Project Description: Remodel: <i>Plan set stamped received 01/15/2019 is issued conditional approval</i> Landscape: <i>Plan set stamped received 01/15/2019 is issued conditional approval</i>	

Approval of your requested project is pending completion of the following conditions (in order of required action):

- This condition must be met prior to the AC granting final approval.**
 Submit a **hard copy** and **electronic copy** of the City of Dana Point stamped approved plan set for AC review and comparison
 City plan will be compared to the plan sets date stamped received January 15, 2019
- Payment will not be accepted until AC has issued final approval**
 Once final approval is issued, submit payment of the following:
 - Construction deposit (\$1,000.00)
 - Processing fee (\$1,000.00)

The conditions of approval listed above **must be completed within 12 months of the date of this notice** or the pending approval is void and the application deemed disapproved.

MOCK UP MUST REMAIN IN PLACE UNTIL REMOVAL IS REQUESTED

NOTICE OF RIGHT TO APPEAL: Under rule *Appeal of Committee Decisions*, any property owner may submit an appeal to the NSCA Board of Directors requesting their review and recommendation regarding a proposed remodel project once the AC has rendered a decision. An appeal must be submitted in writing within 30 days of the date of notice of committee decision in order to be heard. You will be notified if an appeal is filed regarding your project.

Enclosure:

CYRIL JONES
33751 Shackleton Isle
Dana Point, CA 92629
949.493.0195

May 6, 2019

Belinda Deines
Senior Planner
City of Dana Point, CA

Dear Ms. Deines:

**RE: SITE DEVELOPMENT PERMIT
33731 SHACKLETON ISLE**

My late wife, Ann, and I purchased the lot on October 27, 1972 and completed building our home in August of 1973. This continues to be my home.

Being an original owner and one of the first homes to be built on the street I have been very cognizant of the importance of view preservation and privacy. The result to date has been that the 10 feet set back as required by the Niguel Shores CC&R's have been instrumental in presenting not only a very pleasing continuity along the street but also a significant degree of privacy and view preservation.

The Site Development Plan includes a portico on the ocean side portion of the property does not adhere to such standards. The portico is in fact a deck extension would violate the 10 foot setback requirements and be an unacceptable view preservation and privacy issue for the adjacent home owners. Finally, approval of this plan would be used by other owners to the detriment of the community

Sincerely


Cyril Jones

RECEIVED
MAY 06 2019
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

**PLANNING COMMISSION AGENDA REPORT
CDP19-0001 AND SDP19-0015
MAY 13, 2019
PAGE 27**

May 5, 2019

Attention: Belinda Deines, Senior planner, City of Dana Point Community Devel. Dept

Dear Ms. Deines:

We are the homeowners at 33721 Shackleton Isle, residing next to the proposed construction plans of Mont and Robyn Flora, owners of 33731 Shackleton Isle.

We have discussed this proposal with some of the other residents who are directly affected by this project. Accordingly, several of us share similar concerns, specifically associated with the proposed back deck and portico. This deck will be constructed on an upper floor which is notably higher than other neighborhood homes, thereby creating a potential imposition upon the privacy of adjoining neighbors. The intended dimensions of the deck/portico also appear to exceed current city guidelines and also may be in non-conformance of established setbacks. In addition, we feel that the structure will impede existing views for neighbors.

This proposed deck appears to be in non-conformance with existing setbacks, exceeds established criteria for the size/depth of a deck in this residential area, and creates a privacy issue, especially since the lots on our street are so limited in size. We feel this deck/portico design should be re-designed and reduced in size. If this project is left unchanged, we anticipate that it will create a significant loss of privacy especially for the current neighbor at 33741 Shackleton Isle, as it will impede existing views and violate current city codes.

Thank you very much for your consideration in this matter.



Mike and Cheryl Hilliard

33721 Shackleton Isle

Dana Point, CA 92629

e-Mail: mikehilliard1@msn.com

Cell: 805-729-5010

Permanent Mailing Address

910 Dutch View Ct.

Midway, UT 84049

RECEIVED
MAY 06 2019
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

May 6, 2019

Ms. Deines
Senior Planner
City of Dana Point

RECEIVED

MAY 06 2019

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

Regarding 33731 Shackleton Isle
Dana Point 92629

Dear Ms. Deines

My home at 33761 Shackleton Isle is three houses away from the subject property. I am objecting to their request to build a portico in their rear yard. This portico interferes with the intent of these beach properties along Shackleton to preserve our views by providing an unobstructed ten (10) foot corridor. The building of this portico sets a dangerous precedent by obstructing our view along this heretofore open corridor. If this building is allowed I fear it will lower my property value as a unobstructed view property. I would then live in fear that any of my neighbors would now have license to do the same. Please do not allow this to happen. Georgann Stay, owner
33761 Shackleton Isle

RECEIVED

MAY 06 2019

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

Looking down the
OPEN CORRIDOR.
The portico protrudes into
that corridor.



View from my dining window
Toward Dana Point. IF
a portico were constructed
in my neighbor's yard at their
roofline you see, it would
completely obstruct the
beautiful view I bought.



RECEIVED

MAY 06 2019

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

May 6, 2019

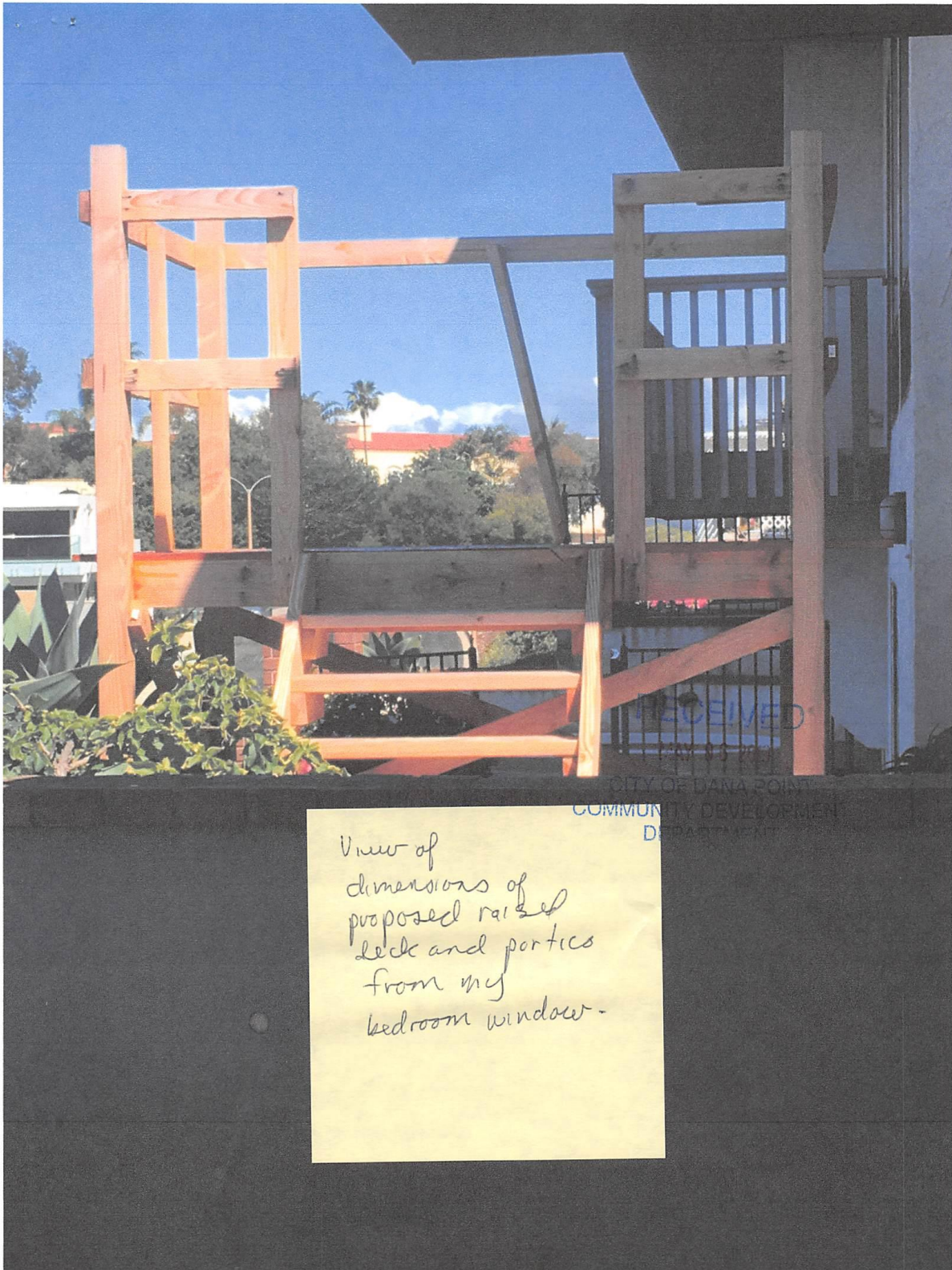
Ms Belinda Deines
Senior Planner
City of Dana Point
Community Development Dept
33282 Golden Lantern N, Suite 209
Dana Point, Ca 92629
Dear Ms Deines

RECEIVED
MAY 06 2019
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

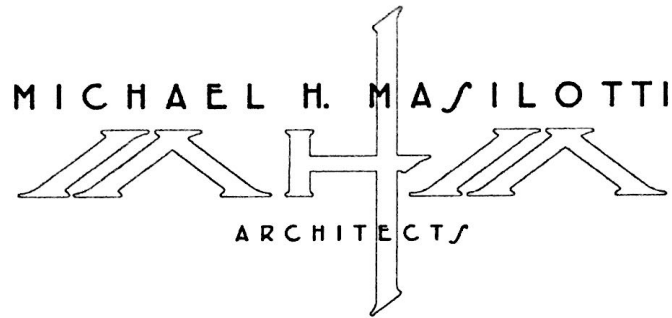
Re: 33731 Shackleton Isle
Dana Point, Ca 92629

My home is at 33741 Shackleton Isle, the parcel to the left of the subject property. I object to the subject property owners request to build a raised deck and portico in their ocean facing yard. This proposed portico and deck unreasonably interferes with my privacy as it allows a view into my bedroom. My view is adversely affected also. The allowance of this portico sets a dangerous precedent for future obstruction of our view corridors. This would lower my and my neighbors property values. Please disallow this raised deck and portico.

Thank you,
Bernadine Chwaleke
33741 Shackleton Isle
Dana Point, Ca
92629



View of
dimensions of
proposed raised
deck and portico
from my
bedroom window.



May 9, 2019

Belinda Deines
Senior Planner
City of Dana Point

Re: SDP for 33731 Shackleton Isle

Good Morning Belinda,

I am writing today to clarify some misconceptions stated in several letters that have been placed into the file objecting to the improvements we are planning at 33731 Shackleton Isle.

First off, I would like to point out that the portico is being proposed in the front yard, not the rear yard. We have proposed a raised deck in the rear yard that is in complete compliance with all rules, regulations, codes, setbacks and ordinances of the city of Dana Point and the Niguel Shores Community Association. The project has been reviewed and approved by Niguel Shores.

Also, I would like to address the privacy concerns. The house that exists on the property right now, has an outdoor dining patio at the same height and directly adjacent to the property at 33741 that expressed privacy concerns. The site lines from that existing dining patio into 33741 are direct, severe and intrusive. In order to preclude this same condition from happening on our redesign, we abandoned the outdoor dining patio and changed it into circulation. The dining patio was raised up and away from the adjacent property. We constructed a wood platform to depict the corner of the new dining deck. You can see when standing on that platform how much the new outdoor dining configuration radically reduces the site lines and virtually eliminates the bedrooms privacy issue.

The new home will be 2'-10" further back from the ocean than the existing home and will be well behind the string line between homes. This will open up additional views to both adjacent homes. The deck will be fully cantilevered. There will be no vertical columns. The deck rail will be cantilevered glass. It will not obscure any portion of any water or coastal views. Elevating the deck slightly and pulling it in from the side property lines creates an enhanced sense of autonomy for the outdoor living areas of our property and the properties adjacent to it. There are other homes in the neighborhood with elevated decks and or patio covers.

Thank you for your time,

Michael H. Masiotti Architect C-24565

5.9.19

Date