

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** DECEMBER 10, 2018

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
MATT SCHNEIDER, DIRECTOR OF COMMUNITY DEVELOPMENT  
JOHN CIAMPA, SENIOR PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP18-0002 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCTION OF A NEW, TWO-STORY, SINGLE-FAMILY DWELLING WITH AN ATTACHED THREE-VEHICLE GARAGE ON A COASTAL BLUFF LOT AT 35261 CAMINO CAPISTRANO

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**RECOMMENDATION:** That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP18-0002.

**APPLICANT/OWNER:** Jeff and Staci Ruby

**OWNER'S AGENT:** Stan Andrade

**REQUEST:** Approval of a Coastal Development Permit to allow the demolition of an existing single-family dwelling and the construction of a new, two-story, 5,601 square foot, single-family dwelling with an attached, 1,398 square foot garage on a coastal bluff lot.

**LOCATION:** 35261 Camino Capistrano (APN 691-182-03)

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on November 28, 2018, published within a newspaper of general circulation on November 29, 2018, and posted on November 30, 2018 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorical Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) in that it proposes construction of one new single-family dwelling with an attached garage in a residential zone.

**ISSUES:**

- Project consistency with the standards of the City’s adopted General Plan, Zoning Code and Certified Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the Zoning Code and LCP for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The subject property is a 20,090 square foot (.46 acres) coastal bluff lot located in the Capistrano Beach community (Supporting Document 2). The lot is improved with a single story, 2,508 square foot, single-family dwelling that was constructed in 1958. The topography of the property is generally flat within the buildable pad area and then descends steeply toward Pacific Coast. The site is surrounded by similar sized one and two story single-family dwellings (Supporting Document 3).

Pursuant to the DPZC, the property is in the Residential Single Family (RSF-3) Zoning District and located within the City’s Coastal Overlay District (the California Coastal Zone) as well as the Appeals Jurisdiction of the California Coastal Commission.

**DISCUSSION:** The proposed project would demolish all on-site development and construct a 5,601 square foot, two-story, single family dwelling with a 1,398 square foot attached garage and workshop area. The first-floor living area would be comprised of a dining room, living room, kitchen, and four bedrooms. The second floor would include a guest room and open air deck.

Table 1 summarizes applicable RSF-3 Zoning District development standards and the project’s conformance with those requirements:

**Table 1: Compliance with RSF-3 Development Standards**

<b>Development Standard</b>	<b>Requirement</b>	<b>Proposed</b>	<b>Compliant with Standard</b>
Front Setback	10 feet minimum	10 feet	Yes
Garage Setback	20 feet minimum	20 feet	Yes
Side Setbacks	8 feet minimum	8 feet	Yes
Bluff Setback	33 feet minimum*	37 feet	Yes
Height	24 feet maximum Less than 3:12 roof pitch 2 stories	24 feet 0.25:12 roof pitch 2 stories	Yes

<b>Development Standard</b>	<b>Requirement</b>	<b>Proposed</b>	<b>Compliant with Standard</b>
Lot Coverage	45% maximum	31%	Yes
Landscape Coverage	25% minimum	53%	Yes
Parking Required	3 garage parking spaces minimum for five bedrooms	3 garage parking spaces	Yes

*\*Bluff setback deviation recommended to be reduced from 40 feet to 33 feet.*

The neighborhood consists of one and two story homes that were originally constructed in the 1950s and 60s. Some of the houses were renovated or reconstructed over the years, resulting in varied architectural styles throughout the area. The existing structure was built in 1958 and is not identified as a historic resource.

The project proposes a two-story house with a modern design. To convey the modern design, the architectural elements include: a flat roof with varied roof elevations and large eaves to break up the massing of the structure and provide architectural interest to ensure compatibility with neighboring properties. The dwelling's modern design would utilize a variety of materials throughout its façade, including stucco walls, bronze metal fascia, glass and stone veneer.

A preliminary landscape plan has been submitted illustrating the use of drought-tolerant native plants throughout the site with no irrigation system proposed due to the site's location on a coastal bluff face. New landscaping would be subject to compliance with DPZC Chapter 9.55 for Water Efficiency Landscape Requirements.

### Coastal Development Permit CDP18-0002

Per Section 9.69.040 (b)(1) of the Dana Point Zoning Code, a Coastal Development Permit (CDP) is required for all new development on coastal bluff lots.

#### *Coastal Bluff*

The subject property's location on a coastal bluff lot requires the submittal of a geotechnical report to determine the location of the edge of the coastal bluff (the point at which the site alters from generally flat to begin its topographic descent to the Pacific Ocean below), historic and projected future erosion of the site, as well as general site stability. The geotechnical analysis supports a deviation from the property's established 40 foot setback to a minimum of 33 feet, permitted by Section 9.27.030(c) of the DPZC. The proposed structure would be set back (at its closest point) a minimum of 37 feet from the delineated edge of bluff. The conclusions contained within the project's geotechnical report and the project's overall foundation design were reviewed and corroborated by the City's Geotechnical and Structural Engineers.

Development within the coastal bluff setback is strictly limited to California native and drought tolerant landscaping, low-level walls and hardscape without deepened structural footings. Moreover, no irrigation is proposed or permitted within the area of the setback. The subject project complies with these and all requirements as they pertain to the property's coastal bluff and; a condition of approval is included in the project's draft resolution that any existing irrigation within the setback shall be removed (Condition #33 of Supporting Document 1).

Section 9.69.070 stipulates a minimum of seven findings to approve a CDP, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Staff's recommended findings to approve the CDP request are enumerated in the project's draft resolution (Supporting Document 1).

**CORRESPONDENCE:** To date, no correspondence has been received concerning the subject project.).

**CONCLUSION:** Staff finds that the subject project is consistent with the policies, provisions and standards of the Dana Point General Plan and Zoning Code – the latter adopted and certified as the Local Coastal Program for this portion of the City. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached resolution, approving CDP18-0002 subject to findings and conditions of approval.



John Ciampa  
Senior Planner



Matt Schneider, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 18-12-10-xx

**Supporting Documents**

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)

**Action Document 1 Draft Planning Commission Resolution No. 18-12-10-XX**

**RESOLUTION NO. 18-12-10-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA APPROVING COASTAL DEVELOPMENT PERMIT CDP18-0002 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW, TWO-STORY, SINGLE-FAMILY DWELLING ON A COASTAL BLUFF LOT AT 35261 CAMINO CAPISTRANO**

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, Jeff and Staci Ruby (the "Applicant") are the owner of real property commonly referred to as 35261 Camino Capistrano (APN 691-182-03) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit to allow the demolition of an existing single-family dwelling and the construction of a new single-family dwelling and attached garage on land containing a coastal bluff at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) in that it proposes construction of one new single-family dwelling and attached garage; and

WHEREAS, the Planning Commission did, on the 10<sup>th</sup> day of December, 2018 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP18-0002.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP18-0002 subject to conditions:

Findings:

Coastal Development Permit CDP18-0002

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1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program for the property) and; that the project will further General Plan Urban Design Element Goal No. 2, which states that development should “preserve the individual positive character and identity of the City’s communities” by the new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that the project is not located between the first public roadway and the sea or shoreline, that the property is an already developed lot zoned for residential use and located on land that does not contain public accessways or areas of recreation. Moreover, adequate public access to the coast or areas of recreation exist nearby at City, County and State beaches and parks; therefore, the project will conform to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies as Categorically Exempt from review under CEQA pursuant to Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) for the construction of one new single-family dwelling with the attached garage.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is a developed parcel containing no environmentally sensitive habitat area (ESHA) and therefore the proposed**

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**improvements would not result in adverse impacts.**

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property containing a single-family dwelling. The proposed dwelling would be similar in footprint and overall floor area and so its development would require minimal grading or other landform alteration/disturbance. Prior to commencement of construction, the project will be conditioned to obtain a building permit, adherence to which will minimize undue risk to the property from future erosion, property slippage, geologic instability, as well as flood and fire hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the subject project would demolish an existing single-family dwelling and construct a new two story single-family dwelling of similar height, story-count and overall massing as others in the vicinity, utilizing new and aesthetically pleasing colors and materials. Implementation of the subject project would result in new development that is visually compatible with surrounding structures and constitute an overall enhancement of the property.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by the Planning and Building/Safety Divisions as well as the Public Works/Engineering Department and been found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program for the subject property). There are no adopted specific plans that apply to the subject property.**

Conditions:

**A. General:**

1. Approval of this application permits the allow demolition of an existing single-family dwelling and construction of a new, two-story,



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5,601 square foot, single-family dwelling with an attached, 1,398 square foot, three-car garage and hobby area at 35261 Camino Capistrano. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission and in compliance with the applicable provisions of the Dana Point General Plan and Zoning Code.

2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers,

employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

7. The Applicant and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The Applicant and Applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. The project shall meet all water quality requirements, including those for implementation of Low Impact Development (LID).
10. An Encroachment Permit shall be obtained from Public Works-Engineering prior to any work within the City Right-of-Way.
11. A grading permit shall be obtained prior to any work, including demolition of existing structures.
12. The Applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable/internet television services.
13. The Applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The Applicant shall provide erosion control measures of a type, size and location as approved by the Director of Public Works. Erosion control measures shall be shown and specified on the grading plan and constructed to the satisfaction of the Director of Public Works prior to the start of any other grading operations. The Applicant shall maintain all erosion control devices until final approval of all permits.
14. The applicant, property owner or successor in interest shall prepare

a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling.

15. The applicant shall submit an application for separate structures, including retaining walls. Retaining walls and other structures not supported by the building foundation require a separate submittal for review and approval to the Building Department. A separate permit submittal shall be made to the Building Department in accordance with the current submittal requirements.
16. Separate review, approval, and permits are required for:
  - Retaining walls
  - Shoring walls
  - Fire sprinklers
  - Demolition of structures
  - Site walls over three feet
  - Pool and spa
17. The applicant shall limit all construction activities within the coastal bluff-top setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity.
18. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
19. Per Municipal Code Section 9.27.030, no new structure foundations or improvements requiring a building permit will be allowed within the 33-foot bluff edge setback as determined by the geotechnical consultant (R McCarthy Consulting, Inc). Improvements located seaward of the 33-foot bluff edge setback shall be limited to non-permitted items.
20. The 33' bluff edge setback deviation, as justified by the submitted geotechnical documents, shall be clearly shown on all plans submitted for review and approval.

**B. Prior to Issuance of a Grading Permit**

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21. A Boundary/Record of Survey shall be completed for the project site and recorded at the County of Orange prior to issuance of a Grading Permit.
22. A performance bond shall be required for all grading activities up to 100% of the proposed improvements. A separate performance bond may be required for shoring activities to ensure completion of grading activities and protection of adjoining improvements.
23. The applicant shall submit an application for a grading permit. The grading permit application, in compliance with City standards, submitted for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
24. The Applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
25. In accordance with the "Dana Point General Plan, Coastal Erosion Technical Report...", the geotechnical investigation should include a minimum of one large-diameter boring down-hole logged by a state licensed engineering geologist. The report of the large-diameter boring and related findings should be presented as an addendum to the existing geotechnical report and associated review responses that have been provided for the CDP application, and should be provided for review and approval with all other documents as part of the grading permit application.
26. All plans submitted shall reflect the determined bluff edge and all associated setbacks as shown on the submitted "Updated Geotechnical Investigation, Proposed Residential Construction, 35261 Camino Capistrano...", (dated August 18, 2018) and "Response to 2nd City Review, Proposed Residential Construction, 35261 Camino Capistrano..." (dated June 22, 2018) and all addenda by R McCarthy Consulting, Inc

**C. Prior to Issuance of a Building Permit:**

27. Building plan check submittal shall include the following construction documents:
  - Building Plans (4 sets)

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- Electrical/Plumbing/Mechanical plans by a Registered Design Professional
- Energy Calculations (2 sets)
- Structural Calculations (2 sets)
- Soils/Geology Report (3 sets)
- Drainage Plan

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

28. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief.
29. Undergrounding of all onsite utilities is required. An Approved SDG&E Work Order and Undergrounding Plan is required prior to permit issuance.
30. Minimum roofing classification is Class "A".
31. Fire sprinkler system is required.
32. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
33. The Applicant shall submit for review and approval by the Planning and (if applicable) Building/Safety Divisions, a Final Landscaping Plan that complies with the standards of the Dana Point Zoning Code, preliminary plans approved by the Planning Commission, as well as the following:
  - *All proposed plantings within 33 feet of the edge of the property's coastal bluff shall be of a variety that is both CA native and drought tolerant.*
  - *Any existing irrigation within 33 feet of the edge of the property's coastal bluff shall be removed and; no new irrigation is permitted within the area of the setback from edge of bluff.*
34. The Applicant shall execute the City's standard deed restriction and submit to the City and through City staff, the City Attorney, for review and approval. The deed restriction shall stipulate the following:

- *That the Applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards;*
  - *That the Applicant unconditionally waives any claim of liability on the part of the City or any other public agency from any damage from such hazards;*
  - *That the Applicant assumes all liability for damages incurred as a result of any required off-site grading.*
35. The applicant shall submit a Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works. The Landscape plan shall include the bluff top setback area and be in accordance with the approved grading plan and City of Dana Point Municipal Code for improvements allowed within the 33-foot bluff edge setback.
36. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
37. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
38. The applicant shall submit a rough grade certification from the Geotechnical Engineer/Engineering Geologist of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
39. An as-graded geotechnical report shall be prepared by the project

geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, geologic mapping, caisson drilling, as well as a geotechnical map depicting the limits of grading, geologic mapping/caisson drilling, locations of all density testing, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report and addenda.

40. Building Code Analysis: Provide building code analysis showing conformance to the Chapter 3 and 5 of the CBC. Specify occupancy group(s), type(s) of construction, including fire sprinklers, location on property, actual and allowable floor area, building height, number of stories, and conforming exiting.
41. Soils Report (1803): Unless waived, submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.
42. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CALGreen requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.

**D. Following Issuance of a Building Permit:**

43. Prior to commencement of framing, the Applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP18-0002. The City's standard "Setback Verification Certification" form shall be obtained at time of permit issuance, prepared by a licensed civil engineer/surveyor and delivered to the City of Dana Point Building and Planning Divisions for review and approval.
44. Prior to release of the roof sheathing inspection, the Applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning

Commission and the structure heights included as part of CDP18-0002. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

**E. Prior to Issuance of a Certificate of Occupancy**

45. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
46. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
47. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.
48. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
49. All landscaping and/or structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
50. The final condition of the bluff edge setback shall be in accordance with Municipal Code Section 9.27.030 and approved geotechnical reports, with no new structure foundations or improvements requiring a building permit within the determined 33-foot bluff edge setback.
51. The Geotechnical Engineer of Record shall provide written certification of all grading as being in conformance with the approved grading plan.
52. All project landscaping within all yards shall be installed prior to scheduling of a final inspection of the project by the Planning Division.
53. Prior to scheduling a final inspection, the Applicant shall submit to the Project Planner, a written, wet-stamped and signed certification



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from a California-licensed landscape architect that all plantings within the property's approved setback from edge of bluff were installed in conformance with the project's approved Final Landscaping Plan.

54. The Applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 10<sup>th</sup> day of December, 2018, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Danni Murphy, Chairperson  
Planning Commission

ATTEST:

\_\_\_\_\_  
Matt Schneider, Director  
Community Development Department

Supporting Document 2 Vicinity Map



## Vicinity Map

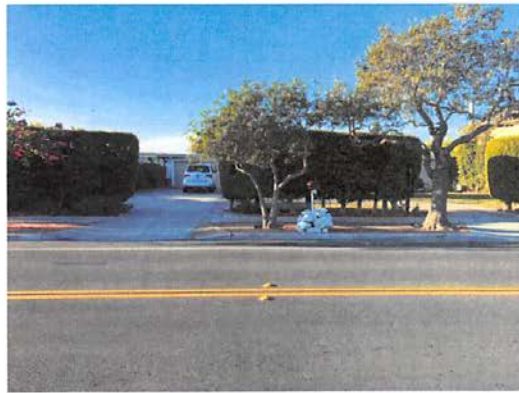
35261 Camino Capistrano, CDP18-0002



**Supporting Document 3** Site Photos







**Supporting Document 4** Project Plans (architectural only)

ATTACHMENT

# RUBIE RESIDENCE

## 35261 CAMINO CAPISTRANO CAPISTRANO BEACH CA

ANDRADE ARCHITECTS, INC.  
 2880 SOUTH COAST HIGHWAY  
 SUITE 200  
 LAGUNA BEACH, CA 92651  
 PHONE: 949-715-7474  
 FAX: 949-715-7475  
 WWW.ANDRADEARCHITECTS.COM  
 ANDRADE ARCHITECTS, INC.

### FIRE DEPARTMENT NOTES

- ENTIRE STRUCTURE WILL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D.

### SEPARATE PERMITS

PRIOR TO ISSUANCE OF A BUILDING PERMIT THE FOLLOWING APPROVALS ARE REQUIRED:

- PLANNING DEPARTMENT
- PUBLIC WORKS
- ORANGE COUNTY FIRE AUTHORITY
- WILL SERVE LETTER FROM WATER DISTRICT
- SDG & E SERVICE WORK ORDER

SEPARATE REVIEW, APPROVAL AND PERMITS ARE REQUIRED FOR THE FOLLOWING:

- SEPARATE STRUCTURES
- RETAINING WALLS
- SITE WALLS OVER 3'-0" HIGH
- FIRE SPRINKLERS
- DEMOLITION OF STRUCTURES
- SWIMMING POOL/SPA
- LANDSCAPE PERMIT

### CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH 2016 CALIFORNIA RESIDENTIAL CODE (CRC); 2016 CALIFORNIA BUILDING CODE (CBC); 2016 CALIFORNIA PLUMBING CODE (CPC); 2016 CALIFORNIA ELECTRICAL CODE (CEC); 2016 CALIFORNIA MECHANICAL CODE (CMC); 2016 BUILDING ENERGY EFFICIENCY STANDARDS (BEES); 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBCS), AS AMENDED BY CITY ORDINANCE.

### SQUARE FOOTAGES

	PROPOSED
LOWER LEVEL LIVING:	4,845.75 S.F.
UPPER LEVEL LIVING:	756.15 S.F.
TOTAL LIVING:	5,601.9 S.F.
GARAGE:	1,388.31 S.F.
COURTYARD:	1,991 S.F.
COVERED PATIO:	976 S.F.
LOWER DECK:	449.27 S.F.
UPPER DECK:	772.41 S.F.
TOTAL DECK:	1,221.68 S.F.
LOT AREA:	20,090 S.F.
BUILDING AREA:	6244.06 S.F.
LOT COVERAGE:	31.08 %

### LANDSCAPE SQ. FOOTAGES

TOTAL LOT AREA:	20,090.00 SQ. FT
BUILDING AREA:	6,186.30 SQ. FT
TOTAL LANDSCAPE AREA:	13,922.00 SQ. FT = 100%
DECORATIVE HARDSCAPE (IMPERVIOUS):	3,134.50 SQ. FT = 22.5%
SOFTSCAPE (PERVIOUS):	10,787.50 SQ. FT = 77.5%
INCLUDING -	
EXISTING LANDSCAPE (COASTAL BLUFF - TO REMAIN)	3,616.25 SQ. FT = 26.0%
BASIC CONCRETE:	1,932.00 SQ. FT = 13.9%
POOL / SPA / WATER FEATURE:	400.25 SQ. FT = 2.9%

### GENERAL NOTES

- SUBMIT SEPARATE PLANS, CALCULATIONS AND PERMITS FOR ALL FENCES POOLS AND RETAINING WALLS
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM
- CONTRACTOR TO VERIFY EXISTING FIELD CONDITIONS BEFORE COMMENCING ANY WORK
- HOUSE NUMBER WILL BE VISIBLE AND LEGIBLE FROM THE STREET
- FINISH GRADE WITHIN 10' OF THE NEW STRUCTURE/ ADDITION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING FOR IMPERVIOUS SURFACES AND 5% FOR NATURAL GRADE.
- ITEMS IN THIS LIST REQUIRE FIELD TESTING AND/ OR VERIFICATION BY A CERTIFIED HERS RATER. THE INSPECTOR MUST RECEIVE A COMPLETED CF-R FORM FOR EACH OF THE MEASURES LISTED BELOW FOR FINAL TO BE GIVEN:  
 THE HVAC SYSTEM HVAC INCORPORATES HERS VERIFIED DUCT LEAKAGE. HERS FIELD VERIFICATION AND DIAGNOSTIC TESTING IS REQUIRED TO VERIFY THAT DUCT LEAKAGE MEETS THE SPECIFIED CRITERIA.

### PROJECT DIRECTORY

PROPERTY OWNER:  
 JEFF AND STACI RUBIE  
 30100 TOWN CENTER DR  
 SUITE C-425  
 LAGUNA NIGUEL, CA 92677

CIVIL ENGINEER:  
 GRAND KNIGHT ENGINEERING  
 25505 E. VALLEY BLVD SUITE 110  
 WALNUT, CA 91789  
 PHONE: (949) 228-1570

SOILS ENGINEER:  
 ROBERT MCCARTHY  
 R MCCARTHY CONSULTING, INC.  
 23 CORPORATE PLAZA, SUITE 150  
 NEWPORT BEACH, CA 92660  
 PHONE: (949) 629-2539

ARCHITECT:  
 ANDRADE ARCHITECTS, INC.  
 2880 SOUTH COAST HIGHWAY  
 LAGUNA BEACH, CA 92651  
 PHONE: 949-715-7474  
 FAX: 949-715-7475

### PROJECT DESCRIPTION

A NEW 2-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND ELEVATED TERRACE.

EXISTING RESIDENCE TO BE COMPLETELY DEMOLISHED AND REMOVED.

### PROJECT DATA

APN:	091-182-03
TRACT:	1128
LOT:	15
ZONE:	RSF 3
OCCUPANCY:	R3U
CONSTRUCTION TYPE:	VB FULLY SPRINKLED
LOWEST EXISTING GRADE:	129.94'
LOWEST FINISH PAD ELEVATION:	130.25'
MAXIMUM HEIGHT:	153.94'

BUILDING TO BE EQUIPPED WITH FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA13D.

### VICINITY MAP



### SHEET INDEX

ARCHITECTURAL:	
G.001	PROJECT DATA
A.001	SITE PLAN
A.002	LOWER LEVEL S.F. CALCULATIONS
A.003	UPPER LEVEL S.F. CALCULATIONS
A.101	LOWER LEVEL FLOOR PLAN
A.102	UPPER LEVEL FLOOR PLAN
A.103	ROOF PLAN
A.201	EXTERIOR ELEVATIONS
A.202	EXTERIOR ELEVATIONS
A.301	BUILDING SECTIONS
A.302	BUILDING SECTIONS
A.303	BUILDING SECTIONS

LANDSCAPE:	
L.101	PRELIMINARY LANDSCAPE PLAN (FOR REFERENCE ONLY)
P.101	LANDSCAPE PLANTING PLAN (FOR REFERENCE ONLY)

CIVIL:	
1 OF 2	PRELIMINARY GRADING PLAN (FOR REFERENCE ONLY)
2 OF 2	PRELIMINARY GRADING PLAN CROSS SECTION (FOR REFERENCE ONLY)
1 OF 2	TOPOGRAPHIC SURVEY
2 OF 2	TOPOGRAPHIC SURVEY

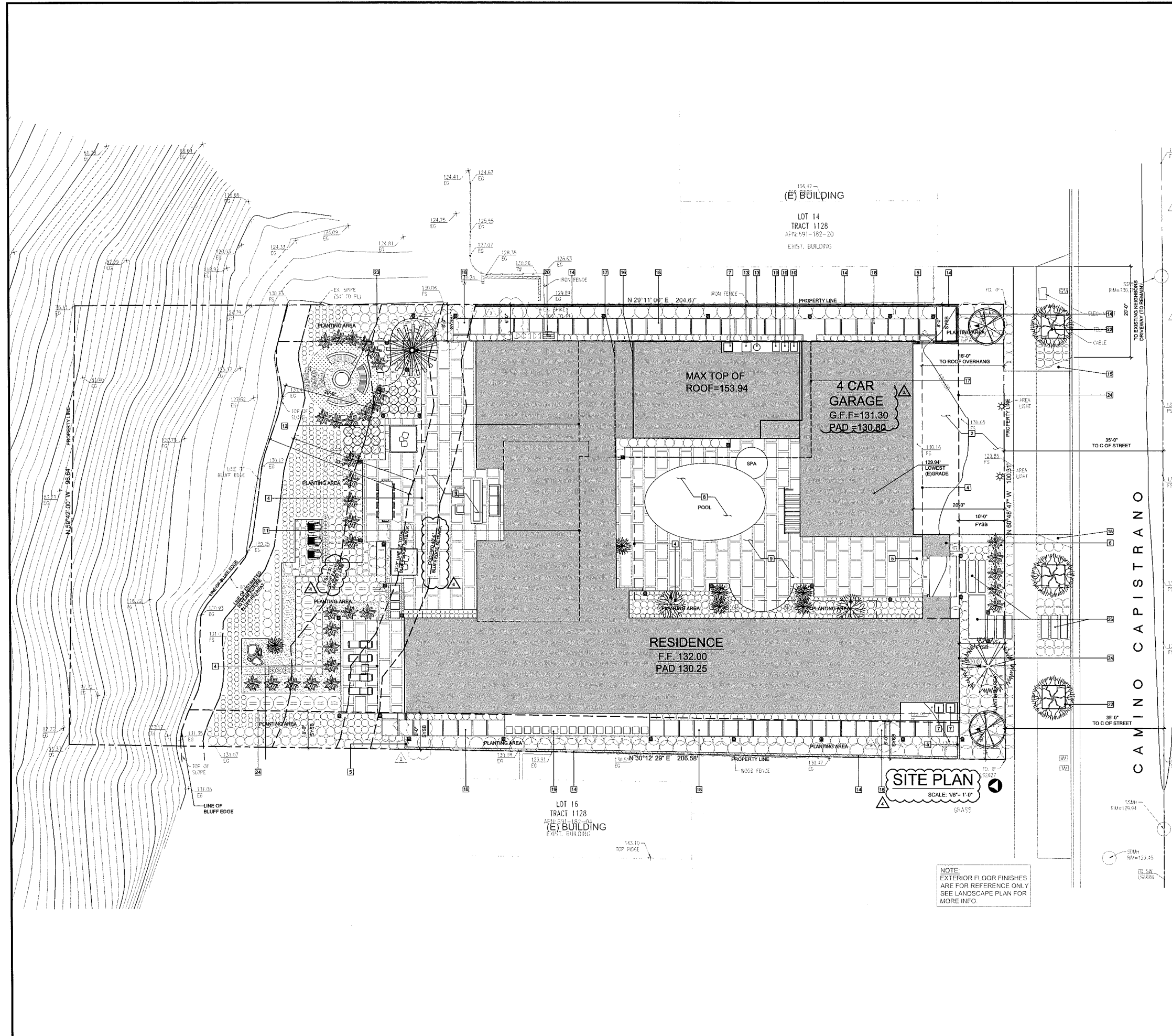
RUBIE RESIDENCE  
 35261 CAMINO CAPISTRANO  
 CAPISTRANO BEACH, CA 92624

COVER SHEET

REVISIONS	
4/19/18	CDP PLAN CHECK CORRECTIONS
06/18/18	CDP PLAN CHECK CORRECTIONS
08/20/18	CDP PLAN CHECK CORRECTIONS
10/12/18	CDP PLAN CHECK CORRECTIONS

DRAWN BY: KAJMB  
 CHECKED BY: SA  
 DATE: 10/18/18  
 JOB #: 1740  
 SHEET: G.001



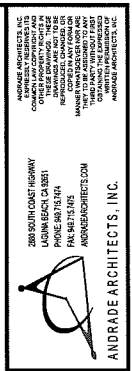


- ### KEYNOTES
- NEW 8'-0" HIGH WOOD FENCE WITH WOOD GATE
  - NEW CONCRETE DRIVEWAY
  - NEW COVERED PATIO BELOW
  - LINE OF NEW 1ST FLOOR ROOF OVERHANG
  - NEW PAIR OF 4'-0" WIDE X 10'-6" HIGH ENTRY GATE
  - NEW ENTRY WALLS W/ STUCCO FINISH
  - NEW A/C CONDENSER LOCATION: MANUFACTURER BRYANT MODEL: 124ANS046-4 TON, ULTRA QUIET, 2 STAGE, 70 dBA. UNIT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - NEW SWIMMING POOL
  - NEW COURTYARD (SEE LANDSCAPE PLAN FOR EXTERIOR FLOOR FINISHES)
  - NEW TRASH CAN STORAGE
  - OUTLINE OF NEW UPPER DECK
  - OUTLINE OF NEW LOWER DECK
  - NEW POOL EQUIPMENT
  - NEW 6'-0" HIGH BLOCK WALL W/ STUCCO FINISH (BOTH SIDES) TO REPLACE (E) SIDE YARD WALL FENCE
  - NEW DRIVEWAY APPROACH & APRON
  - LINE OF NEW UPPER FLOOR OUTLINE
  - LINE OF NEW UPPER FLOOR ROOF OVERHANG
  - NEW 3'-6" x 3'-0" CONCRETE STEPPERS (TYP.)
  - NEW 18" SQUARE CONCRETE STEPPERS
  - NEW 2'-0" x 10'-0" OUTDOOR BBQ COUNTER
  - NEW 2'-0" x 3'-0" x 1'-6" WATER FEATURE
  - NEW 5'-0" x 5'-0" x 1'-6" RAISED CORTEN STEEL PLANTER (TYP.) (SEE PLANTING PLAN FOR MORE INFO.)
  - NEW 3'-0" DIA. PREFAB. NON PERMANENT CIRCULAR FIRE PIT
  - NEW SETBACK LINE
  - NEW CONCRETE PAVERS - SIZE VARIES

- ### SITE PLAN NOTES
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
  - CONTRACTOR TO VERIFY EXISTING FIELD CONDITIONS BEFORE COMMENCING ANY WORK.
  - IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, ALLEY STREET PAVEMENT, AND OTHER PUBLIC IMPROVEMENTS WILL BE REQUIRED BY THE CITY AT THE TIME OF PRIVATE CONSTRUCTION COMPLETION. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1-INCH WATER SERVICE, WATER METER BOX, SEWER LATERAL AND/OR CLEANOUT WITH BOX AND LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER (MUNICIPAL CODES 14.24.020 AND 14.09.030). SAID DETERMINATION AND THE EXTEND OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
  - AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY L-6 AND L-18.
  - ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.
  - AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT OF WAY.

**SITE PLAN**  
SCALE: 1/8" = 1'-0"

NOTE:  
EXTERIOR FLOOR FINISHES  
ARE FOR REFERENCE ONLY  
SEE LANDSCAPE PLAN FOR  
MORE INFO.



**RUBIE RESIDENCE**  
35261 CAMINO CAPISTRANO  
CAPISTRANO BEACH, CA 92624

**SITE PLAN**

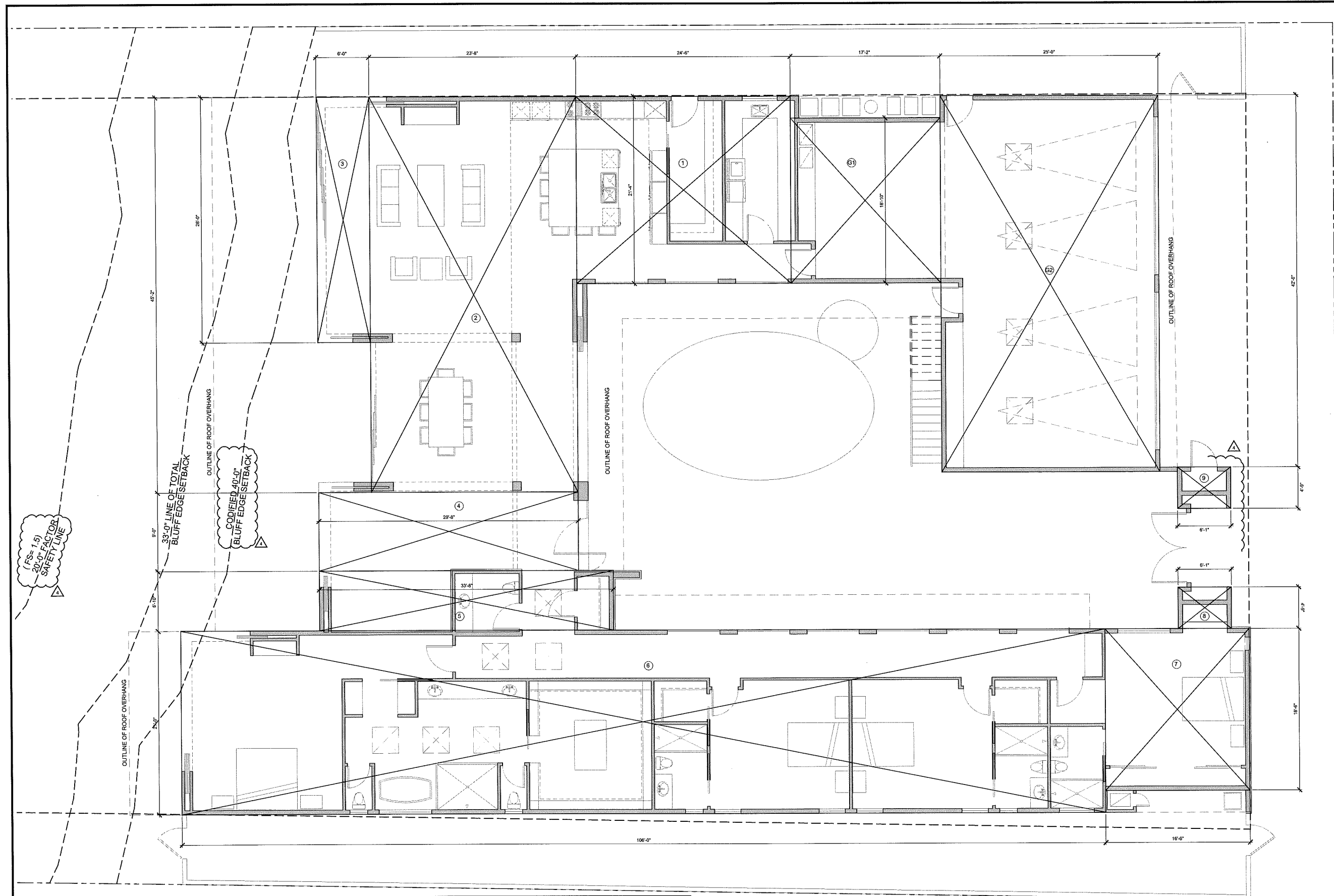
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09/18/18	CDP PLAN CHECK CORRECTIONS
09/20/18	CDP PLAN CHECK CORRECTIONS
10/12/18	CDP PLAN CHECK CORRECTIONS

DRAWN BY: KAM/SA  
CHECKED BY: SA  
DATE: 10/18/18  
JOB #: 1740  
SHEET:

A.001

REVISIONS

4/18/18	CDP PLAN CHECK CORRECTIONS
09/18/18	CDP PLAN CHECK CORRECTIONS
09/20/18	CDP PLAN CHECK CORRECTIONS
10/12/18	CDP PLAN CHECK CORRECTIONS



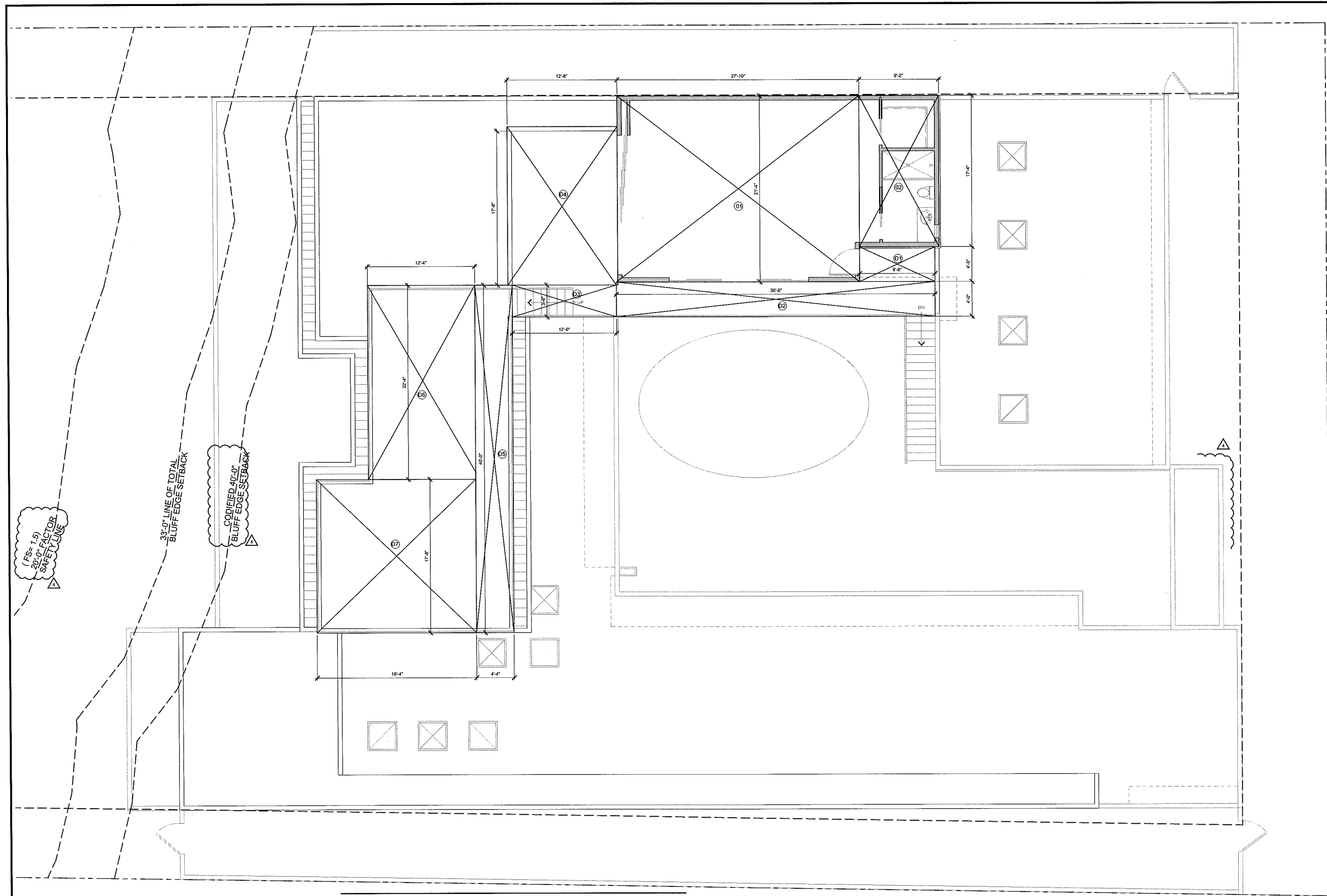
**LOWER LEVEL SQUARE FOOTAGE CALCULATIONS**

GARAGE FLOOR AREA		LOWER LEVEL FLOOR AREA	
DISTANCE	SUB-TOTAL	DISTANCE	SUB-TOTAL
G1. 25.00 x 43.00	1,075.00 S.F.	1. 24.50 x 21.33	522.28 S.F.
G2. 17.17 x 18.83	323.31 S.F.	2. 23.57 x 45.17	1,063.17 S.F.
		3. 6.00 x 28.00	168.00 S.F.
		4. 25.67 x 9.00	231.03 S.F.
		5. 33.57 x 6.83	229.38 S.F.
		6. 106.00 x 21.00	2,226.00 S.F.
		7. 18.50 x 19.50	360.75 S.F.
		8. 6.00 x 4.75	28.50 S.F.
		9. 6.00 x 4.75	28.50 S.F.
<b>TOTAL</b>	<b>1,398.31 S.F.</b>	<b>TOTAL</b>	<b>4,845.75 S.F.</b>

**LOWER LEVEL S.F. CALCULATIONS**

SCALE: 1/4" = 1'-0"





**UPPER LEVEL SQUARE FOOTAGE CALCULATIONS**

ELEVATED TERRACE AREA		UPPER LEVEL FLOOR AREA	
DISTANCE	SUB-TOTAL	DISTANCE	SUB-TOTAL
D1. 8.67 x 4.00	34.68 S.F.	1. 28.00 x 21.33	597.24 S.F.
D2. 36.67 x 4.00	146.68 S.F.	2. 9.17 x 17.33	158.91 S.F.
D3. 12.00 x 3.67	44.04 S.F.		
D4. 12.67 x 17.67	223.87 S.F.	TOTAL	756.15 S.F.
D5. 4.33 x 40.00	173.20 S.F.		
D6. 12.33 x 22.33	275.32 S.F.		
D7. 18.33 x 17.67	323.89 S.F.		
TOTAL	1,221.68 S.F.		

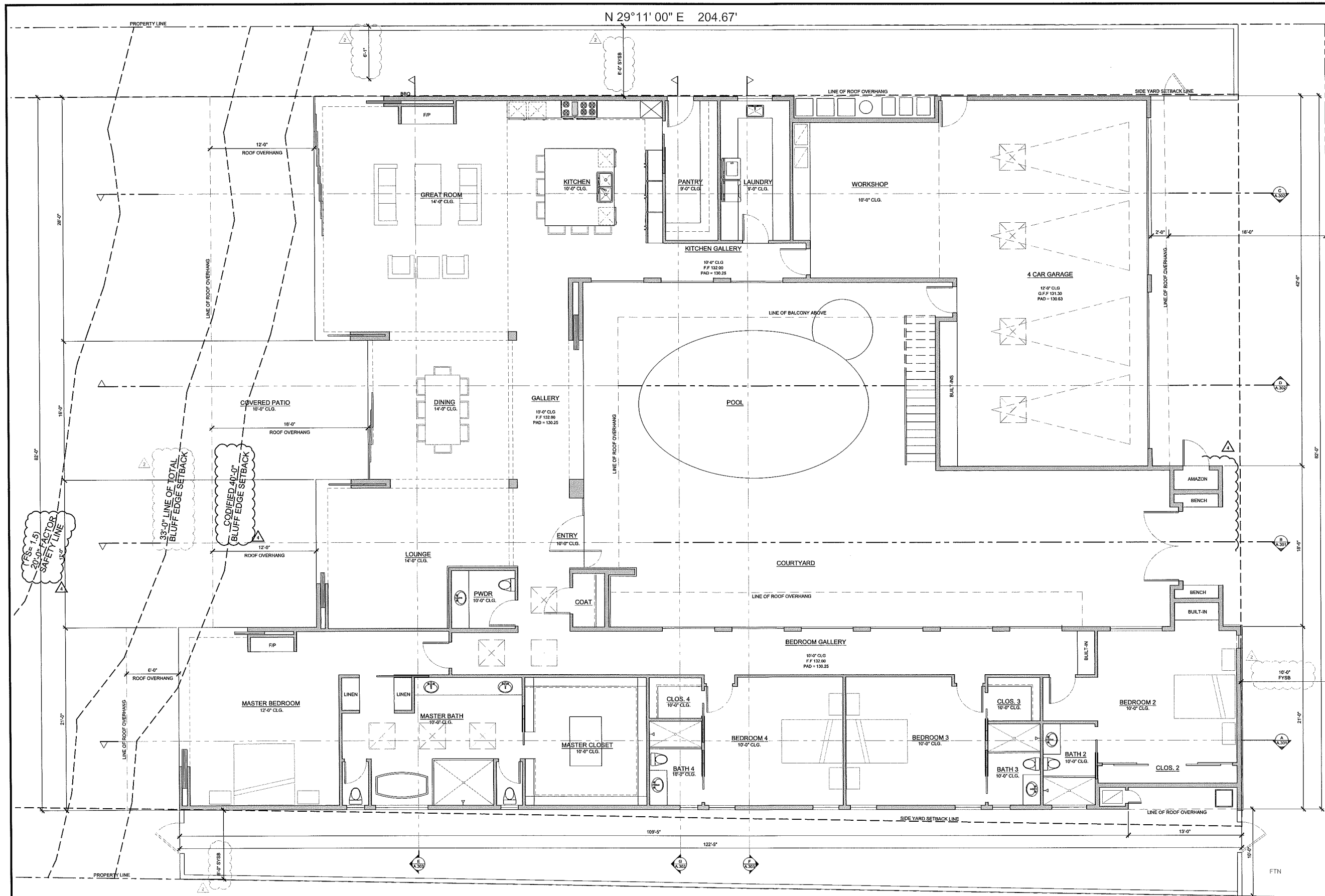
**UPPER LEVEL S.F. CALCULATIONS**

SCALE: 1/4" = 1'-0"



**REVISIONS**

4/18/18	CDP PLAN CHECK CORRECTIONS
06/18/18	CDP PLAN CHECK CORRECTIONS
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10/12/18	CDP PLAN CHECK CORRECTIONS



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 35261 CAMINO CAPISTRANO  
 CAPISTRANO BEACH, CA 92624

**LOWER LEVEL FLOOR PLAN**

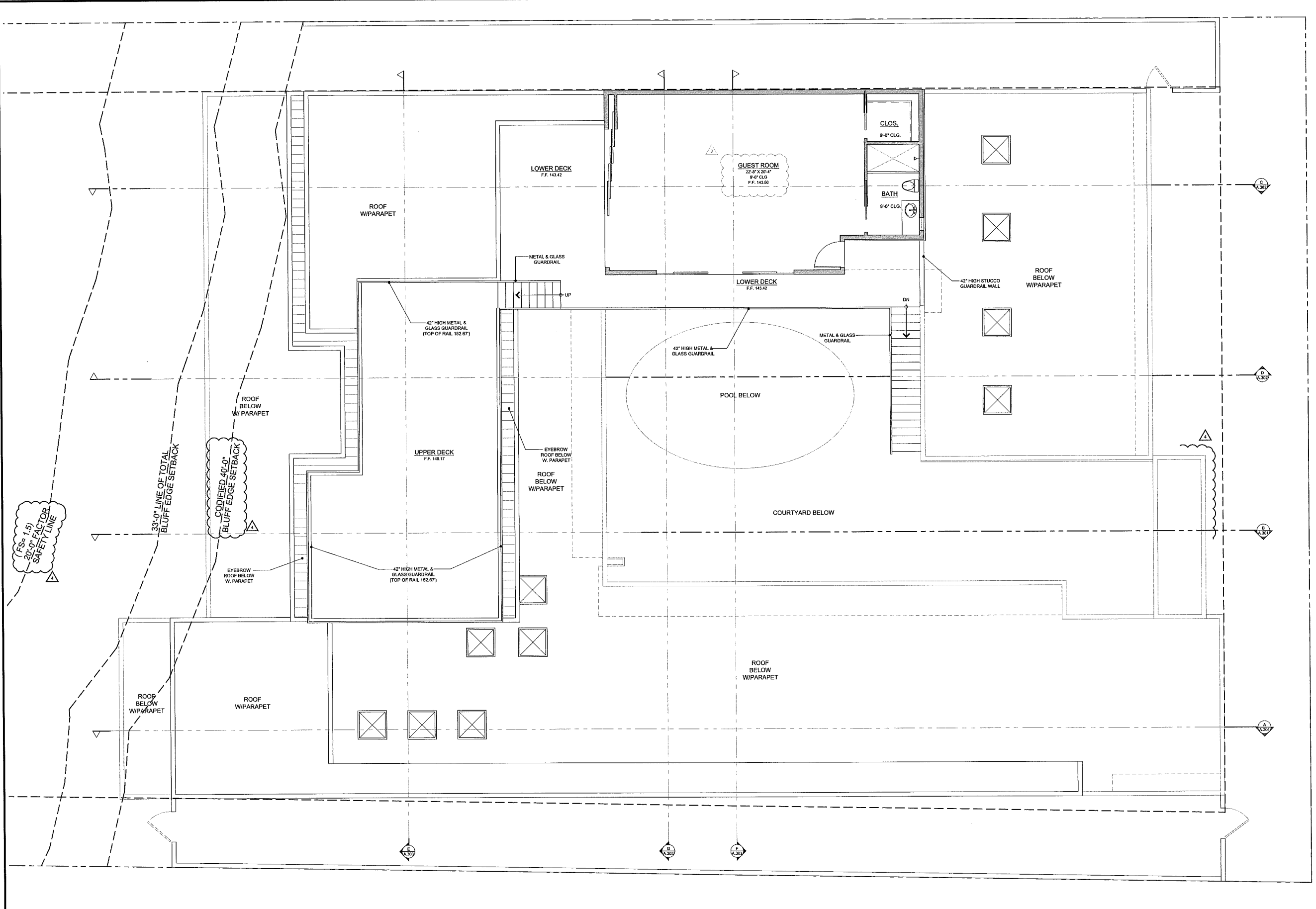
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△ CDP PLAN CHECK CORRECTIONS	10/12/16
△ CDP PLAN CHECK CORRECTIONS	10/12/16

**LOWER LEVEL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



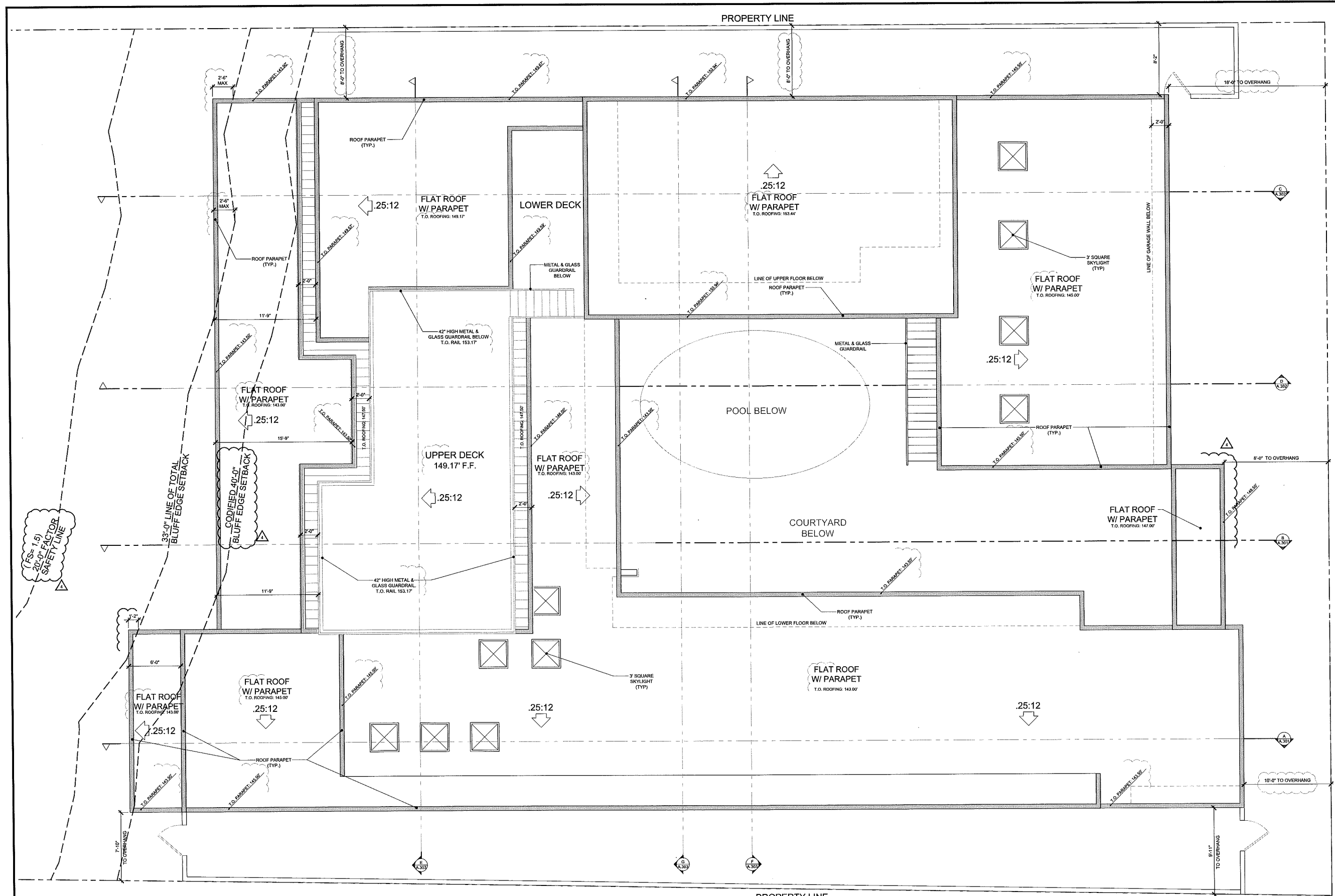
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 CHECKED BY: SJ  
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 JOB #: 1740  
 SHEET:

REVISIONS	
4/18/18	CDP PLAN CHECK CORRECTIONS
09/19/18	CDP PLAN CHECK CORRECTIONS
08/20/18	CDP PLAN CHECK CORRECTIONS
10/12/18	CDP PLAN CHECK CORRECTIONS



UPPER LEVEL FLOOR PLAN  
 SCALE: 1/4" = 1'-0"





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 2880 BOUTIQUE HIGHWAY  
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 ANDRADE ARCHITECTS, INC.

**RUBIE RESIDENCE**  
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 CAPISTRANO BEACH, CA 92624

**ROOF PLAN**

REVISIONS

4/19/18	CDP PLAN CHECK CORRECTIONS
06/18/18	CDP PLAN CHECK CORRECTIONS
09/20/18	CDP PLAN CHECK CORRECTIONS
10/12/18	CDP PLAN CHECK CORRECTIONS

**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

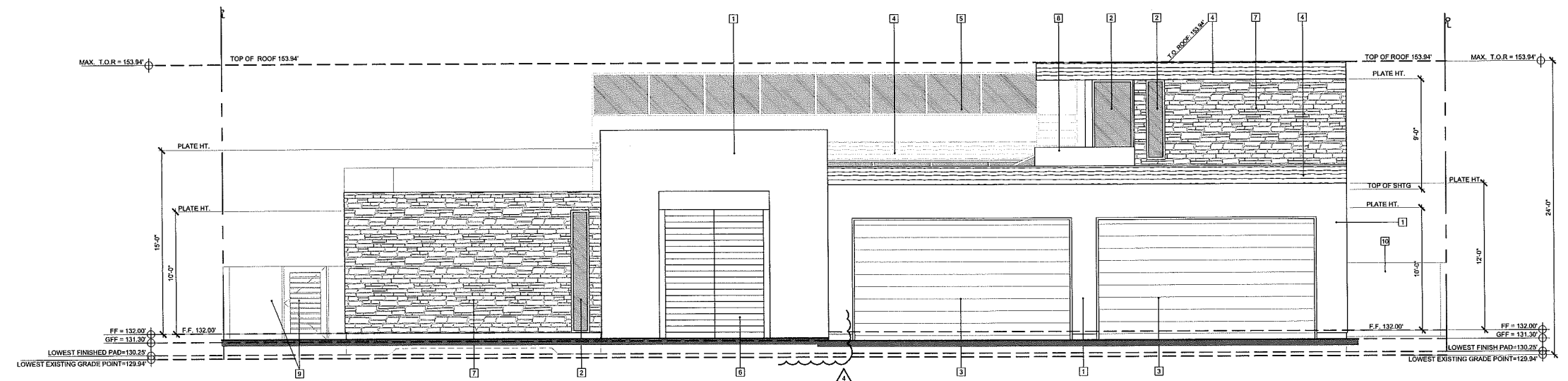
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 CHECKED BY: SA  
 DATE: 10/19/18  
 JOB #: 1749  
 SHEET: A.103

- KEYNOTES**
- SMOOTH STUCCO FINISH
  - METAL CLAD DOORS AND WINDOWS
  - WOOD SECTIONAL GARAGE DOOR
  - METAL FASCIA-COLOR BRONZE
  - 42" HIGH GLASS GUARDRAIL
  - NEW PAIR OF 4'-0" WIDE X 10'-0" HIGH ENTRY GATE
  - STONE VENEER
  - NOT USED
  - 6'-0" HIGH BLOCK WALL (STUCCO FINISH) W/ 3'-6" X 6'-0" HIGH METAL GRILLE GATE
  - 6'-0" HIGH BLOCK WALL W/STUCCO FINISH
  - EYEBROW ROOF W/PARAPET

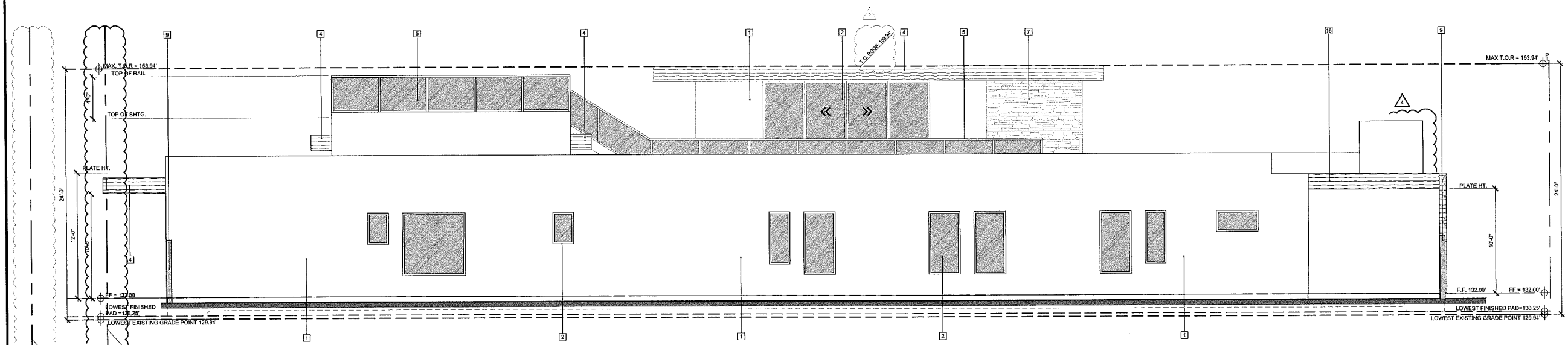
ANDRADE ARCHITECTS, INC.  
 2000 SOUTH COAST HIGHWAY  
 SUITE 100  
 CARLSBAD, CA 92008  
 (760) 439-1111  
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 ANDRADE ARCHITECTS, INC.

**RUBIE RESIDENCE**  
 35261 CAMINO CAPISTRANO  
 CAPISTRANO BEACH, CA 92624

- GENERAL NOTES**
- ALL MATERIALS & COLORS TO MATCH EXISTING
  - PROVIDE 26 GA GI VALLEY FLASHING
  - PROVIDE GUTTERS @ EAVE W/ DOWNSPOUTS CONNECTED TO GROUND DRAINAGE SYSTEM
  - WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" ABOVE EXPOSED EARTH, OR LESS THAN 4" ABOVE HARDSCAPE, SHALL BE OF NATURALLY DURABLE OR PRESSURE-TREATED WOOD



**FRONT ELEVATION**  
 (EAST)  
 SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
 (SOUTH)  
 SCALE: 1/4" = 1'-0"

**EXTERIOR ELEVATIONS**

**REVISIONS**

4/19/18	CDP PLAN CHECK CORRECTIONS
05/17/18	CDP PLAN CHECK CORRECTIONS
06/20/18	CDP PLAN CHECK CORRECTIONS
10/12/18	CDP PLAN CHECK CORRECTIONS

DRAWN BY: KAMB  
 CHECKED BY: SA  
 DATE: 10/10/18  
 JOB #: 1740  
 SHEET: A.201

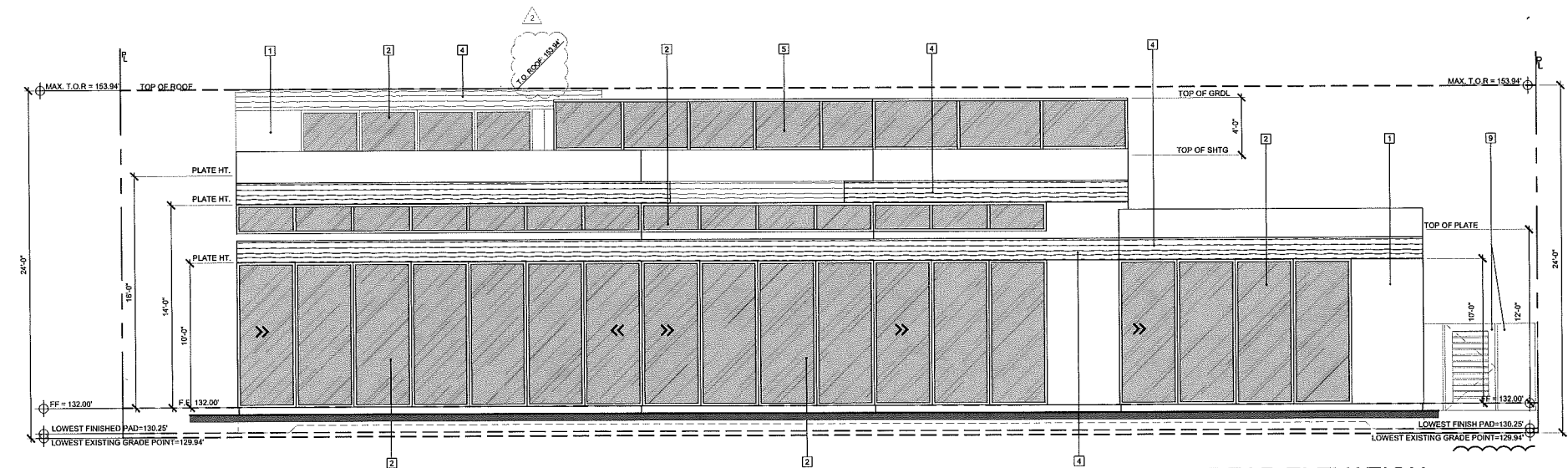
# KEYNOTES

1. SMOOTH STUCCO FINISH
2. METAL CLAD DOORS AND WINDOWS
3. WOOD SECTIONAL GARAGE DOOR
4. METAL FASCIA-COLOR BRONZE
5. 42" HIGH GLASS GUARDRAIL
6. NEW PAIR OF 4'-0" WIDE X 10'-6" HIGH ENTRY GATE
7. STONE VENEER
8. NOT USED
9. 6'-0" HIGH BLOCK WALL (STUCCO FINISH) W/ 3'-6" x 6'-0" HIGH METAL GRILLE GATE
10. 6'-0" HIGH BLOCK WALL W/STUCCO FINISH
11. EYEBROW ROOF W/PARAPET

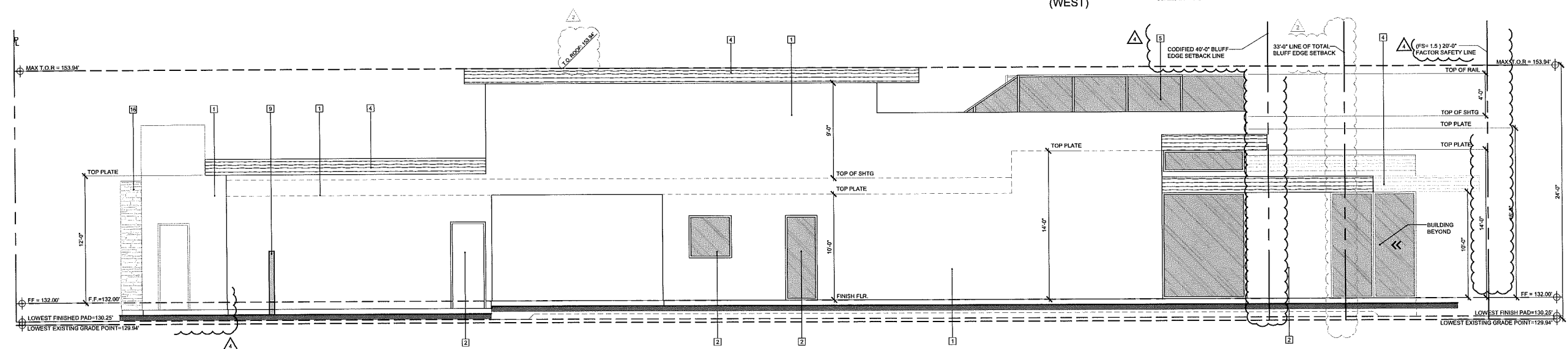
ANDRADE ARCHITECTS, INC.  
 2880 RIVINGTON HIGHWAY  
 SUITE 100, CARLSBAD, CA 92008  
 TEL: 760.439.1111 FAX: 760.439.1112  
 WWW.ANDRADEARCHITECTS.COM  
 ANDRADE ARCHITECTS, INC.

RUBIE RESIDENCE  
 35261 CAMINO CAPISTRANO  
 CAPISTRANO BEACH, CA 92624

EXTERIOR ELEVATIONS



REAR ELEVATION  
 (WEST)  
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
 (NORTH)  
 SCALE: 1/4" = 1'-0"

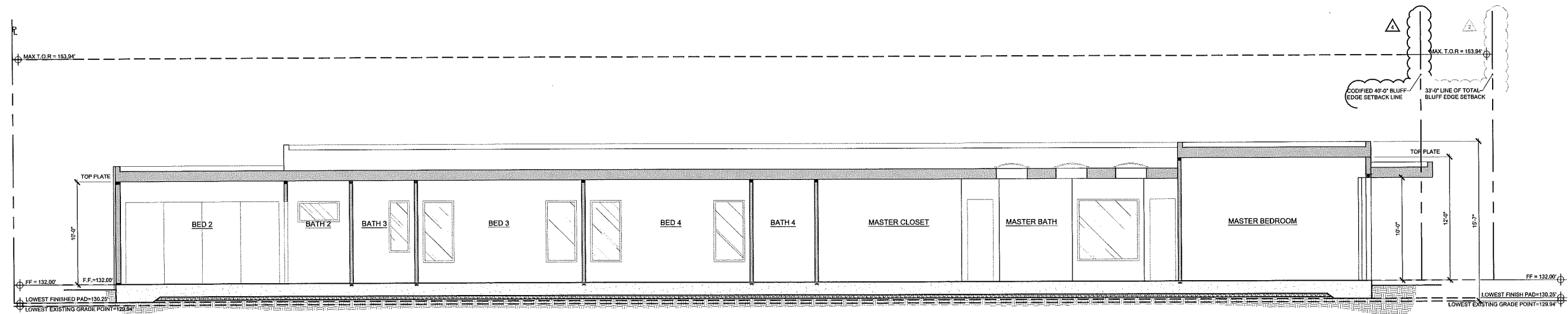
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06/20/18	CDP PLAN CHECK CORRECTIONS
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 CHECKED BY: SA  
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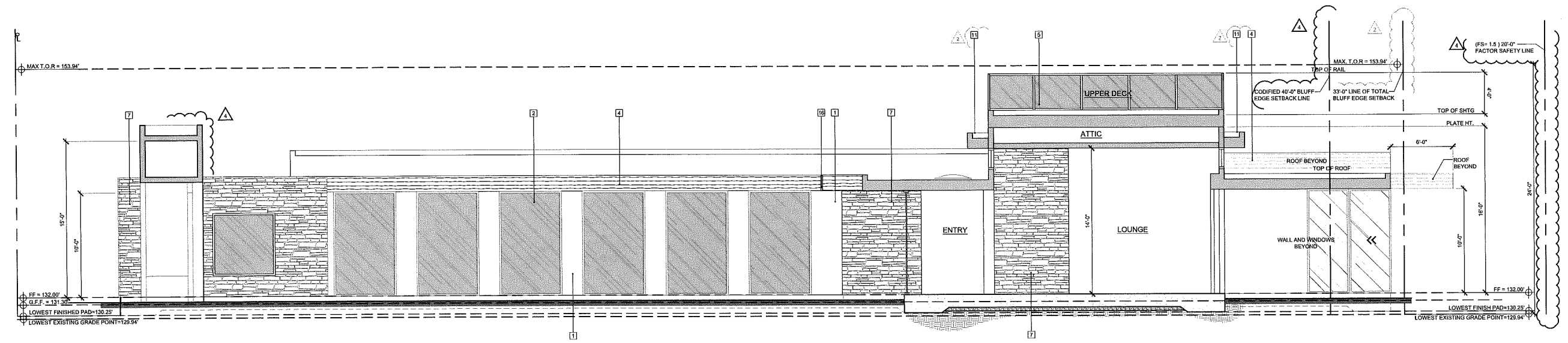


REVISIONS	
△	4/19/18 CDP PLAN CHECK CORRECTIONS
△	06/18/18 CDP PLAN CHECK CORRECTIONS
△	08/20/18 CDP PLAN CHECK CORRECTIONS
△	10/12/18 CDP PLAN CHECK CORRECTIONS

#	KEYNOTES
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2.	METAL CLAD DOORS AND WINDOWS
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4.	METAL FASCIA-COLOR BRONZE
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6.	NEW PAIR OF 4'-0" WIDE X 10'-6" HIGH ENTRY GATE
7.	STONE VENEER
8.	NOT USED
9.	6'-0" HIGH BLOCK WALL (STUCCO FINISH) W/ 3'-6" x 6'-0" HIGH METAL GRILLE GATE
10.	6'-0" HIGH BLOCK WALL W/STUCCO FINISH
11.	EYEBROW ROOF W/ PARAPET



**SECTION A**  
 SCALE: 1/4" = 1'-0"

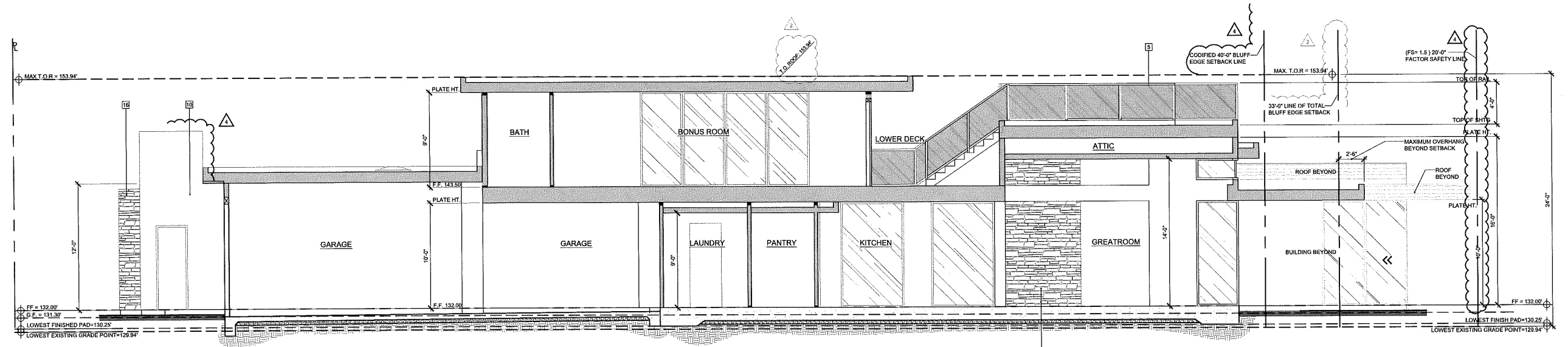


**SECTION B**  
 SCALE: 1/4" = 1'-0"

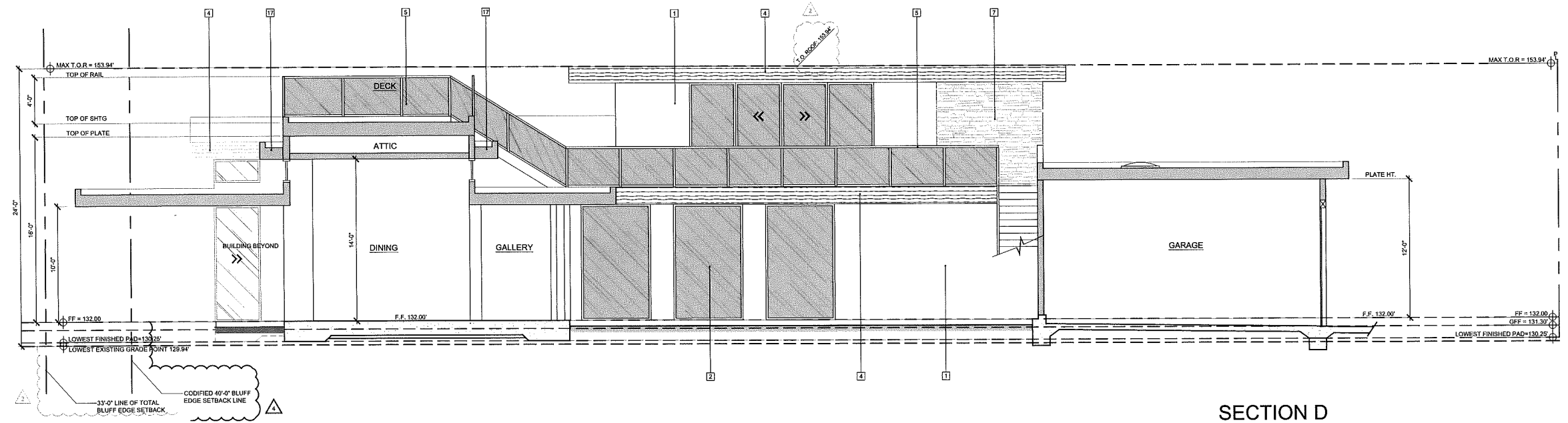
- KEYNOTES**
- SMOOTH STUCCO FINISH
  - METAL CLAD DOORS AND WINDOWS
  - WOOD SECTIONAL GARAGE DOOR
  - METAL FASCIA-COLOR BRONZE
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  - STONE VENEER
  - NOT USED
  - 8'-0" HIGH BLOCK WALL (STUCCO FINISH) W/ 3'-0" x 6'-0" HIGH METAL GRILLE GATE
  - 6'-0" HIGH BLOCK WALL W/STUCCO FINISH
  - EYEBROW ROOF WIPARAFET

ANDRADE ARCHITECTS, INC.  
 280 SOUTH COAST HIGHWAY  
 LAGUNA BEACH, CA 92653  
 PHONE: 949.761.1234  
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 ANDRADE ARCHITECTS, INC.

**RUBIE RESIDENCE**  
 35261 CAMINO CAPISTRANO  
 CAPISTRANO BEACH, CA 92624



**SECTION C**  
 SCALE: 1/4" = 1'-0"



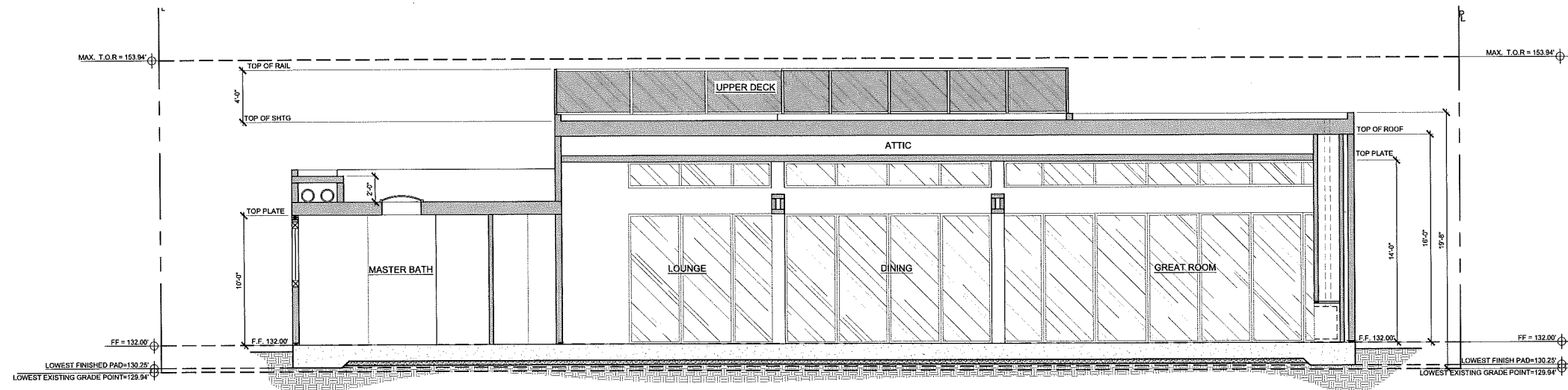
**SECTION D**  
 SCALE: 1/4" = 1'-0"

**BUILDING SECTIONS**

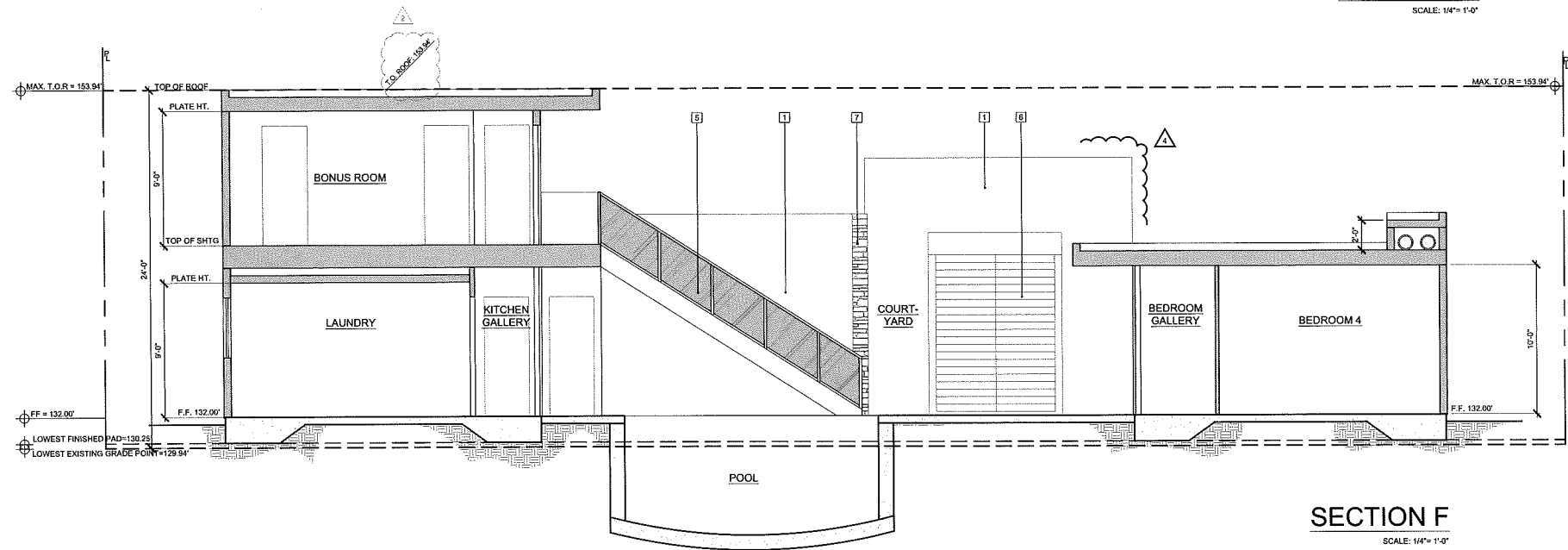
**REVISIONS**

4/19/18	CDP PLAN CHECK CORRECTIONS
06/10/18	CDP PLAN CHECK CORRECTIONS
08/20/18	CDP PLAN CHECK CORRECTIONS
10/12/18	CDP PLAN CHECK CORRECTIONS
10/12/18	CDP PLAN CHECK CORRECTIONS

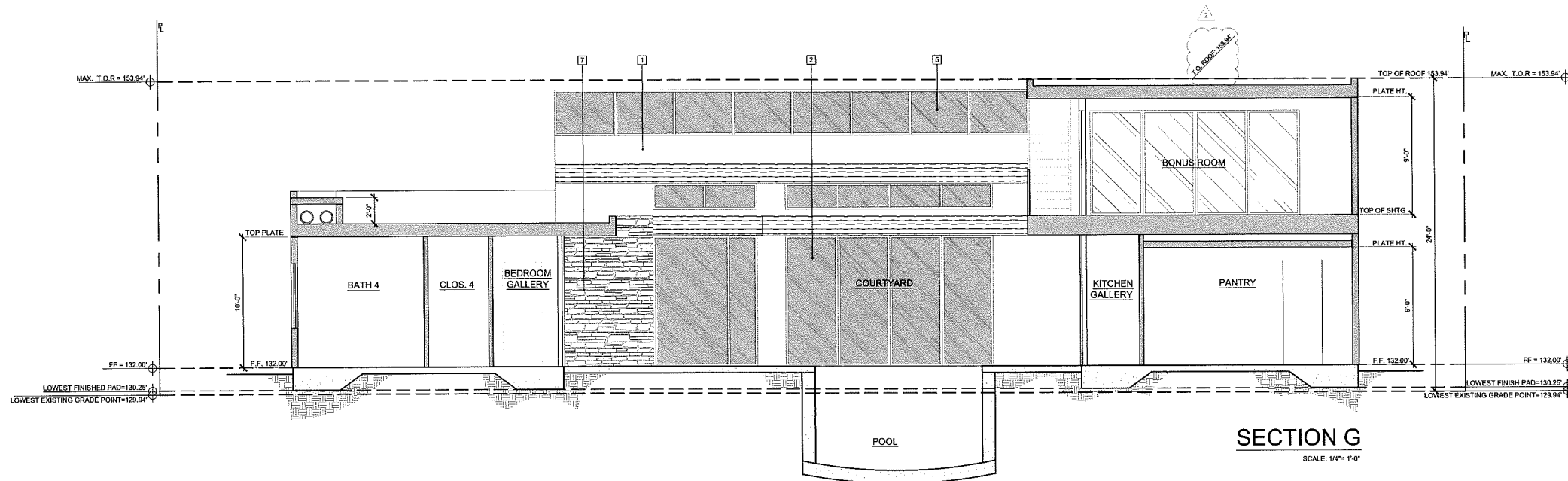
DRAWN BY: KAMB  
 CHECKED BY: SA  
 DATE: 10/10/18  
 JOB #: 1749  
 SHEET:



**SECTION E**  
SCALE: 1/4" = 1'-0"



**SECTION F**  
SCALE: 1/4" = 1'-0"



**SECTION G**  
SCALE: 1/4" = 1'-0"

**KEYNOTES**

1. SMOOTH STUCCO FINISH
2. METAL CLAD DOORS AND WINDOWS
3. WOOD SECTIONAL GARAGE DOOR
4. METAL FASCIA-COLOR BRONZE
5. 42" HIGH GLASS GUARDRAIL
6. NEW PAIR OF 4'-0" WIDE X 10'-6" HIGH ENTRY GATE GRILLE GATE
7. STONE VENEER
8. NOT USED
9. 6'-0" HIGH BLOCK WALL (STUCCO FINISH) W/ 3'-6" x 6'-0" HIGH METAL GRILLE GATE
10. 6'-0" HIGH BLOCK WALL W/STUCCO FINISH
11. EYEBROW ROOF W/PARAPET

ANDRADE ARCHITECTS, INC.  
2880 SCOTT COUNTRYWAY  
LOS ANGELES, CALIFORNIA 90047  
PHONE: (310) 410-1000  
FAX: (310) 410-1001  
WWW.ANDRADEARCHITECTS.COM  
ANDRADE ARCHITECTS, INC.

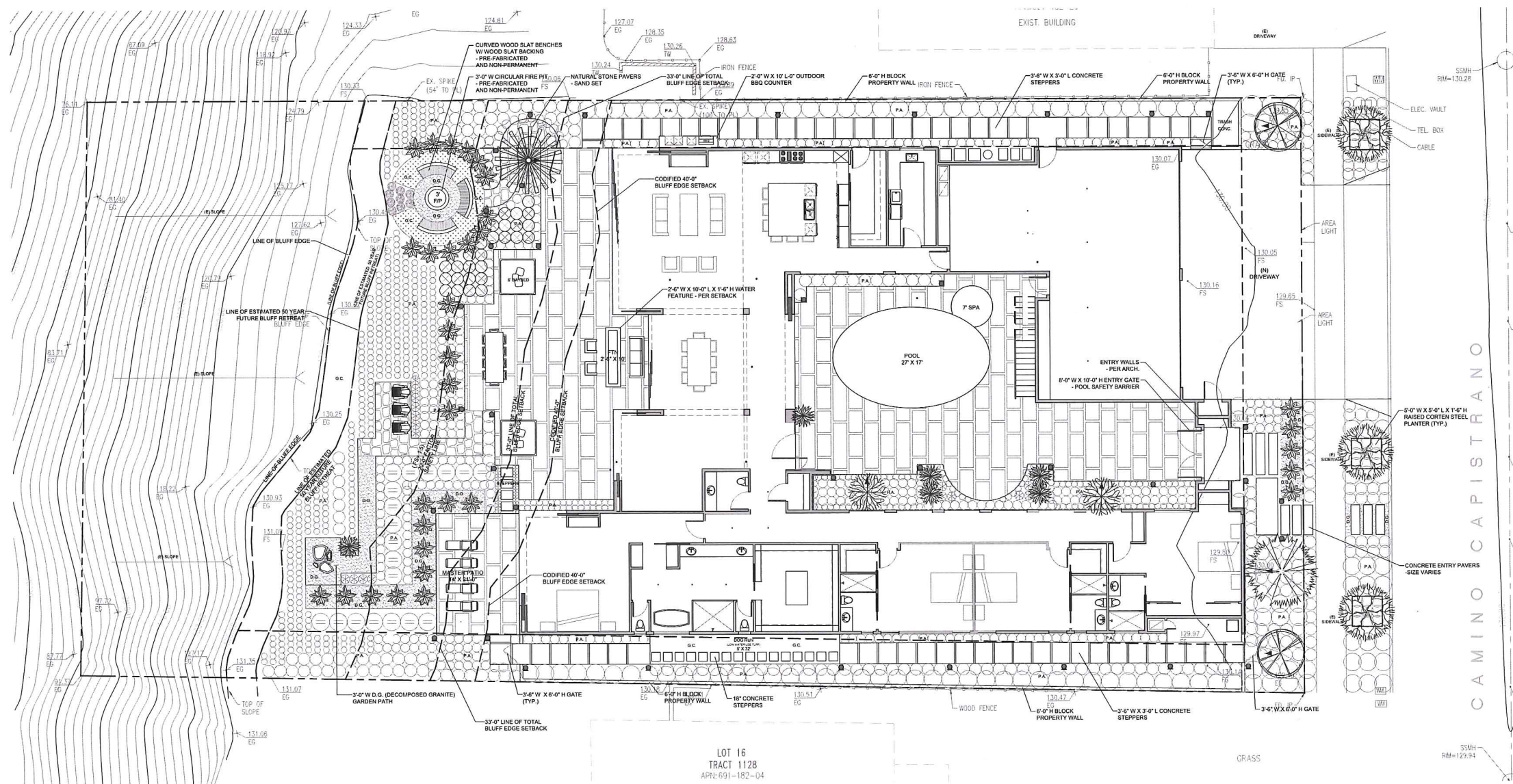
**RUBIE RESIDENCE**  
35261 CAMINO CAPISTRANO  
CAPISTRANO BEACH, CA 92624

**BUILDING SECTIONS**

**REVISIONS**

4/19/18	CDP PLAN CHECK CORRECTIONS
09/18/18	CDP PLAN CHECK CORRECTIONS
08/20/18	CDP PLAN CHECK CORRECTIONS
10/12/18	CDP PLAN CHECK CORRECTIONS

DRAWN BY: KAMB  
CHECKED BY: SA  
DATE: 10/10/18  
JOB #: 1749  
SHEET:



ANDRAE ARCHITECTS, INC.  
 2860 SOUTH COAST HIGHWAY  
 LAGUNA BEACH, CA 92651  
 TEL: 949.498.1111  
 FAX: 949.498.1112  
 ANDRAEARCHITECTS.COM

**RUBIE RESIDENCE**  
 35261 CAMINO CAPISTRANO  
 CAPISTRANO BEACH, CA 92624

**PRELIMINARY  
 LANDSCAPE PLAN**

**PRELIMINARY LANDSCAPE PLAN**  
 SCALE: 1/8" = 1'-0"

**INSPIRATION IMAGES**



**NOTE:**  
 NO IRRIGATION IS ALLOWED WITHIN THE BLUFF EDGE SETBACK.

LIGHTING LEGEND			
QUANTITY	DESCRIPTION	MANUFACTURER/ MODEL #	REMARKS
7	UPLIGHT	ALLIANCE/ BL50 LED 4 W 1M11 BULLET LIGHT (LOW VOLTAGE)	DIRECTIONAL UPLIGHTS (BENEATH TREES ONLY). ORIENT AS SHOWN ON PLAN.
37	DOWNLIGHT / PATHLIGHT	ALLIANCE/ DL50 LED 4 W 1M11 BULLET LIGHT (LOW VOLTAGE)	ORIENT AS SHOWN ON PLAN.
(44 TOTAL)			

- LIGHTING NOTES:**
1. FINISH: B - AGED BRASS FINISH
  2. MOUNTING: GROUND MOUNTED FIXTURES TO BE MOUNTED ON ALLIANCE PERMAPOST
  3. INSTALL PER MANUFACTURER INSTRUCTIONS. LIGHTING LOCATIONS PER OWNERS.
  4. THE LIGHT SOURCE FOR DIRECTIONAL UPLIGHTS AND FLOODLIGHTS MUST BE SHIELDED FROM DIRECT VIEW FROM NEIGHBORING PROPERTIES.

**IRRIGATION NOTES:**  
 DRIP IRRIGATION W/ SMART CONTROLLER - (TO MATCH EXISTING)  
 RAINDURO VFS SUBSURFACE PRESSURE REGULATED DRIFTLINE

**PLANTING NOTES:**  
 P.A. = PLANTING AREA | G.C. = GROUND COVER | D.G. = DECOMPOSED GRANITE

**EQUIPMENT NOTES:**  
 POOL / SPA EQUIPMENT TO BE LOCATED PER ARCHITECTURAL PLANS

**DRAINAGE NOTES:**  
 SEE DRAINS PER ENGINEERS PLAN

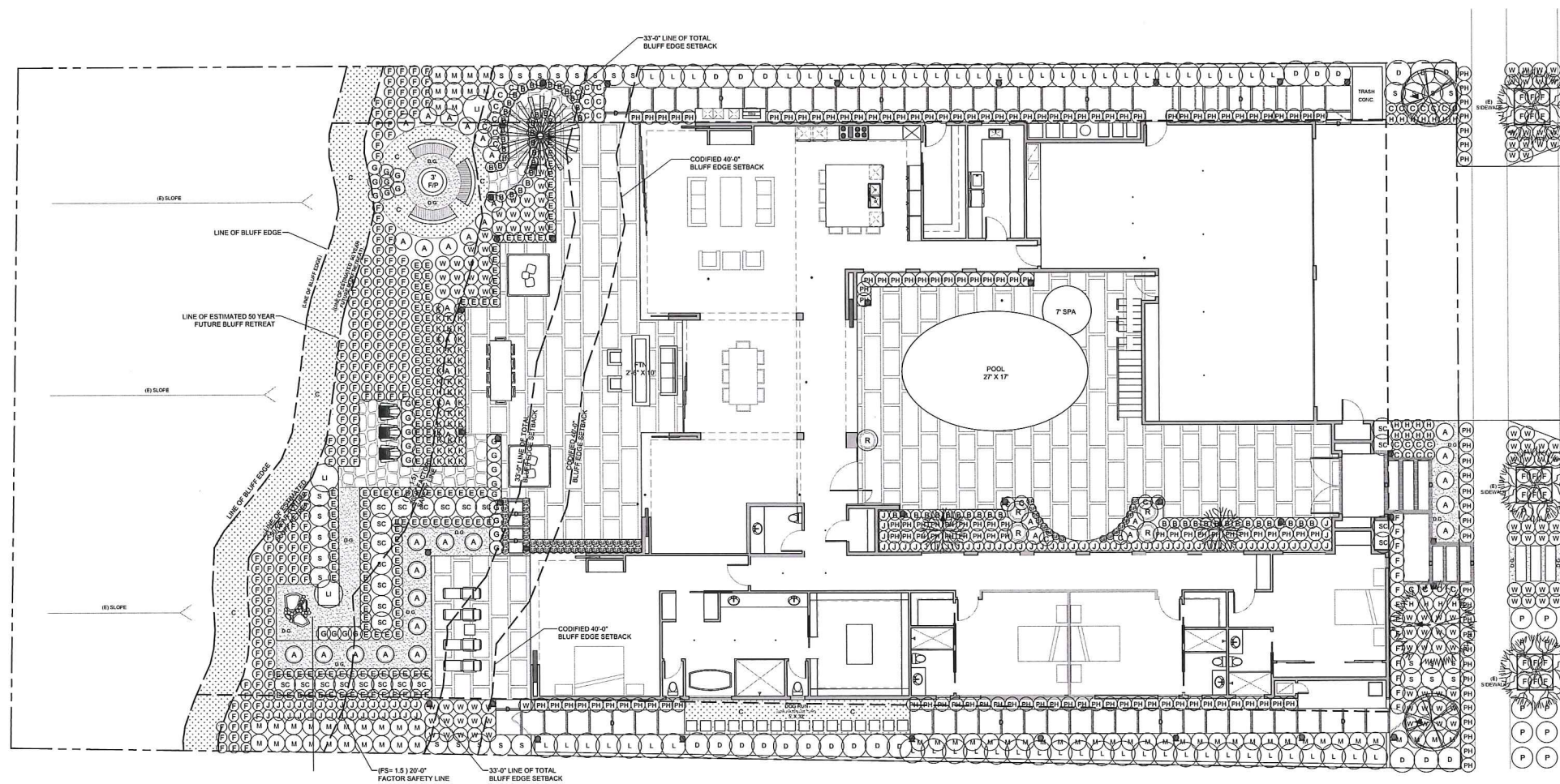
**SQUARE FOOTAGES**

TOTAL LOT AREA:	20,090.00 SQ. FT
BUILDING AREA:	6,336.00 SQ. FT
TOTAL LANDSCAPE AREA:	13,754.00 SQ. FT = 100%
DECORATIVE HARDSCAPE (IMPERVIOUS):	3,134.50 SQ. FT = 22.8%
SOFTSCAPE (PERVIOUS):	10,619.50 SQ. FT = 77.2%
INCLUDING - EXISTING LANDSCAPE (COASTAL BLUFF - TO REMAIN)	3,616.25 SQ. FT = 26.0%
BASIC CONCRETE:	1,932.00 SQ. FT = 13.9%
POOL / SPA / WATER FEATURE:	400.25 SQ. FT = 2.9%

**REVISIONS**

04/19/18	CDP PLAN CHECK CORRECTIONS
06/18/18	CDP PLAN CHECK CORRECTIONS
08/20/18	CDP PLAN CHECK CORRECTIONS
09/18/18	CDP PLAN CHECK CORRECTIONS

DRAWN BY: TP/DM  
 CHECKED BY: KA  
 DATE: 10/11/18  
 JOB #: 1749  
 SHEET: L.101



CAMINO CAPISTRANO

ANDRADE ARCHITECTS, INC.  
 2880 SOUTH COAST HIGHWAY  
 LAGUNA BEACH, CA 92653  
 ANDRADEARCHITECTS.COM  
 (949) 435-1111

**RUBIE RESIDENCE**  
 35261 CAMINO CAPISTRANO  
 CAPISTRANO BEACH, CA 92624

**PLANTING PALETTE**

PLAN SYMBOL:	BOTANICAL NAME:	COMMON NAME:	CONTAINER:	HEIGHT/ WIDTH:	WUCOLS PLANT FACTOR (REGION 3)
<b>TREES:</b>					
	AGONIS FLEXUOSA 'VERV'S BAY AFTERDARK'	PEPPERMINT WILLOW	24" BOX	15' H X 10' W	L
	ARBUTUS UNEDO 'COMPACTA'	STRAWBERRY TREE - MULTI TRUNK	24" BOX	12' H X 10' W	L
	DRACAENA DRACO	DRAGON TREE	36" BOX	15' H X 10' W	VL
	PARKINSONIA 'DESERT MUSEUM'	PALO VERDE 'DESERT MUSEUM' - MULTI TRUNK	24" BOX	20' H X 15' W	VL
	PRUNUS CAROLINIANA 'BRIGHT N TIGHT'	CHERRY LAUREL 'BRIGHT N TIGHT'	24" BOX	12' H X 12' W	M
<b>SHRUBS:</b>					
	AGAVE ATTENUATA	FOXTAIL AGAVE	1 GAL	3' H X 3' W	L
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	1 GAL	2' H X 2' W	L
	ALOE STRIATA	CORAL ALOE	1 GAL	2' H X 2' W	L
	BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	1 GAL	2' H X 4' W	L
	BULBINE FRUTESCENS 'TINY TANGERINE'	STALKED BULBINE	1 GAL	18" H X 18" W	L
	CORDYLINE AUSTRALIS 'RED STAR'	RED STAR DRACAENA PALM	1 GAL	3' H X 2' W	L
	DODONAEA VISCOSA PURPUREA	PURPLE HOPSEED BUSH	5 GAL	6' H X 3' W	L
	EUPHORBIA RIGIDA	SILVER SPURGE	1 GAL	2' H X 3' W	L
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL	2' H X 2' W	L
	HESPERALOE PARVIFOLIA 'PERPA'	RED YUCCA 'BRAKELIGHTS'	1 GAL	3' H X 2' W	VL
	JUNCUS PATENS	GRAY RUSH	1 GAL	3' H X 18" W	L
	KALANCHOE LUCIAE	PADDLE PLANT	1 GAL	2' H X 2' W	L
	LAURUS NOBILIS 'LIL RAGU'	SWEET BAY 'LIL RAGU'	5 GAL	6' H X 4' W	L
	LEONOTIS LEONURUS	LIONS TAIL	5 GAL	5' H X 5' W	L
	LEUCADENDON 'JESTER'	SUNSHINE CONEBUSH	5 GAL	4' H X 4' W	L
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	4' H X 4' W	L
	PHORMIUM TENAX 'YELLOW WAVE'	DIWARF VARIEGATED NEW ZEALAND FLAX	1 GAL	3' H X 2' W	L
	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	5 GAL	4' H X 3' W	L
	SANSEVERIA TRIFASCIATA	SNAKE PLANT	1 GAL	3' H X 18" W	L
	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	5 GAL	3' H X 3' W	L
<b>GROUNDCOVERS:</b>					
	CAREX PANSA	SAND DUNE SEDGE	FLATS	1' H X 2' W	L
	DYMONDIA MARGARATAE	SILVER CARPET	FLATS	2' H X 2' W	L

**LANDSCAPE PLANTING PLAN**

SCALE: 1/8" = 1'-0"

**NOTE:**  
 NO IRRIGATION IS ALLOWED WITHIN THE BLUFF EDGE SETBACK.

**IRRIGATION NOTES:**  
 AUTOMATIC DRIP IRRIGATION W/ SMART CONTROLLER, RAINBIRD XFS SUBSURFACE PRESSURE REGULATED DRIFLINE.

**PLANTING NOTES:**  
 P.A. = PLANTING AREA | G.C. = GROUNDCOVER | D.G. = DECOMPOSED GRANITE

**DRAINAGE NOTES**

- PROVIDE 2% MIN. SLOPE AWAY FROM HOUSE ON ALL HARDSCAPE AND 5% MINIMUM SLOPE AWAY FROM HOUSE FOR PLANTING AREAS.
- FINAL DRAINAGE LAYOUT PER CIVIL ENGINEER.
- PLANTER DRAINAGE LAYOUT PER CIVIL ENGINEER.

P.A. - PLANTING AREA (SEE LANDSCAPE PLANTING PLAN - SHEET P.101)

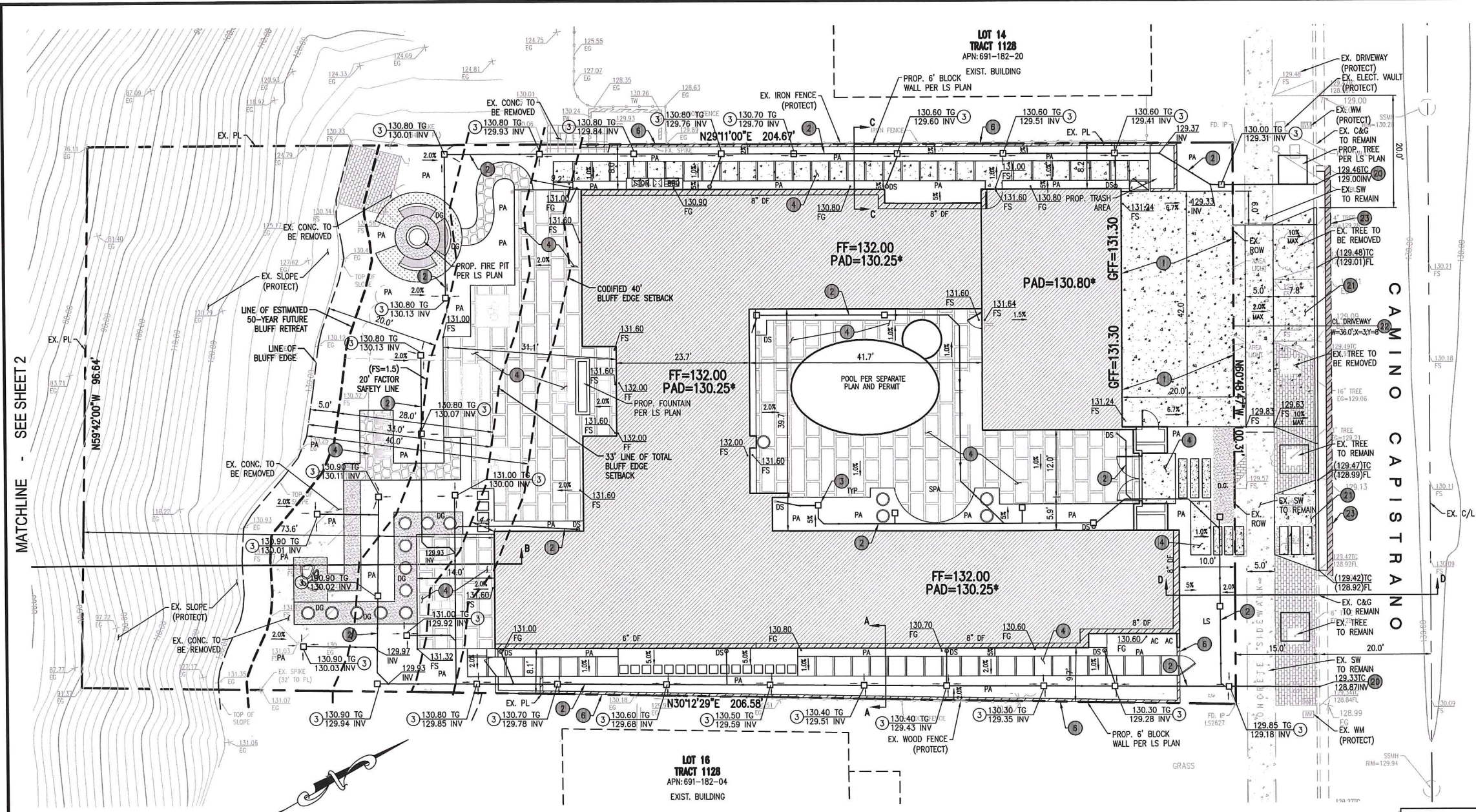


**LANDSCAPE PLANTING PLAN**

**REVISIONS**

	04/18/18	CDP PLAN CHECK CORRECTIONS
	06/18/18	CDP PLAN CHECK CORRECTIONS
	08/20/18	CDP PLAN CHECK CORRECTIONS
	09/18/18	CDP PLAN CHECK CORRECTIONS

DRAWN BY: TPDM  
 CHECKED BY: KA  
 DATE: 10/11/18  
 JOB #: 1740  
 SHEET: P.101



**OWNER:**  
MR. JEFF RUBIE  
35261 CAMINO CAPISTRANO  
DANA POINT, CA 92624

**SITE ADDRESS:**  
35261 CAMINO CAPISTRANO  
DANA POINT, CA 92624

**APN:**  
691-182-03

**LEGAL DESCRIPTION:**  
LOT 15, TRACT 1128

**LOT AREA**  
A=20,090 SF/±0.46AC (RECORD)  
A=20,247 SF/±0.46AC (CALCULATED)

**EARTHWORK QUANTITIES**  
RAW CUT: 15 CY  
RAW FILL: 75 CY  
RAW IMPORT: 60 CY

**IMPERVIOUS AREA**  
TOTAL IMPERVIOUS AREA PROPOSED: 13,765 SF

- CONSTRUCTION NOTES**
- ONSITE**
- CONSTRUCT 5" MIN. THICK P.C.C. DRIVEWAY/HARDSCAPE PER SOILS ENGINEER'S RECOMMENDATION & DETAIL HEREON. COLOR AND FINISH PER ARCH PLANS.
  - INSTALL 4" PVC (SDR 35) DRAIN PIPE.
  - INSTALL 6"x6" NDS AREA DRAIN PER DETAIL HEREON.
  - CONSTRUCT 5" MIN. THICK P.C.C. SIDEWALK, COLOR AND FINISH PER ARCH PLANS.
  - INSTALL 4" DIA. ATRIUM DRAIN PER DETAIL HEREON.
  - CONSTRUCT BLOCK WALL PER LS PLAN & SEPARATE PERMIT.
  - INSTALL 6" BRASS GRATE (NDS #1214)
  - INSTALL 4" ROUND GRATE (NDS #11)

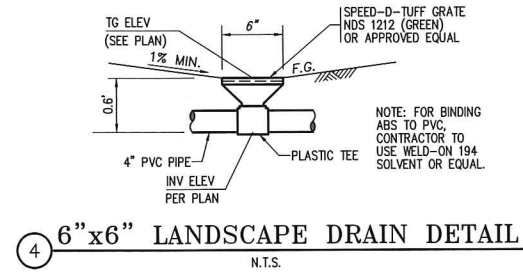
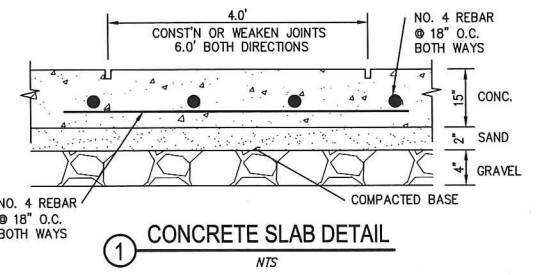
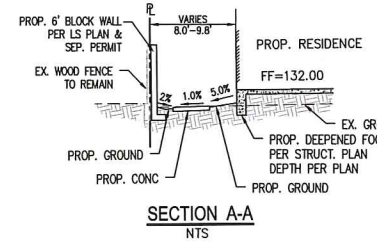
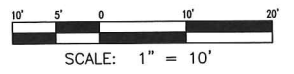
- OFFSITE**
- CURB CORE THRU CURB PER CITY OF DANA POINT STD S-9A
  - SAWCUT & REMOVE EXIST. DRIVEWAY FLARE & CURB & CUTTER
  - CONSTRUCT 6" PCC DRIVEWAY
  - SAWCUT/REMOVE & REPLACE EXIST. A.C. (1.0' MIN. FULL DEPTH)

ABBREVIATION	LEGEND
ACFS - ASPHALT CONCRETE	--- PROPERTY LINE
CL - CENTERLINE	--- CENTER LINE
CONC - CONCRETE	▭ BUILDING FOOTPRINT
CPPK - CONTROL POINT PIKE	▭ PROP. BLOCK WALL
CPPL - CONTROL POINT PL	▭ EX. BLOCK WALL
CPK - CONTROL POINT	▭ CONCRETE PAVEMENT
DI - DRAIN INLET	○ SPOT ELEVATION
DWY - DRIVEWAY	○ TREE/BUSH
DS - DOWNSPOUT	○ FIRE HYDRANT
EG - EXISTING GROUND	○ WATER VALVE
FD - FOUND	○ WATER METER
FF - FINISH FLOOR	○ PALM TREE
FL - FLOWLINE	○ IRON FENCE
FS - FINISH SURFACE	○ EXISTING LIGHTPOST
GAR - GARAGE	PA - PLANTER AREA
IRR - IRRIGATION	SOS - SIDE OF SLOPE
LS - LANDSCAPE	
NG - NATURAL GROUND	
PL - PROPERTY LINE	
PK - PIKE	
RR - RAILROAD TIES	
SMH - SEWER MANHOLE	
STP - STEP	
SOS - SHOT ON SLOPE	
TC - TOP OF CURB	
TG - TOP GRADE	
TBM - TEMPORARY BENCHMARK	
TW - TOP OF WALL	
TWF - TOP OF WOOD FENCE	
TWSTP - TOP OF WALL STEP	
WF - WOODEN FENCE	
WM - WATER METER	
WI - WROUGHT IRON	
INV - INVERT	

**NOTE:**  
THE FIRST 10 FEET TO THE BUILDING FOUNDATION, SHALL SLOPE A MINIMUM OF 2% AWAY FROM BUILDING FOUNDATION FOR HARDSCAPE (IMPERVIOUS) AND A MINIMUM OF 5% SLOPE IS REQUIRED FOR LANDSCAPE (NATURAL GROUND)

MATCHLINE - SEE SHEET 2

CAMINO CAPISTRANO

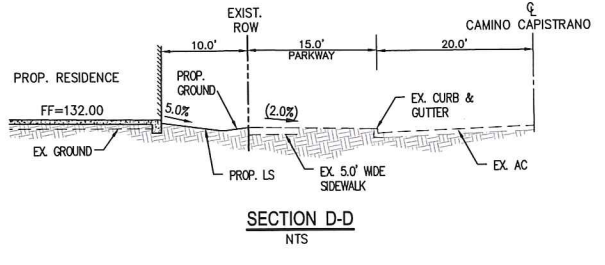
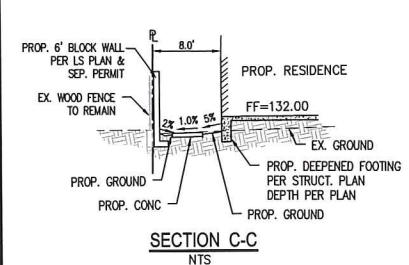
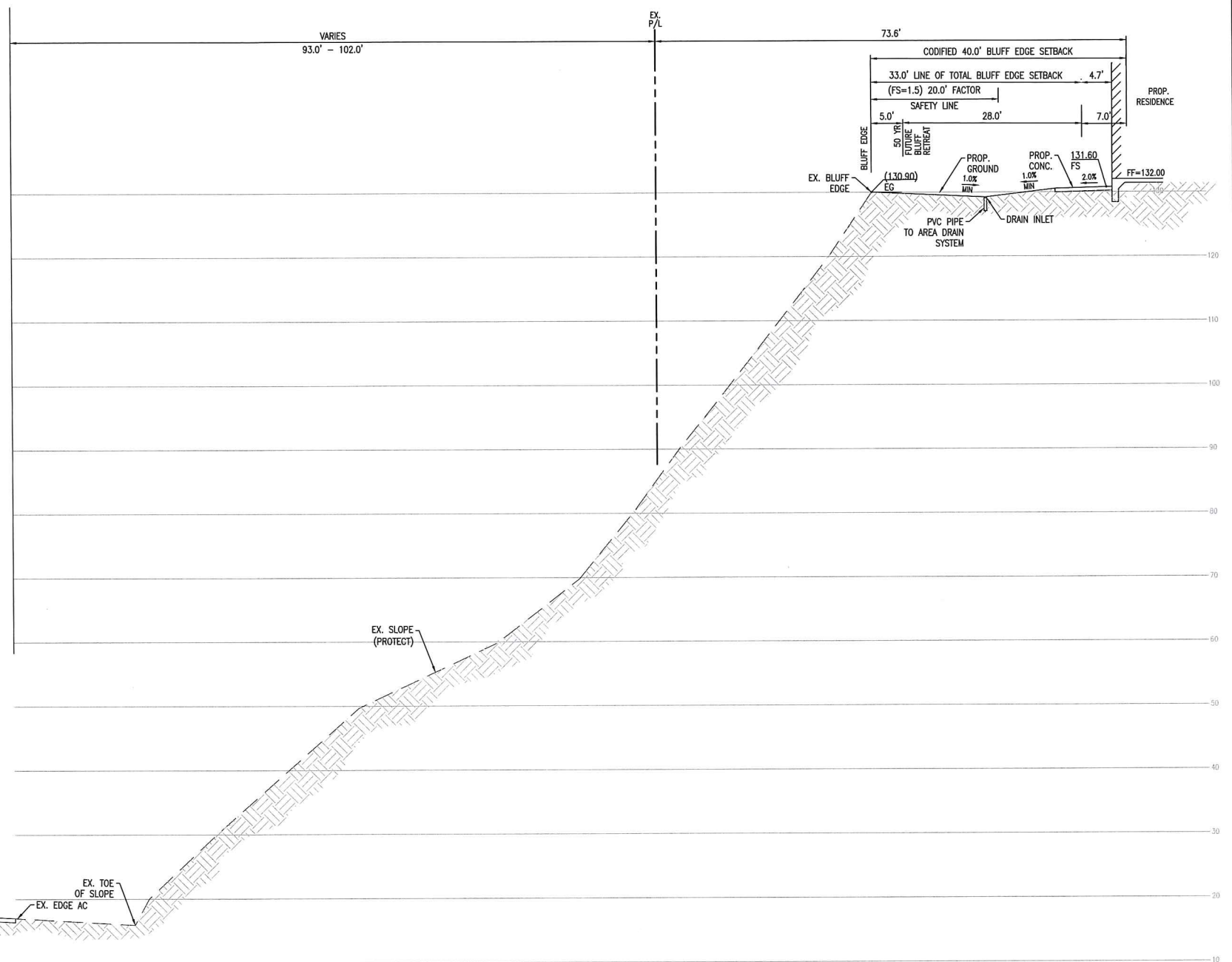
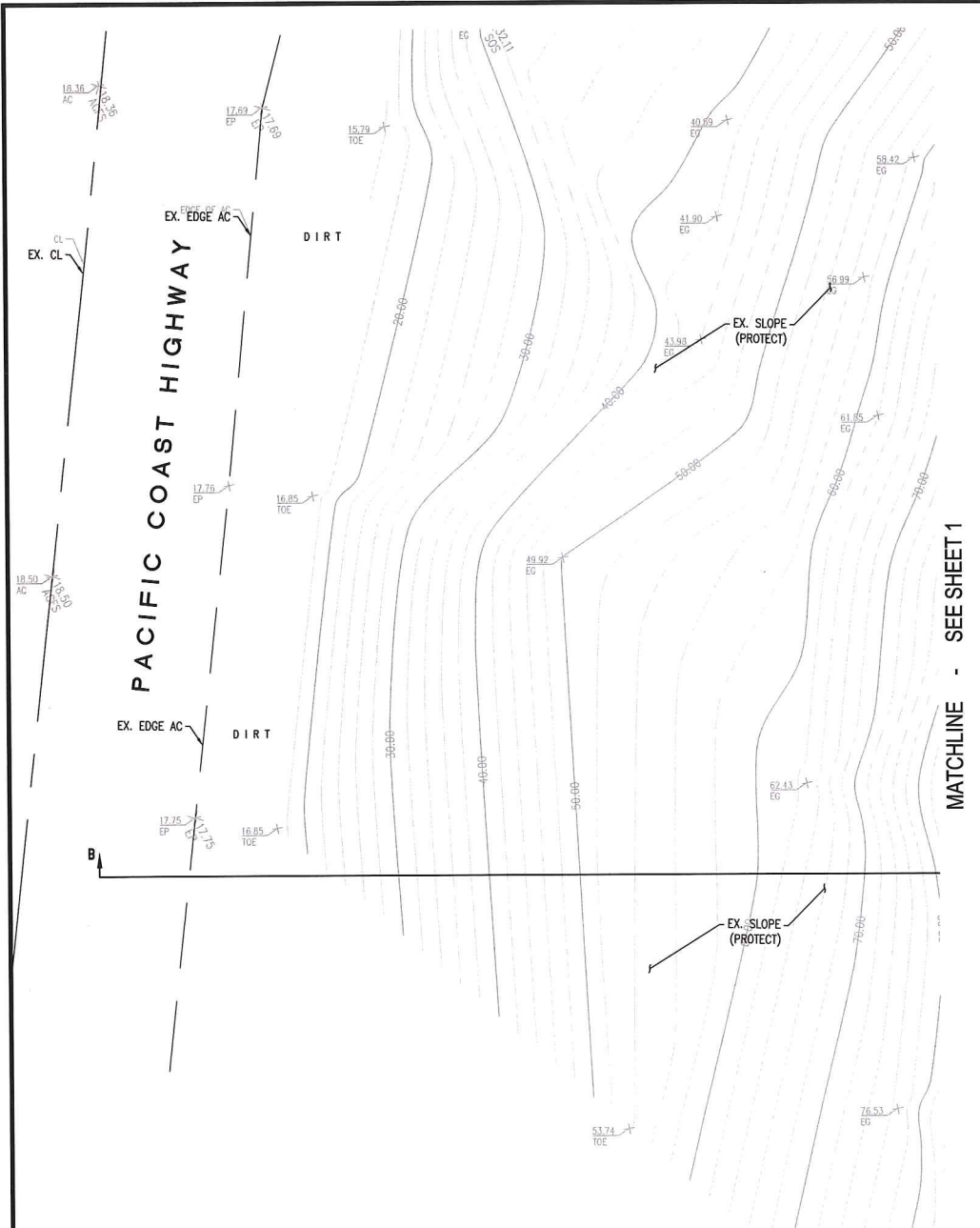


**BENCH MARK:**  
DESIGNATION: 3P-51-68  
DESCRIBED BY OCS 2003 - FOUND 3 1/2" OCS ALUMINUM BENCHMARK DISK STAMPED "3P-51-68", SET IN THE TOP OF A CONCRETE HEADWALL MONUMENT IS LOCATED ALONG THE SOUTHWESTERLY SIDE OF EL CAMINO REAL, 1.3 MILES SOUTHWESTERLY FROM THE CENTERLINE OF HIGHWAY 1, 27.6 FT. SOUTHWESTERLY OF THE CENTERLINE OF CAMINO REAL AND ACROSS FROM A LARGE STONE STAIRCASE LEADING TO THE TOP OF THE BLUFF. MONUMENT IS SET 1.2 FT. LOWER THAN THE ROAD.  
ELEVATION : 20.026' (NAVD88); 17.745' (NGVD29), YEAR LEVELED: 1989

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ORIGINAL SCALE: 1/8" = 1'-0"

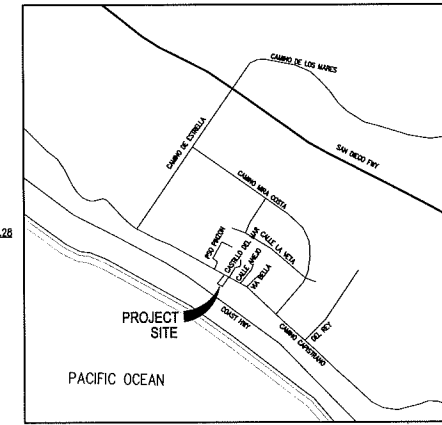
REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT:	CITY OF DANA POINT	C1
				ACAD FILE NO.	JR	RR	GVE	GRAND KNIGHT ENGINEERING, Inc. 24881 ALICIA PARKWAY E-243 LAGUNA HILLS, CALIFORNIA, 92653 ph:949.228.1570 fx:949.208.2843	DESIGNATION : 3P-51-68 DESCRIPTION : SEE SHEET 1 ELEVATION : 20.026' (NAVD88)	THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: CITY PLANNING DEPARTMENT	PRELIMINARY GRADING PLAN	C1
				PROJECT NO.	GIL V. EVANGELISTA	R.C.E. NO.	08.24.2018			MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/19	35261 CAMINO CAPISTRANO DANA POINT, CA 92624	PLAN CHECK NO. 1 of 2 SHEETS



SECTION B-B  
SCALE 1:10

REVISION DESCRIPTION APPROVED DATE		SCALE: DESIGNED: JR DRAWN: RR CHECKED: GVE		PLANS PREPARED BY: <b>GRAND KNIGHT ENGINEERING, Inc.</b> 24881 ALICIA PARKWAY E-243 LAGUNA HILLS, CALIFORNIA, 92653 ph:949.228.1570 fx:949.208.2843		BENCHMARK DESIGNATION : 3P-51-68 DESCRIPTION : SEE SHEET 1 ELEVATION : 20.026' (NAVD88)		APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/19 DATE _____		CITY OF DANA POINT <b>PRELIMINARY GRADING PLAN CROSS SECTIONS/DETAILS</b> 35261 CAMINO CAPISTRANO DANA POINT, CA 92624		C2 PLAN CHECK NO. _____ 2 OF 2 SHEETS	
ACAD FILE NO. _____ PROJECT NO. _____		C32512 08.24.2018		GIL V. EVANGELISTA R.C.E. NO. _____		CITY PLANNING DEPARTMENT DATE _____				ORIGINAL SCALE: _____			

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**OWNER:**

MR. JEFF RUBIE  
35261 CAMINO CAPISTRANO  
DANA POINT, CA 92624

**SITE ADDRESS:**

35261 CAMINO CAPISTRANO  
DANA POINT, CA 92624

**LEGAL DESCRIPTION**

LOT 15, TRACT 1128

**APN**

691-182-03

**LOT AREA**

A=20,090 SF/±0.46AC (RECORD)  
A=20,247 SF/±0.46AC (CALCULATED)

**DATE OF SURVEY**

SEPTEMBER, 2017

**BENCH MARK:**

DESIGNATION: 38-51-06  
DESCRIBED BY OCS 2003 - FOUND 3" OCS ALUMINUM BENCHMARK DISK STAMPED "38-51-06", SET IN THE TOP OF A CONCRETE HEADWALL MONUMENT IS LOCATED ALONG THE SOUTHWESTERLY SIDE OF EL CAMINO REAL, 1.3 MILES SOUTHWESTERLY FROM THE CENTERLINE OF HIGHWAY 1, 27.6 FT. SOUTHWESTERLY OF THE CENTERLINE OF CAMINO REAL AND ACROSS FROM A LARGE STONE STAIRCASE LEADING TO THE TOP OF THE BLUFF. MONUMENT IS SET 1.2 FT. LOWER THAN THE ROAD.  
ELEVATION : 20.026' (NAVD88); 17.745' (NGVD29), YEAR LEVELED: 1989

**ABBREVIATION**

- ACFS - ASPHALT CONCRETE
- CL - CENTERLINE
- CONC - CONCRETE
- CPFP - CONTROL POINT FIRE
- CPFL - CONTROL POINT FL
- D - DRAIN INLET
- DWY - DRIVEWAY
- EG - EXISTING GROUND
- FD - FOUND
- FF - FINISH FLOOR
- FL - FLOWLINE
- FS - FINISH SURFACE
- GAR - GARAGE
- IRR - IRRIGATION
- LS - LANDSCAPE
- NG - NATURAL GROUND
- PL - PROPERTY LINE
- PR - PINE
- RR - RAILROAD TIES
- SM - SCHER MANNHOLE
- STP - STEP
- SOS - SHOT ON SLOPE
- TC - TOP OF CURB
- TD - TOP OF DRIVE
- TBM - TEMPORARY BENCHMARK
- TW - TOP OF WALL
- TWF - TOP OF WOOD FENCE
- TWSTP - TOP OF WALL STEP
- WF - WOODEN FENCE
- WM - WATER METER
- WI - WROUGHT IRON
- INV - INVERT
- PA - PLANTER AREA
- SOS - SIDE OF SLOPE

**LEGEND**

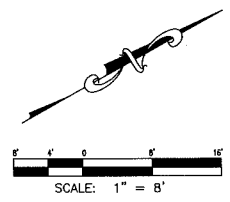
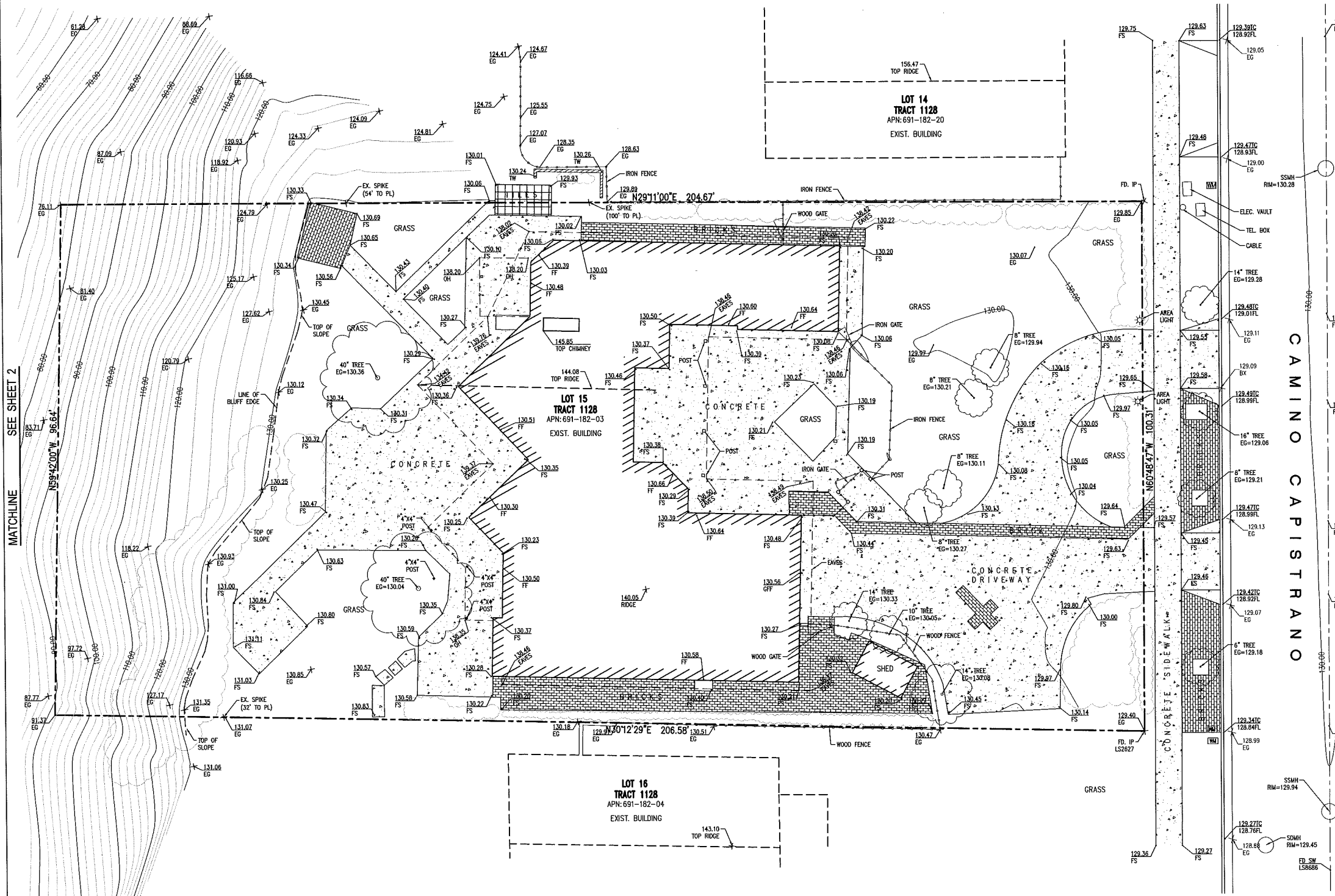
- PROPERTY LINE
- - - CENTER LINE
- ▨ BUILDING FOOTPRINT
- ▩ EX. BLOCK WALL
- ▭ CONCRETE PAVEMENT
- ⊙ 742.10 SPOT ELEVATION
- ⊙ 24" TREE/BUSH
- ⊙ WOOD FENCE
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ PALM TREE
- ⊙ EXISTING LIGHTPOST

**NOTE:**

THE BOUNDARY SHOWN ON THIS MAP IS FOR INFORMATION ONLY AND WERE TAKEN FROM RECORD DATA OR DEED.

MATCHLINE SEE SHEET 2

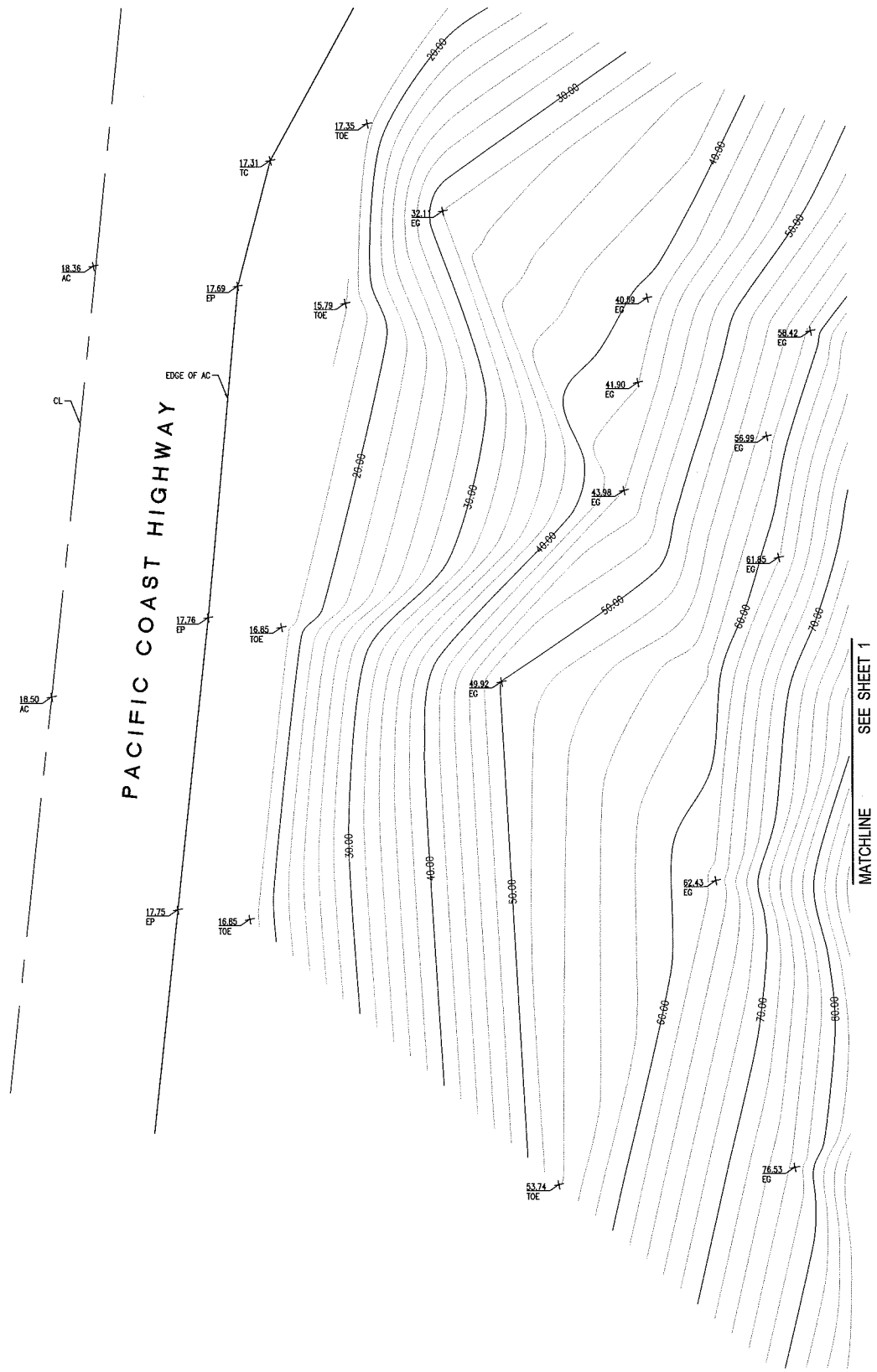
CAMINO CAPISTRANO



**GRAND KNIGHT ENGINEERING, Inc.**  
PLANNING  
ENGINEERING  
SURVEYING  
20505 E. VALLEY BLVD., SUITE 110  
WALNUT, CA 91789-2705  
ph: 949.228.1570  
fx: 949.208.2843  
DATE: 09/20/17

<b>TOPOGRAPHIC SURVEY</b>		SHT. <b>1</b> OF <b>2</b> SHTS.
RUBIE RESIDENCE 35261 CAMINO CAPISTRANO DANA POINT, CA 92624		
FOR: MR. JEFF RUBIE	PLAN No. 17-1295-01	





PACIFIC COAST HIGHWAY

MATCHLINE SEE SHEET 1

GRAND KNIGHT ENGINEERING, Inc. PLANNING ENGINEERING SURVEYING SCALE: 1" = 8' DATE: 09/20/17	20505 E VALLEY BLVD., SUITE 110 WALNUT, CA 91795-2705 ph: 949.228.1570 fx: 949.208.2843	<b>TOPOGRAPHIC SURVEY</b>  RUBIE RESIDENCE 35261 CAMINO CAPISTRANO DANA POINT, CA 92624	SHT. <u>2</u> OF <u>2</u> SHTS.
	FOR: MR. JEFF RUBIE	PLAN No. 17-1295-01	