

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** JANUARY 22, 2018

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
URSULA LUNA-REYNOSA, DIRECTOR  
JOHN CIAMPA, SENIOR PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP17-0021 FOR A 198 SQUARE FOOT ADDITION AND REMODEL TO A HOUSE IN THE RESIDENTIAL SINGLE FAMILY 4 (RSF-4) ZONE LOCATED AT 141 MONARCH BAY DRIVE.

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**RECOMMENDATION:** That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP17-0021 (Action Document 1).

**APPLICANT:** Jim and Karen Boyd, Property Owners

**REPRESENTATIVE:** Gus Casillas, Architect

**REQUEST:** A request for a remodel and an addition of 198 square feet to bring the split-level, single-family dwelling (SFD), to 4,927 square feet.

**LOCATION:** 141 Monarch Bay Drive (APN 670-121-20)

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on January 5, 2018, published within a newspaper of general circulation on January 5, 2018, and posted on January 5, 2018 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project involves a 198 square foot addition and remodel to an existing house.

**ISSUES:**

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for

approval of a Coastal Development Permit (CDP).

- Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The subject site is a 10,730 square foot lot located in the Monarch Bay private neighborhood. The property is a corner lot improved with a split level (three levels) 4,729 square foot SFD and attached three car garage. The residence was constructed while under the County of Orange jurisdiction in 1971 with a Variance (V-1042) to allow a reduction in the SFD's front yard setback from 20 feet to 17 feet. Pursuant to Section 9.67.080, Continuing Validity, of the DPZC, the Variance is still valid for the proposed project and runs with the land. The house is a legal nonconforming because it has a 24 foot rear yard setback when 25 feet is required.

Over the years a number of improvements and additions were made to expand and remodel the house. In 1990, a 270 square foot addition was located at the front of the house to close off the patio and breezeway and modify the façade of the house. Since the addition was less than 10 percent of the structure's square footage it utilized the one-time Exemption from a Coastal Development Permit (CDP). Later in 1998, a project was completed for a 125 square foot addition to expand the master bedroom and remodel the kitchen.

The project site is located in the Residential Single Family 4 DU/AC (RSF 4) in the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

**DISCUSSION:** The project proposes a 198 square foot addition and remodel to the house. The proposed addition is located on the main level of the house and would result in an expansion to the front entry (7 sq. ft.), family room (7 sq. ft.), kitchen (71 sq. ft.), and new habitable space in the garage area for a laundry room and pantry (112 sq. ft.). The project complies with all applicable development standards, including setbacks, parking, lot coverage, landscape area, and height limit.

Per Section 9.63.030(a) a Minor Site Development Permit is not required for the proposed addition to the legal nonconforming structure because the 198 square foot addition complies with all of the required setbacks and is less than a 10 percent addition (3.6 percent expansion proposed). The addition is permissible subject to the approval of the Coastal Development Permit.

Table 1 summarizes the applicable RSF-4 development standards and the project's conformance with those requirements:

**Table 1: Compliance with RSF-4 Development Standards**

<b>Development Standard</b>	<b>Requirement</b>	<b>Proposed/ Existing</b>	<b>Compliant with Standard</b>
Front Setback (Monarch Bay Drive)	17 ft minimum*	17.5 ft	Yes
Side Setback Interior Exterior	5 ft minimum 10 ft minimum	5 ft (Interior); 11 ft (Exterior)	Yes
Rear Setback	25 ft minimum**	24 ft (Existing)	No
Height	24 ft maximum (less than 3:12 pitch)	18 ft (3/8":12" pitch)	Yes
Lot Coverage	45% maximum	43%	Yes
Parking Required	2 parking spaces	2 parking spaces	Yes

\*The RSF4 front yard setback is 20 feet; however, V-1042 approved a 17 foot front yard setback for the property.

\*\* Per Section 9.63.040.b.2 the legal nonconforming structure is not required to be made conforming because the project proposes to demolish less than 50 percent of the structure's linear walls.

The project would maintain the structure's Mid-Century Modern architectural style, which is a similar design and scale to many other houses in the neighborhood. The exterior finishes include wood siding, stone veneer, smooth stucco, and a low pitched and flat roof. The house would maintain the same general design and the addition would not increase the height of the structure.

The project was reviewed by the Monarch Bay Home Owners Association and approved prior to the submittal of the application for a CDP (Supporting Document 2).

**COASTAL DEVELOPMENT PERMIT CDP17-0021**

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, the proposed addition to the SFD in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires the approval of a Coastal Development Permit (CDP). The proposed project complies with all of the applicable provisions of the Dana Point Zoning Code for the issuance of a Coastal Development Permit as the addition and remodel does not impact public access, or impact any Environmentally Sensitive Habitat Areas (ESHA) as the parcel is already developed.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The required findings are articulated in the attached draft Resolution identified as Action Document 1.

**CORRESPONDENCE:** No correspondence received as of the publication date of this staff report.

**CONCLUSION:** Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project is found to comply with all standards of development, staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 17-0021 subject to the findings and conditions of approval contained therein.

  
John Ciampa, Senior Planner

  
Ursula Luna-Reynosa, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 18-1-22-xx

**Supporting Documents**

2. Approval Letter from Monarch Bay Association
3. Vicinity Map
4. Site Photos
5. Sample Materials
5. Architectural Plans

**RESOLUTION NO. 18-01-22-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP17-0021 FOR A 198 SQUARE FOOT ADDITION AND REMODEL FOR A HOUSE IN THE RESIDENTIAL SINGLE FAMILY 4 (RSF-4) ZONING DISTRICT LOCATED AT 141 MONARCH BAY DRIVE.**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Gustavo Casillas (the “Representative”) has filed an application on behalf of James and Karen Boyd (collectively, the “Applicant”), the owners of real property commonly referred to as 141 Monarch Bay Drive (APN 670-121-20) (the “Property”); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit to allow the 198 square foot addition and remodel of the existing house at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project involves a 198 square foot addition and remodel to an existing house; and

WHEREAS, the Planning Commission did, on the 22<sup>nd</sup> day of January, 2018, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP17-0021.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP17-0021 subject to the following conditions of approval:

Findings:

Coastal Development Permit CDP17-0021

- A) Based on the evidence presented at the public hearing, the Planning Commission

adopts the following findings and approves a Coastal Development Permit CDP17-0021, subject to conditions:

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that, the site and architectural design of the proposed improvements are found to strictly comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property). The project will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” in that the addition and alterations ensure they are an improvement to the subject property and a compatible design with the surrounding structures. The project also maintains the house’s established setbacks and height and is consistent with the surrounding development.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that, while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot, zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County, and State beaches; therefore, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that, the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facilities) in that it proposes a 198 square foot addition and remodel to an existing house.**
4. That the project has been located and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and the proposed improvements would not**

**result in adverse impacts.**

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located in an established area of residential uses with no natural landforms present. The proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed project would construct a new single-family dwelling utilizing materials and methods that conform to the development and design standards of the Dana Point Zoning Code and result in development of the property in a manner that is complementary to surrounding development in terms of mass and size.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project was reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.**

Conditions:

**General:**

1. Approval of this application permits a remodel and addition of 198 square feet which brings the houses total square footage to 4,927 square feet, at 141 Monarch Bay Drive in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.



3. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.
7. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
8. The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
9. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.

10. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The Applicant, or Applicant's agent(s), shall be responsible for coordinating any potential conflicts or existing easements.
11. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
12. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.

**Prior to Issuance of a Building Permit:**

13. Building plan check submittal shall include the following construction documents:
  - Building Plans (4 sets)
  - Energy Calculations (2 sets)
  - Structural Calculations (2 sets)
  - Acoustical Report (2 sets)

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

14. Minimum roofing classification is Class "A".
15. Fire sprinkler system is required for alterations of 50 percent or greater in a two year period. With Building Plan submittal provided calculations on the cover sheet if fire sprinklers are exempted. If it is determined that fire-sprinklers are not required, add a note on the cover sheet, "The depicted scope of work does not require an automatic sprinkler system installation. Work beyond the stated scope of work may trigger the City of Dana Point fire sprinkler system installation requirement."
16. If a soils report requirement is waived by Engineering Services, comply with the following recommendations in lieu of providing a soil report (see the handout titled "When a Soils Report is Required"):
  - a) Footings shall be founded a minimum of 24 inches below grade.
  - b) Provide continuous footings with 2- #5 reinforcement at top and bottom.
  - c) Concrete slabs shall be minimum 5" thick reinforced with #4 @ 18 inches on center each way, over 2" sand, over a minimum 10 mil moisture barrier, over 2 inches of sand.
  - d) Dowel new foundations and slabs into existing foundations and slabs with a

minimum 6 inches into existing concrete and 24 inches into new concrete with #3 bars @ 18 inches on center.

- e) Post-tensioned slabs are used in areas with expansive soil. Foundation work slab shall proceed with caution to prevent damage to the tendons. Please have the engineer or architect of record address this issue.
  - f) Concrete in contact with the soil shall have an ultimate compressive strength of 4,500 psi, water-cement ratio of 0.45 and Type V cement unless a soil report recommends otherwise.
17. Soils Report (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.
  18. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.
  19. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CALGreen requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.
  20. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
  21. The applicant shall submit a foundation design in accordance with a project specific geotechnical report or in accordance with the City of Dana Point minimum requirements outlined in Building Department Handouts.
  22. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.

**Prior to issuance of a Certificate of Occupancy**

23. Public Works final approval will be required for all permits.
24. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
25. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 22<sup>nd</sup> day of January, 2018

by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

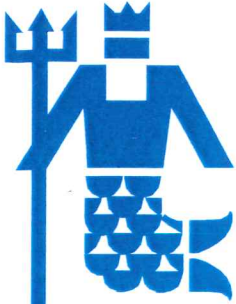
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Scott McKhann, Chairperson  
Planning Commission

ATTEST:

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Ursula Luna-Reynosa, Director  
Community Development Department



## Monarch Bay Association

March 27, 2017

Jim and Karen Boyd  
141 Monarch Bay Drive  
Monarch Beach, CA 92629

via e-mail

RE: 141 MONARCH BAY DRIVE  
APPROVAL- REMODEL PLANS DATED 3/20/17 by EDINGER ARCHITECTS

Dear Mr. and Mrs. Boyd,

Thank you for submitting detailed plans to the Monarch Bay Association Architectural Control Committee for the remodel of your home and for attending the monthly meetings to get the roof height concerns resolved. The Committee reviewed and approved your plans at our meeting on March 27, 2017, recognizing that you have made all efforts to address the roof height/view concerns. As previously agreed upon, this approval is conditioned upon the removal of the juniper trees that impact the ocean view for your neighbors at #138. The Committee believes that with these trees and the chimney removed, there will be a net view gain for the Loughs and therefore, the roof height increase is reasonable.

Richard Smith will be delivering two sets of stamped approved plans to your home today.

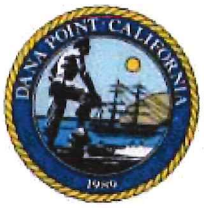
It is necessary for you to submit refundable construction deposit of \$2,500 prior to the commencement of construction, made payable to the Monarch Bay Association in care of Progressive Community Management. At the successful completion of your project, your unused retainer and deposit will be refunded minus the road use fees pursuant to the attached schedule.

We are enclosing a copy of the Association's construction rules for you to share with your contractor so they understand what is expected of them when working within the community. We have also enclosed a copy of the Road Use Fee policy so that you are aware of these fees.

We thank you for your on-going cooperation. We wish you luck with your project.

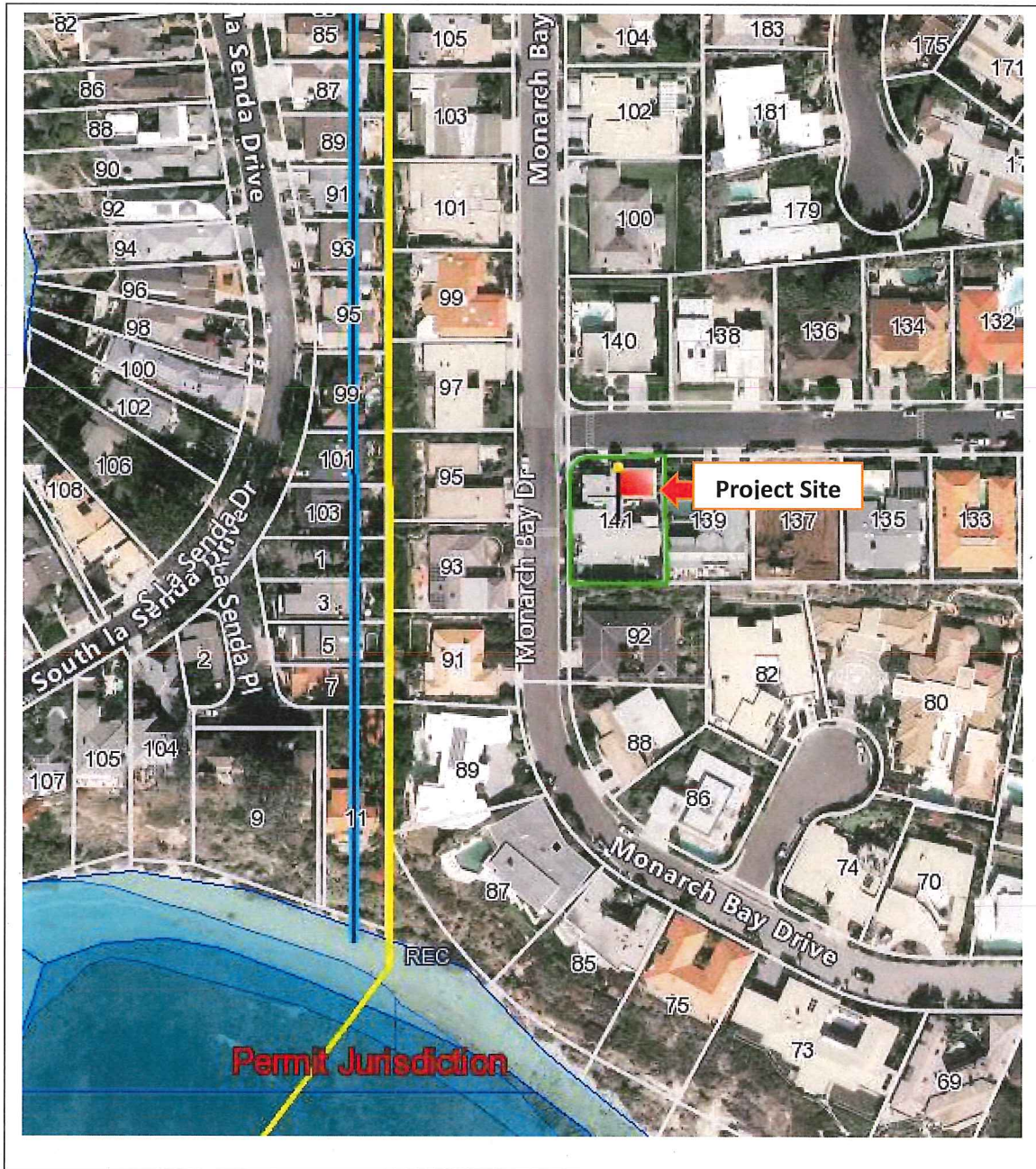
Respectfully,  
THE MONARCH BAY ASSOCIATION  
ARCHITECTURAL CONTROL COMMITTEE

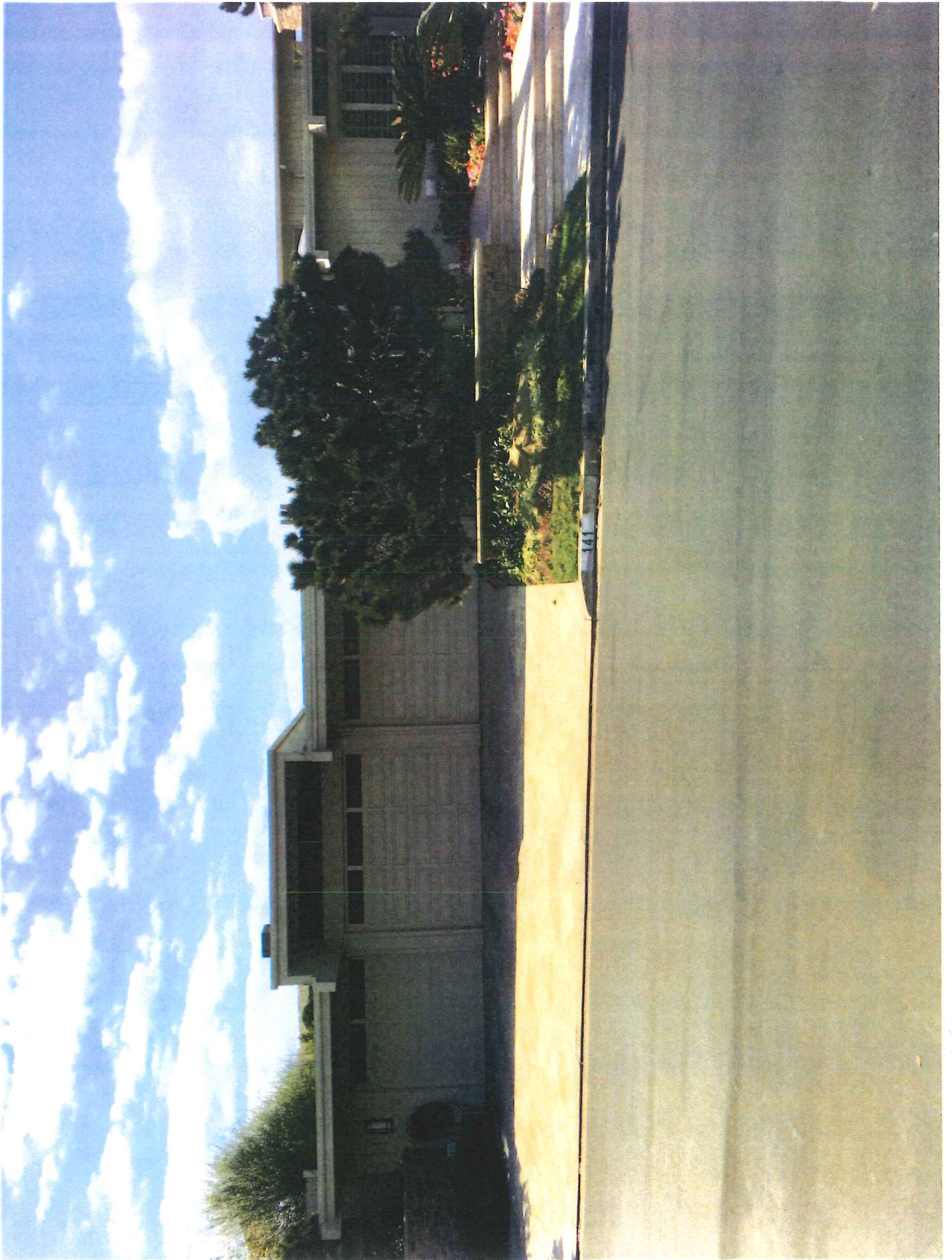
CC: Board  
Rich and Lisa Lough via email  
MB/141/arch/remodel approval/03.27.17

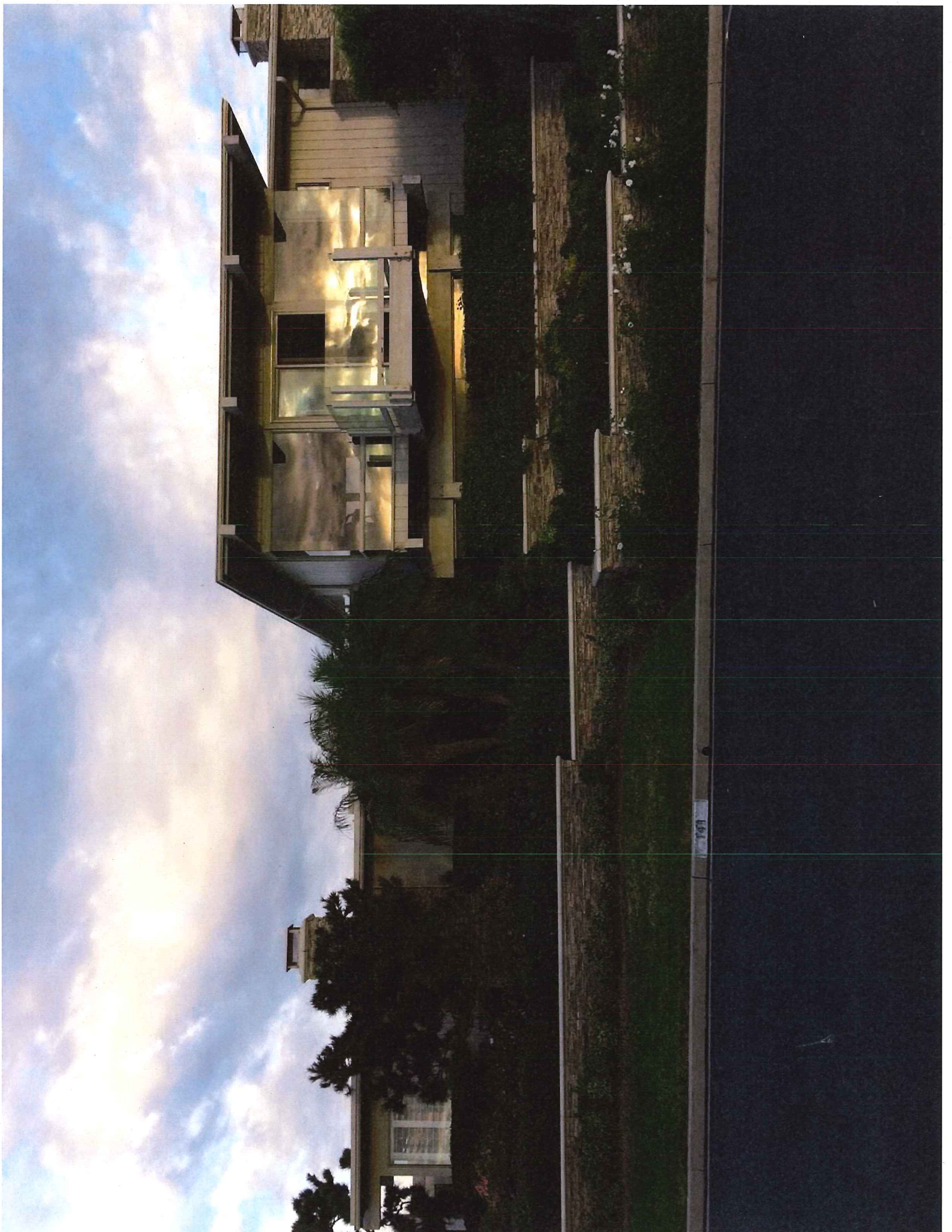


# Vicinity Map

141 Monarch Bay Dr, CDP17-0021







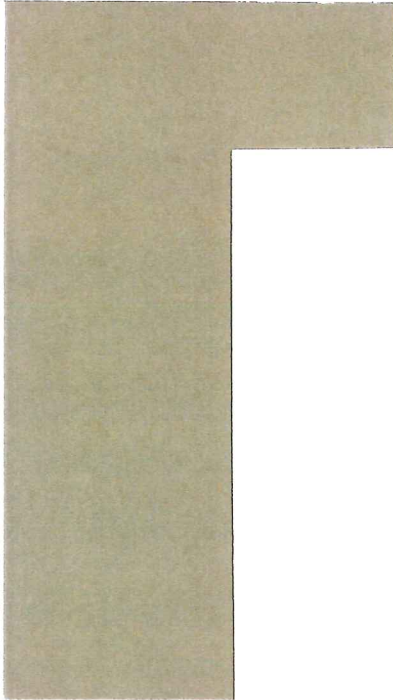




# Color Palette

## Siding/Accent Trim 1

Sherwin-Williams  
SW7045 Intellectual Gray



## Accent Trim 2

Sherwin-Williams  
SW7026 Griffin



**Stucco**  
Sherwin-Williams  
SW7008 Alabaster

## Stained Entry Door/ Garage Doors

Sherwin-Williams  
SW3518 Hawthorne (or equal)



## Stone

Riviera Stone from Texas Quarries - Natural Texas Limestone

Color/Texture: Antique

Available through Resource Building Materials

Contact: Susie Timm (949) 870-0979

*Riviera*  
THE STONE  
Natural Texas Limestone



Mortar joints are to be smooth, as tight as possible and flush with the face of the stone.  
Mortar Color: Orco Blended Products "OBP Cream"

## Longboard Accents Extruded Metal Cladding for use at select headers



**Dark Acacia**

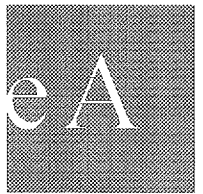
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# Boyd Residence

Dana Point, California

Color and Material Palette Prepared by Ann Matteson Consulting, Inc.



EdingerArchitects

444 S. Cedros Ave, #125  
Solana Beach, CA 92075

phone: (858) 704-4004

# BOYD RESIDENCE REMODEL

## DANA POINT, CA

BOYD RESIDENCE REMODEL  
DANA POINT, CA

### ABBREVIATIONS

AFF	above finish floor	L	length
AD	area drain	LT	light
ADD	addendum	LW	lightweight
ADJ	adjacent	LWC	lightweight concrete
AL	aluminum	LVR	lower
AB	anchor bolt	MFR	manufacture(s)
ARCH	architectural	MRB	marble
BRG	bracing	MAS	masonry
BKJ	block	MEL	metal
BKDG	blocking	MXX	maximum
BD	board	MC	medicine cabinet
BS	both sides	MED	medium
BTK	bulk	MEI	metal
BLDG	building	MH	minimum
CAB	cabinet	MIR	miscellaneous
CSMT	cast-in-place concrete	MSC	miscellaneous
CPC	cast-in-place concrete	MEL	metal
CLG	ceiling	MILL	millium
CT	ceramic tile	ICM	nominal
CLR	circle	H	north
CLR	clearance	OC	not in contact
COL	column	CC	on center(s)
COMB	combination	OPG	opposite
COIC	concrete	OPP	opposite
CONST	construction	OD	outside diameter
CONT	continuous or continue	CA	overall
CONTR	contractor	PRT	point(s)
CTR	counter	PHL	panel
CFL	counterflashing	PAR	paralollet
CFT	cubic foot	PK	padding
CYD	cubic yard	PL	plate
DI	dimo / dimoish	PWD	plywood
DL	detail	PT	point
DNG	diameter	PSF	pounds per square foot
DNM	dimension	PSI	pounds per square inch
DR	door	PCC	precast concrete
DH	double hung	PFB	prefabricate(d)
DS	down spout	PPH	prefinished
EF	each face	PL	plaster
E	east	GT	quantity
ES	existing	RAD	radius
ELC	electrical	REF	reference
EP	electrical panelboard	REFRCP	refrigerator
EL	elevation	REA	remove
EQ	equal	RAG	return air grille
EST	estimate	RH	right hand
EXG	existing	ROW	right of way
EXP	exposed	R	rise
EXT	exterior	RO	roof
F	face brick	RFG	roofing
FD	floor drain / deck drain	RM	room
FOC	face of concrete	RO	rough opening
FOF	face of finish	SCH	schedule
FCM	face of masonry	SHT	sheet
FOS	face of stone	SH	shelf or shelving
FGL	fiberglass	SIA	similar
FIN	finish(ies)	SKL	skid
FFE	finished floor elevation	SC	soffit
FFL	finished floor line	S	south
FFL	finished floor line	SPL	special
FLG	flashing	SFC	specification(s)
FLR	flooring	SA	source
FRT	fracturcent	STD	standard
FTE	footing	ST	steel
FHD	foundation	STR	structural
FR	frame(d), (ing)	SUS	suspended
FBO	finished by others	TEL	telephone
FUT	future	TRK	television
GALV	galvanized	TAG	thickness
GI	galvanized iron	TSG	trough and groove
GC	general contractor	TSL	top of slab
GFDW	gypsum dry wall	T	transom
HDW	hardware	T	traco
HDR	header	TYP	typical
HT	height	UNH	unless otherwise noted
HC	hollow core	VHR	vertical
HCR	horizontal	VER	vertical
HB	hose bibb	VHT	vent
HKCL	include(s), (ing)	WH	water heater
ID	include diameter	WSTC	wainscot
INT	interior	WC	water closet
J	joint	WP	waterproofing
KL	kickplate	WWF	walk-on wire fabric
KF	kitchen	W	wall or wide
LBL	label	WH	window
LAV	lavatory	WD	wood
LH	left hand	WT	wrought iron

### ARCHITECTURAL SYMBOLS

**FLOOR PLANS**

[Symbol] EXISTING STUD WALL TO REMAIN

[Symbol] EXISTING STUD WALL TO BE REMOVED

[Symbol] NEW WOOD STUD WALL (2 X 4 STUDS @ 16" O/C)

[Symbol] NEW WOOD STUD WALL (2 X 6 STUDS @ 16" O/C)

[Symbol] CONCRETE BLOCK WALL / BRICK OR VENEER

[Symbol] WOOD STUD WALL (THERMAL OR SOUND INSULATED)

[Symbol] WOOD FINISH

[Symbol] DRYWALL FINISH

[Symbol] FURRED CEILING OR SOFFIT AREA. HEIGHT AS NOTED PER PLAN

[Symbol] POTSHLF / PLANTLEDGE. HEIGHT AS NOTED PER PLAN

[Symbol] DIFFERENTIAL IN FLOOR LEVELS OR FINISH SURFACES

[Symbol] REVISION, TYPE AND DATE AS NOTED PER PLAN

[Symbol] INTERIOR ELEV. INDICATOR, VIEWED FROM THIS VANTAGE POINT

**FRAMING / SECTIONS**

[Symbol] FURRED CEILING OR SOFFIT AREA, (2 X 4 @ 16" O/C)

[Symbol] POTSHLF/PLANTLEDGE, (DRYWALL O/PWD, OVER FRAMING)

[Symbol] FIBERGLASS BATT INSULATION AS NOTED PER PLAN

[Symbol] WOOD, ROUGH, CONTINUOUS MEMBER, (3/8" OR LARGER DETAIL)

[Symbol] WOOD, ROUGH, NON-CONT. MEMBER, (3/8" OR LARGER DETAIL)

[Symbol] BUILDING SECTION, REFERENCE DRAWING NUMBER

[Symbol] DETAIL, REFERENCE DRAWING NUMBER

### BUILDING DEPT NOTES

- REFER TO SHEET C-1 FOR SITE PLAN, CITY OF DANA POINT STORM WATER AND BMP NOTES AND OWNER'S CERTIFICATE FOR POST CONSTRUCTION BMP REQUIREMENTS.
  - IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS, OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RE-SUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MIGHT BE REQUIRED
  - THE STRUCTURE WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL
- OWNER / LICENSED ENGINEER OR ARCHITECT

### SQUARE FOOTAGES

**HABITABLE SPACE**

EXISTING LIVING SPACE	4,729.53 S.F.
PROPOSED MAIN LEVEL FLOOR ADDITIONS	+198.05 S.F.
<b>PROPOSED TOTAL HABITABLE SPACE</b>	<b>4,927.58 S.F.</b>

**NON-HABITABLE SPACE**

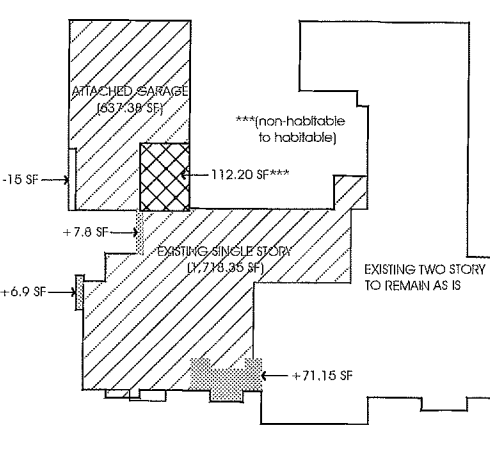
EXISTING NON-HABITABLE SPACE	764.50 S.F.
NON-HABITABLE SPACE TO BE DELETED AND/OR CHANGED TO HABITABLE	-127.20 S.F.
<b>PROPOSED TOTAL NON-HABITABLE SPACE</b>	<b>637.30 S.F.</b>

**COVERAGE AREA RATIO: (45% MAX.)**

LOT AREA =	10,730.47 S.F.	
45% OF LOT AREA =	4,828.71 S.F.	
EXISTING COVERAGE AREA =	4,543.94 S.F.	(42.3%)
NEW COVERAGE AREA =	+89.58 S.F.	(0.8%)
<b>TOTAL LOT COVERAGE =</b>	<b>4,633.52 S.F.</b>	<b>(43.1%)</b>

4,633.52 S.F. < 4,828.71 S.F.



### SCOPE OF WORK

2,356 S.F. REMODEL AREA PLUS 198.05 S.F. ADDITION AREA PLUS ROOF MODIFICATIONS/IMPROVEMENTS OVER GARAGE AND MAIN LEVEL FLOOR AREA, TO EXISTING 3 LEVEL SINGLE FAMILY RESIDENCE.

### PROJECT DATA

<input type="checkbox"/> MUNICIPALITY:	CITY OF DANA POINT, CA
<input type="checkbox"/> JOB SITE ADDRESS:	141 MONARCH BAY DRIVE DANA POINT, CA 92629
<input type="checkbox"/> LEGAL DESCRIPTION:	BEING A SURVEY OF LOT 67 OF TRACT No. 4738, AS SHOWN ON MAP FILED IN BOOK 142, PAGES 30-34, OF MISCELLANEOUS MAPS, OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA.
<input type="checkbox"/> ASSESSORS PARCEL NUMBER:	670-121-20-00
<input type="checkbox"/> CONSTRUCTION TYPE:	V-B (TYPE FIVE / NON-RATED)
<input type="checkbox"/> OCCUPANCY GROUP:	R-3 / U
<input type="checkbox"/> ZONE:	RSF 4
<input type="checkbox"/> MAX. HEIGHT:	24'-0" MAX. FROM FIN. PAD (PER DPMC TITLE 9 ZONING CHAPTER 9.05.110) 15'-1 1/4" (PROPOSED AT REMODELED AREA) 18'-0" (AT EXISTING UPPER LEVEL ROOF) 14'-0" ABOVE 129.00' PAD ELEV (HOA REQ.)
<input type="checkbox"/> FIRE ZONE:	NHFZ (NON-HIGH FIRE ZONE)
<input type="checkbox"/> CALIFORNIA CLIMATE ZONE:	6
<input type="checkbox"/> LOT AREA:	0.246 ACRES / 10,730.47 SQ. FT.
<input type="checkbox"/> THESE PLANS SHALL COMPLY WITH THE FOLLOWING:	2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE 2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE CITY OF DANA POINT REGULATIONS AND ORDINANCES
<input type="checkbox"/> FIRE SPRINKLERS:	HABITABLE SPACE 4,927.58 S.F. NON-HABITABLE AREA 637.30 S.F. TOTAL AREA 5,564.88 S.F. (100%) PROPOSED HAB REMODEL AREA 1,961.30 S.F. PROPOSED NON-HAB REMODEL AREA 637.30 S.F. TOTAL ALTERATION AREA 2,598.60 S.F. (46.7%)

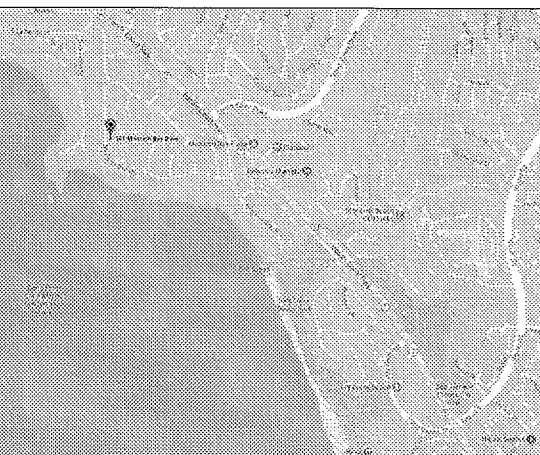
### PROJECT DIRECTORY

- PLANS PREPARED FOR: (LEGAL OWNERS)  
JAMES AND KAREN BOYD  
141 MONARCH BAY DRIVE  
DANA POINT, CA 92629  
PH: (714) -
- ARCHITECT OF PROJECT:  
EDINGER ARCHITECTS  
444 S. CEDROS AVE. / #235  
SOLANA BEACH, CALIFORNIA 92075  
PH: (858) 704-4004
- STRUCTURAL ENGINEER OF PROJECT:  
DALE CHRISTIAN STRUCTURAL ENGINEER, INC.  
ROBERTO ORTIZ, S.E.  
1744 W KATELLA AVE #107  
ORANGE, CA 92667  
PH: (714) 997-1145
- ENERGY COMPLIANCE PREPARED BY:  
MAURER RICK TILE 24 INC.  
RICK MAURER  
7544 E SADDLEHILL TRAIL  
ORANGE, CA 92669  
PH: (714) 771-1507

### SHEET INDEX

<b>ARCHITECTURAL PLANS</b>	
A0-1	TITLE SHEET / SHEET INDEX / PROJECT DATA
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A0-3	GENERAL NOTES
A0-4	GENERAL NOTES
<b>OTHER PLANS</b>	
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A-1	EXISTING FLOOR PLAN / DEMOLITION PLAN
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A-2.2	UPPER LEVEL FLOOR PLAN
A-2.3	LOWER LEVEL FLOOR PLAN
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A-7	PROPOSED MAIN LEVEL LIGHTING LAYOUT
AD-1	ARCHITECTURAL DETAILS
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<b>ENERGY COMPLIANCE (by Others)</b>	
T-24.1	MANDATORY MEASURES SUMMARY
T-24.2	PERFORMANCE CERTIFICATE AND CERTIFICATE OF COMPLIANCE
CG	CALIFORNIA GREEN BUILDING STANDARDS CODE
<b>STRUCTURAL PLANS (by Others)</b>	
SN1	STRUCTURAL GENERAL NOTES
SN2	STRUCTURAL GENERAL NOTES
S1-1	PARTIAL FOUNDATION PLAN
S1-2	PARTIAL FRAMING PLAN
S-1	STRUCTURAL DETAILS
S-2	STRUCTURAL DETAILS
S-3	STRUCTURAL DETAILS

### VICINITY MAP



PLAN CHECK: 09/19/2017

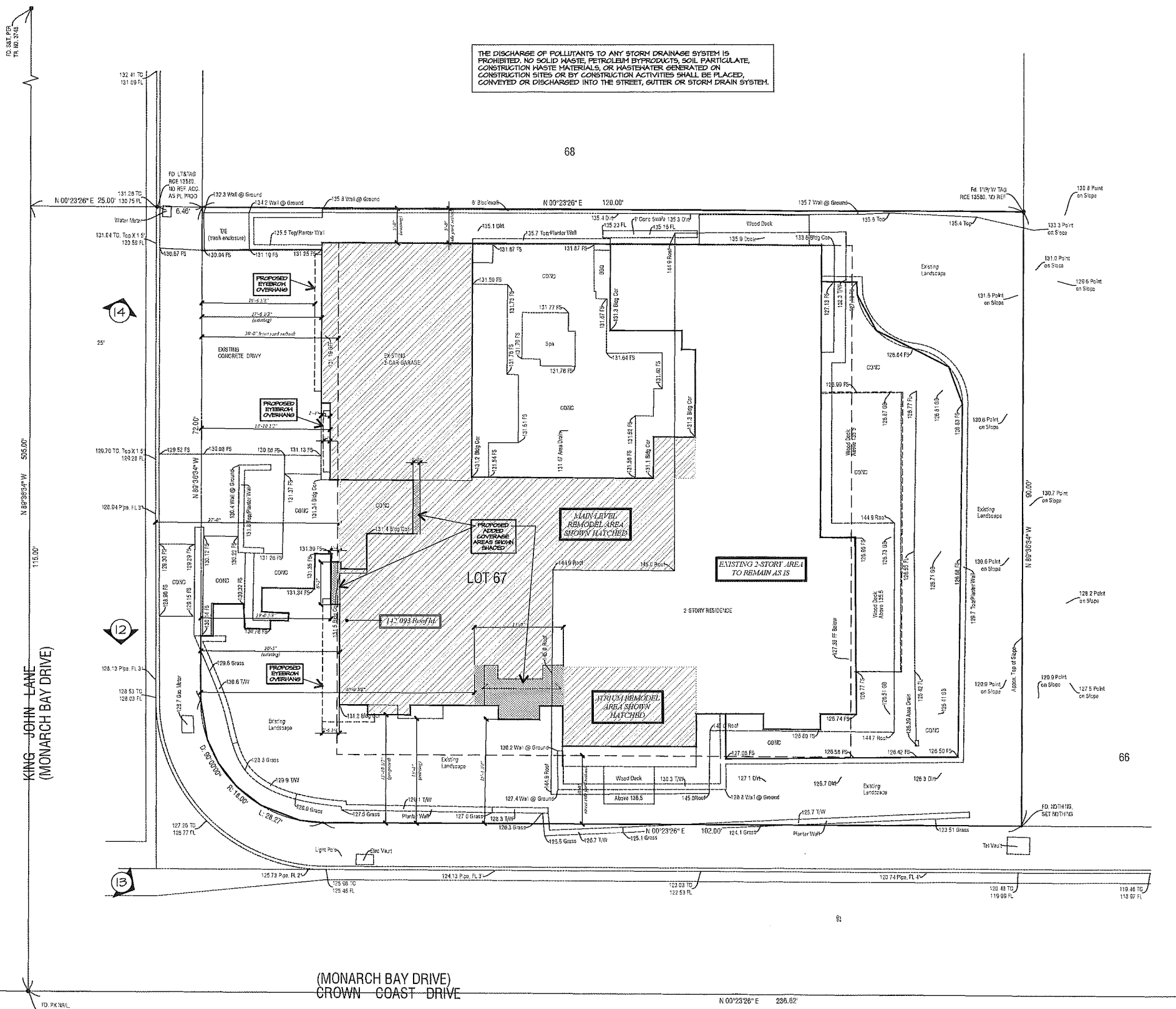
TITLE SHEET

18018-PLANS ca18018

A0-1

12/7/17 12/7/17

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THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

**SITE PLAN NOTES**

- A. REFER TO GENERAL NOTES SHEETS FOR ADDITIONAL INFORMATION.
B. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
C. VERIFY ALL EXISTING DIMENSIONS ON SITE.
D. ALL SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
E. THE CONTRACTOR / ARCHITECT SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
F. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED, THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO, ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.

**COVERAGE TABULATION**

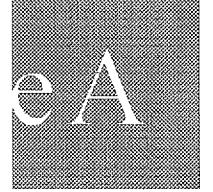
Table with 2 columns: Description and Area (SF). Rows include Existing House Coverage (4,047.14 SF), Garage Room Overhangs + Deck (99.0 SF), Master Bath Overhangs (7.14 SF), Rear Deck (304.75 SF), Total Existing Coverage (4,548.04 SF), Entry Pivot Doors (7.89 SF), Family Room Pop Out (4.00 SF), Kitchen Extension (12.75 SF), Proposed New Coverage (+84.58 SF), Site Area (10,730.47 SF), Total Existing Coverage (4,548.04 SF (42.35 %)), Total Proposed Coverage (4,632.52 SF (43.16 %)).

**BEST MANAGEMENT PRACTICES (BMP)**

- STORM WATER QUALITY NOTES CONSTRUCTION BMP'S
THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, ORANGE COUNTY REGIONAL OFFICE NO. 200101 UNDER NO. CAS00262 AND THE CITY OF DANA POINT LAND DEVELOPMENT CODE
NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.
1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREETS OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
2. ALL SLOPES THAT ARE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROTECTED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE FORMED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

OWNER'S CERTIFICATE
STANDARD SINGLE FAMILY RESIDENTIAL PROJECT
FOR POST CONSTRUCTION BMP'S
I/WE UNDERSTAND AS OWNER(S) OF THE PROPERTY DESCRIBED AS
141 MONARCH BAY DR, DANA POINT, CA 92629
(ADDRESS OR LEGAL DESCRIPTION)
UNDERSTAND THAT IN ACCORDANCE WITH THE DANA POINT MUNICIPAL CODE, LAND DEVELOPMENT MANUAL - STORM WATER STANDARDS, THIS PROJECT IS REQUIRED TO "IDENTIFY POLLUTANTS FROM THE PROJECT AREA" AND INCORPORATE "SITE DESIGN" AND "SOURCE CONTROL" BMP'S
I CERTIFY TO THE BEST OF MY KNOWLEDGE, POLLUTANTS ANTICIPATED BY THE PROPOSED LAND USE ARE AS FOLLOWS:

- SEDIMENT
NUTRIENTS
TRASH AND DEBRIS
OXYGEN DEMANDING SUBSTANCE
OIL AND GREASE
BACTERIA AND VIRUSES
PESTICIDES
I WILL INCORPORATE THE FOLLOWING INTO THE SITE DESIGN:
- MAINTENANCE OF PRE-DEVELOPMENT RUNOFF CHARACTERISTICS;
- MINIMIZATION OF IMPERVIOUS FOOTPRINT BY CONSTRUCTING WALKWAYS, PATIOS AND DRIVEWAYS WITH PERMEABLE SURFACES;
- CONSERVATION OF NATURAL AREAS;
- NATURAL DRAINAGE SYSTEMS AS OPPOSED TO LINED SHALES OR UNDERGROUND DRAINAGE SYSTEMS;
- DRAIN ROOF TOPS, WALKWAYS, PATIOS AND DRIVEWAYS INTO ADJACENT LANDSCAPING PRIOR TO DISCHARGING TO THE PUBLIC DRAINAGE SYSTEM;
- PRESERVATION OF EXISTING NATIVE TREES AND SHRUBS;
- PROTECTION OF ALL SLOPES FROM EROSION.
ADDITIONALLY, I/WE WILL:
- MINIMIZE THE USE OF PESTICIDES;
- USE EFFICIENT IRRIGATION SYSTEMS AND LANDSCAPING DESIGN - INCORPORATING RAIN SHUTOFF DEVICES AND FLOW REDUCERS.
I/WE WILL MAINTAIN THE ABOVE STANDARD PERMANENT BMP'S IN PERPETUITY.
JAMES & KAREN BOYD



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444 S. Cedros Ave, #125
Solana Beach, CA 92075
phone: (858) 704-4004

BOYD RESIDENCE REMODEL
DANA POINT, CA



Table for Plan Check with columns for Item, Description, and Date. Includes a signature line for the architect.

**SITE PLAN**

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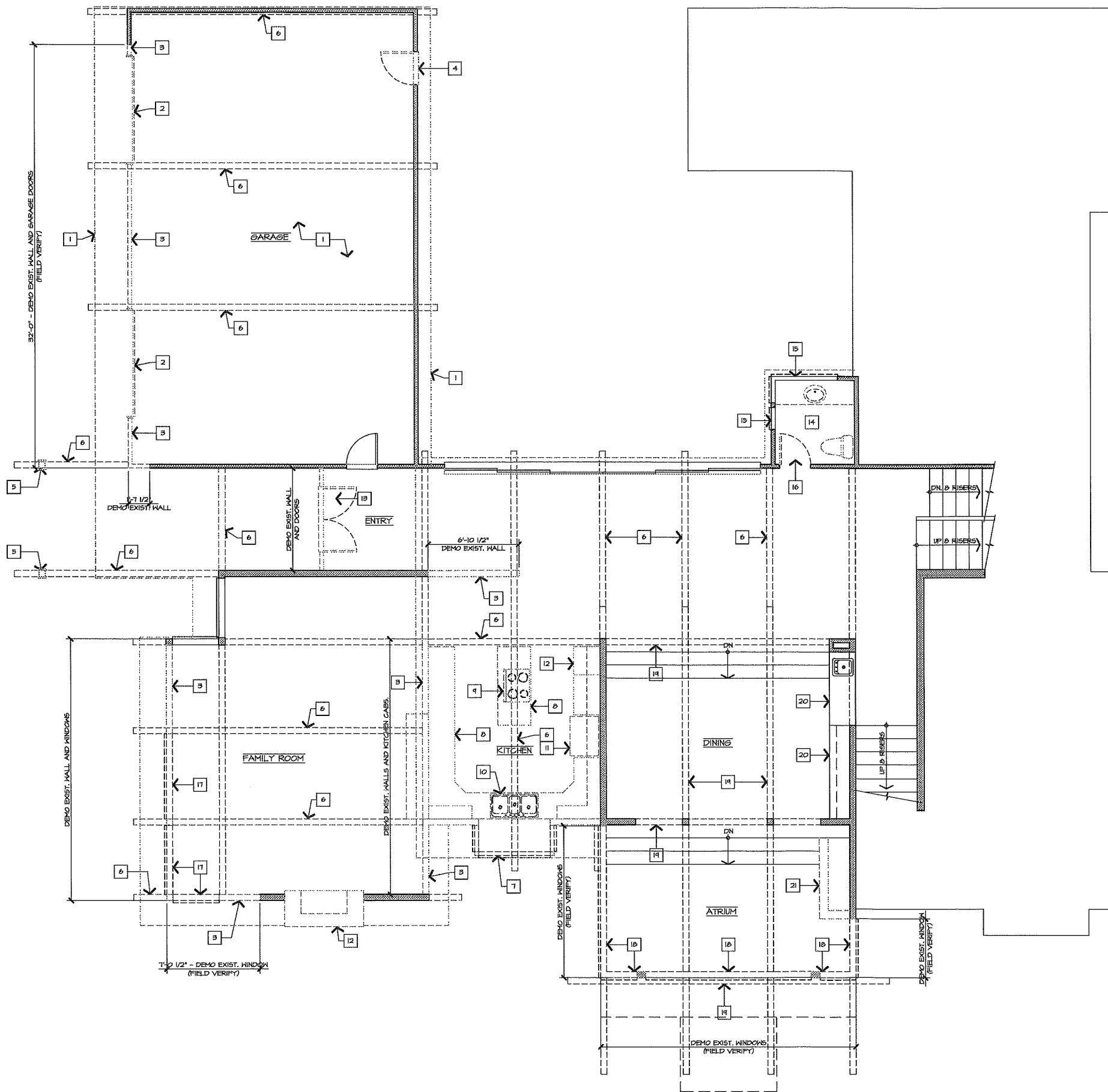
**C-1**

12/7/17 12/7/17

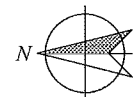
**SITE PLAN**

SCALE: 1/8" = 1'-0"

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**DEMOLITION PLAN - MAIN LEVEL**  
SCALE: 1/4" = 1'-0"



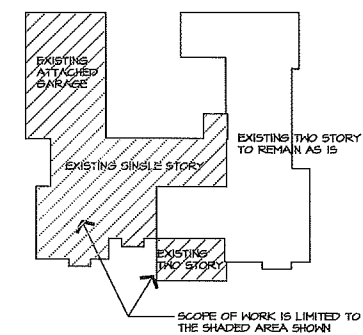
**DEMOLITION PLAN NOTES**

- A. REFER TO GENERAL NOTES SHEETS FOR ADDITIONAL INFORMATION.
- B. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY PROJECT SUPERINTENDENT. ARCHITECT SHALL BE NOTIFIED, IN WRITING, OF ANY OMISSIONS, VARIATIONS OR DISCREPANCIES IN THE ARCHITECT'S CONSTRUCTION DOCUMENTS.
- C. VERIFY ALL EXISTING DIMENSIONS ON SITE.
- D. ALL SHORINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CARE SHOULD BE PROVIDED TO INSTALL ADEQUATE SHORINGS, ESPECIALLY WHERE BEAMS SUPPORTING UPPER LEVEL ROOF STRUCTURE ARE BEING REPLACED.
- E. THE CONTRACTOR / ARCHITECT SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDEVELOPED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
- F. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED, THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY CONTRACTOR BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF FITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.

**NUMBERED NOTES**

- 1 DEMO EXISTING ROOF AND CLERESTORY GLAZING.
- 2 DEMO EXISTING GARAGE DOOR AND JAMBS.
- 3 DEMO WALL (FIELD VERIFY). CONFIRM DIMENSION WITH NEW CONSTRUCTION DIMENSIONS.
- 4 REMOVE EXISTING DOOR, FRAME AND SILL. FILL IN OPENING WITH FRAMING AND WALL FINISHES TO MATCH ADJACENT WALLS.
- 5 DEMO EXISTING POSTS. PROTECT EXISTING STONE FINISH PLANTER AT BASE FROM DAMAGE.
- 6 REMOVE EXISTING MAIN LEVEL HOOD CEILING BEAMS AND CEILING DECKING AND SALVAGE PIECES IN GOOD CONDITION. COORDINATE WITH OWNER FOR STORAGE OR REUSE.
- 7 DEMO WINDOWS AND WALLS AT KITCHEN POP OUT.
- 8 EXISTING KITCHEN CABINETS AND ISLAND TO BE DEMOLISHED.
- 9 REMOVE EXISTING COOKTOP AND HOOD.
- 10 DEMO KITCHEN SINK.
- 11 REMOVE AND SALVAGE REFRIGERATOR.
- 12 DEMO EXISTING FIREPLACE, FRAMING AND STONE VENEER.
- 13 EXISTING ENTRY DOORS AND WALL TO BE DEMOLISHED.
- 14 DEMO EXISTING CABINET, LAV SINK AND TOILET AT POWDER.
- 15 DEMO EXISTING WINDOWS AT POWDER. FILL IN OPENINGS WITH HOOD FRAMING, INSULATION AND FINISHES TO MATCH ADJACENT WALLS.
- 16 DEMO EXISTING DOOR, FRAME AND CASING AT POWDER TO BE REPLACED BY 8'-0" HT. NEW DOOR AND CASING.
- 17 DEMO EXISTING WALL AND WINDOWS AT FAMILY ROOM. REFER TO NEW CONSTRUCTION DRAWINGS FOR NEW HOOD CASEMENT WINDOWS.
- 18 DEMO EXISTING FROSTED WINDOWS AT ATRIUM. FILL IN OPENINGS WITH HOOD FRAMING, INSULATION AND FINISHES TO MATCH ADJACENT WALLS. REFER TO NEW CONSTRUCTION DRAWINGS FOR NEW WINDOW LOCATIONS.
- 19 EXISTING CEILING HOOD BEAMS OVER DINING AND OVER ATRIUM TO REMAIN AS IS.
- 20 DINING ROOM CABINETS TO BE DEMOLISHED AND REPLACED WITH NEW CABINETS. OWNER TO SELECT NEW CABINETS.
- 21 DEMO EXISTING PLANTER. VERIFY IF STEPS CONTINUE TO EXTERIOR WALL.

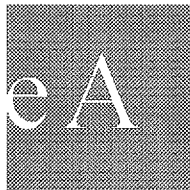
**FLOOR PLAN KEY**



NOTE: WORK AT EXISTING TWO STORY SHOWN HATCHED IS LIMITED TO ATRIUM AT LOWER LEVEL

**DEMOLITION PLAN WALL LEGEND**

- DEMO EXISTING STUD WALL (VERIFY SIZE AND SPACING)
- EXISTING STUD WALL (VERIFY SIZE AND SPACING)
- NEW WALL TO GO-PLANE WITH EXISTING WALL
- NEW OPENING, DOOR OR WINDOW IN EXISTING WALL
- NEW 2X4 FRAMED STUD WALL (2X4 STUDS AT 16" O.C.)
- NEW 2X6 FRAMED STUD WALL (2X6 STUDS AT 16" O.C.) U.O.N.



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phone: (858) 704-4004

**BOYD RESIDENCE REMODEL**  
DANA POINT, CA



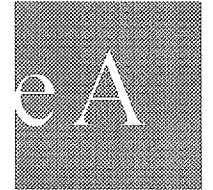
PLAN CHECK \_\_\_\_\_ DATE/INITIALS \_\_\_\_\_


**DEMOLITION PLAN - MAIN LEVEL**

18018-PLANS eA18018

**A-1**

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edingerArchitects

444 S. Cedros Ave, #125  
Solana Beach, CA 92075

phone: (858) 704-4004

BOYD RESIDENCE REMODEL  
DANA POINT, CA

**FOUNDATION NOTES**

- A. FOOTINGS SHALL BE FOUNDED A MINIMUM OF 24 INCHES BELOW GRADE.
- B. PROVIDE CONTINUOUS FOOTINGS WITH (2)-#5 REINFORCEMENT BARS AT TOP AND BOTTOM.
- C. CONCRETE SLABS SHALL BE A MINIMUM OF 5 INCHES THICK REINFORCED WITH #4 BARS AT 18 INCHES ON CENTER EACH WAY OVER 2 INCHES SAND OVER A MINIMUM 10 MIL MOISTURE BARRIER OVER 2 INCHES OF SAND.
- D. DETACH NEW FOUNDATIONS AND SLABS INTO EXISTING FOUNDATIONS AND SLABS A MINIMUM OF 6 INCHES INTO EXISTING CONCRETE AND 24 INCHES INTO NEW CONCRETE WITH #3 BARS AT 18 INCHES ON CENTER.
- E. POST-TENSIONED SLABS ARE USED IN AREAS WITH EXPANSIVE SOIL. FOUNDATION WORK SLAB SHALL PROCEED WITH CAUTION TO PREVENT DAMAGE TO THE TENDONS. HAVE THE ENGINEER OR ARCHITECT OF RECORD ADDRESS THIS ISSUE.
- F. CONCRETE IN CONTACT WITH SOIL SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 4500 PSI, A WATER-CEMENT RATIO OF 0.45 AND TYPE V CEMENT UNLESS A SOILS REPORT RECOMMENDS OTHERWISE.

**FLOOR PLAN NOTES**

- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY PROJECT SUPERINTENDENT AND ARCHITECT SHALL BE NOTIFIED OF ANY OMISSIONS, VARIATIONS OR DISCREPANCIES IN THE ARCHITECTS CONSTRUCTION DOCUMENTS. EXCEPTION: FLOOR PLAN CABINETRY LAYOUTS CAN BE SCALED.
- REFER TO DETAILS / CROSS-SECTIONS / AND FRAMING PLANS FOR CLARIFICATIONS AND DIMENSIONS OF ALL SOFFITTED AREAS.
- REFER TO SHEET A0-1 FOR WALL LEGEND.
- ALL WINDOWS TO HAVE WOOD FRAMES WITH LOW E DUAL GLAZING. SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF WINDOWS WITH MILLION BARS. ALL OPERABLE WINDOWS TO HAVE SCREENS. ALL WINDOWS TO BE PROVIDED WITH 1/8" MESH METAL OR SIMILAR NON-COMBUSTIBLE SCREENS.
- THIS SYMBOL (O) INDICATES AN INTERIOR ELEVATION VIEWED FROM THIS VANTAGE POINT WITH THE LETTER INSIDE THE SYMBOL INDICATING THE INTERIOR ELEVATION. REFER TO INTERIOR ELEVATION SHEET A-6 FOR CLARIFICATIONS.
- SEE ELECTRICAL LAYOUTS FOR MECHANICAL APPLIANCE SPECIFICATIONS. REFER TO SHEETS A0-2 AND TITLE -24 SPECIFICATIONS FOR ENERGY COMPLIANCE.
- PROVIDE BLOCKINGS AND / OR BACKINGS AT ALL TOILET BAR (T), TOILET RING (TR), AND / OR TOILET PAPER HOLDER (TPH) LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK-THRU.
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- PROVIDE CLEAR LANDINGS AT TOP AND BOTTOM OF STAIRWAYS (R311.1.6)

**NUMBERED NOTES**

- 1 24" DEEP FULL HEIGHT BUILT-IN STORAGE CABINETS. MATERIALS AND FINISH PER OWNER.
- 2 20'x20' GARAGE CLEAR SPACE FOR 2 AUTOMOBILES SHOWN DASHED.
- 3 12" DP. EXTERIOR PLASTER FINISH "EYEBROW" ABOVE GARAGE DOOR. REFER TO PROPOSED EXTERIOR ELEVATIONS ON SHEET A-5.1 FOR CLARIFICATIONS.
- 4 TANKLESS WATER HEATER. REFER TO TITLE 24 SHEETS FOR APPLIANCE SPECIFICATIONS. VENT THROUGH ROOF TO EXTERIOR.
- 5 PROVIDE 18" DEEP SHELVES IN PANTRY AND LINEN CLOSETS. SHELVES TO BE FIVE HIGH WITH SHELF BRACKETS. MATERIALS AND FINISH PER OWNER. REFER TO DETAIL 6/A0-1.
- 6 18" DEEP FULL HEIGHT BUILT-IN STORAGE CABINETS. MATERIALS AND FINISH PER OWNER.
- 7 24" DEEP KEY DROP BASE CABINET. MATERIALS AND FINISH PER OWNER.
- 8 14" DEEP SHELF AND POLE AT ALL WARDROBE AND COAT CLOSETS. MATERIALS AND FINISH PER OWNER.
- 9 STONE VENEER LOCATIONS SHOWN HATCHED. REFER TO EXTERIOR ELEVATIONS ON SHEETS A-5.1 AND A-5.2 FOR CLARIFICATIONS.
- 10 EXTERIOR PLASTER FINISH ENTRY SOFFIT ABOVE AT 8'-2" HT. A.F.F.
- 11 6'-0" HT. WOOD AND TEMPERED GLASS ENTRY PIVOT DOORS. REFER TO EXTERIOR ELEVATIONS ON SHEETS A-5.1 FOR CLARIFICATIONS.
- 12 RECESSED ROOF BEAMS ABOVE AT 4'-6 5/8" HT. A.F.F. TO BOTTOM OF BEAMS. TYP. OF 10. (FIELD VERIFY). REFER TO STRUCTURAL PLANS.
- 13 14" DEEP FULL BUILT-IN CABINET. MATERIALS AND FINISH PER OWNER.
- 14 DRYHALL CEILING FINISH AT ENTRY, HALLWAY, FAMILY ROOM AND KITCHEN TO BE DETERMINED PER OWNER.
- 15 36" HT. ISLAND WITH HARD SURFACE COUNTERTOP OVER BASE CABINETS AND CANTILEVERED EATING BARS PER FLOOR PLAN DIMENSIONS. MATERIALS AND FINISH PER OWNER.
- 16 DISHWASHER UNDER COUNTERTOP, (24" WIDE APPLIANCE, VERIFY). REFER TO DETAIL 7/A0-1 FOR VENTING, BRAND AND MODEL TO BE SELECTED BY OWNER.
- 17 TWO COMPARTMENT SINK WITH GARBAGE DISPOSAL. REFER TO DETAIL 7/A0-1 FOR VENTING, BRAND AND MODEL TO BE SELECTED BY OWNER.
- 18 TRASH COMPACTOR UNDER COUNTERTOP, (18" WIDE APPLIANCE, VERIFY). BRAND AND MODEL TO BE SELECTED BY OWNER.
- 19 48" WIDE GAS RANGE W/ OVEN BELOW WITH 48" WIDE VENT/ LIGHT ABOVE. BRAND AND MODEL TO BE SELECTED BY OWNER. RANGE HOOD VENT MUST BE DUCTED TO OUTSIDE AIR AND COMPLY WITH 2019 TITLE 24 AND ASHRA 62.2 STANDARDS.
- 20 60" WIDE BUILT-IN SIDE-BY-SIDE REFRIGERATOR WITH RECESSED PLUMBING FOR ICE-MAKER. BRAND AND MODEL TO BE SELECTED BY OWNER.
- 21 33" WIDE BUILT-IN CABINET WITH 30" WIDE OVEN AND MICROWAVE. BRAND AND MODELS TO BE SELECTED BY OWNER.
- 22 24" DEEP BASE AND 12" DEEP UPPER CABINETS. MATERIALS AND FINISH PER OWNER.
- 23 EXISTING WOOD BEAMS AT ATRIUM CEILING TO REMAIN. FINISH PER INTERIOR DESIGNER AND OWNER.
- 24 WINE COOLER APPLIANCE UNDER COUNTERTOP, (24" WIDE APPLIANCE, VERIFY). REFER TO DETAIL 7/A0-1 FOR VENTING, BRAND AND MODEL TO BE SELECTED BY OWNER.
- 25 7/8" THICK TEMPERED GLASS GUARDRAIL AT EXISTING STAIRS TO LOWER AND UPPER LEVELS. TOP OF GUARDRAIL/HANDRAIL AT 94" ABOVE TOE OF RISERS GOING UP TO UPPER LEVEL.
- 26 EXISTING 6'-8" HT. DOOR REPLACED BY NEW 6'-0" HT. DOOR. MATERIALS AND FINISH PER OWNER.
- 27 NEW 24" DEEP BASE CABINET WITH LAVATORY AND HARD SURFACE COUNTERTOP. MATERIALS AND FINISH PER OWNER.
- 28 EXISTING WATER CLOSET TO BE REPLACED BY NEW WATER CLOSET. BRAND AND MODEL TO BE SELECTED BY OWNER.
- 29 OVERHEAD STORAGE PLATFORM ATTACHED TO ROOF STRUCTURE. REFER TO SECTION C/A-4.
- 30 EXTERIOR PLASTER FINISH ENTRY SOFFIT ABOVE AT 9'-6" HT. A.F.F.
- 31 6'-0"x13'-0" SOFFIT LIGHTING DETAIL OVER KITCHEN ISLAND WITH DOWN LIGHTS AND PERIMETER UP LIGHTING SHOWN DASHED. REFER TO DETAIL WAD-X.

**SQUARE FOOTAGE**

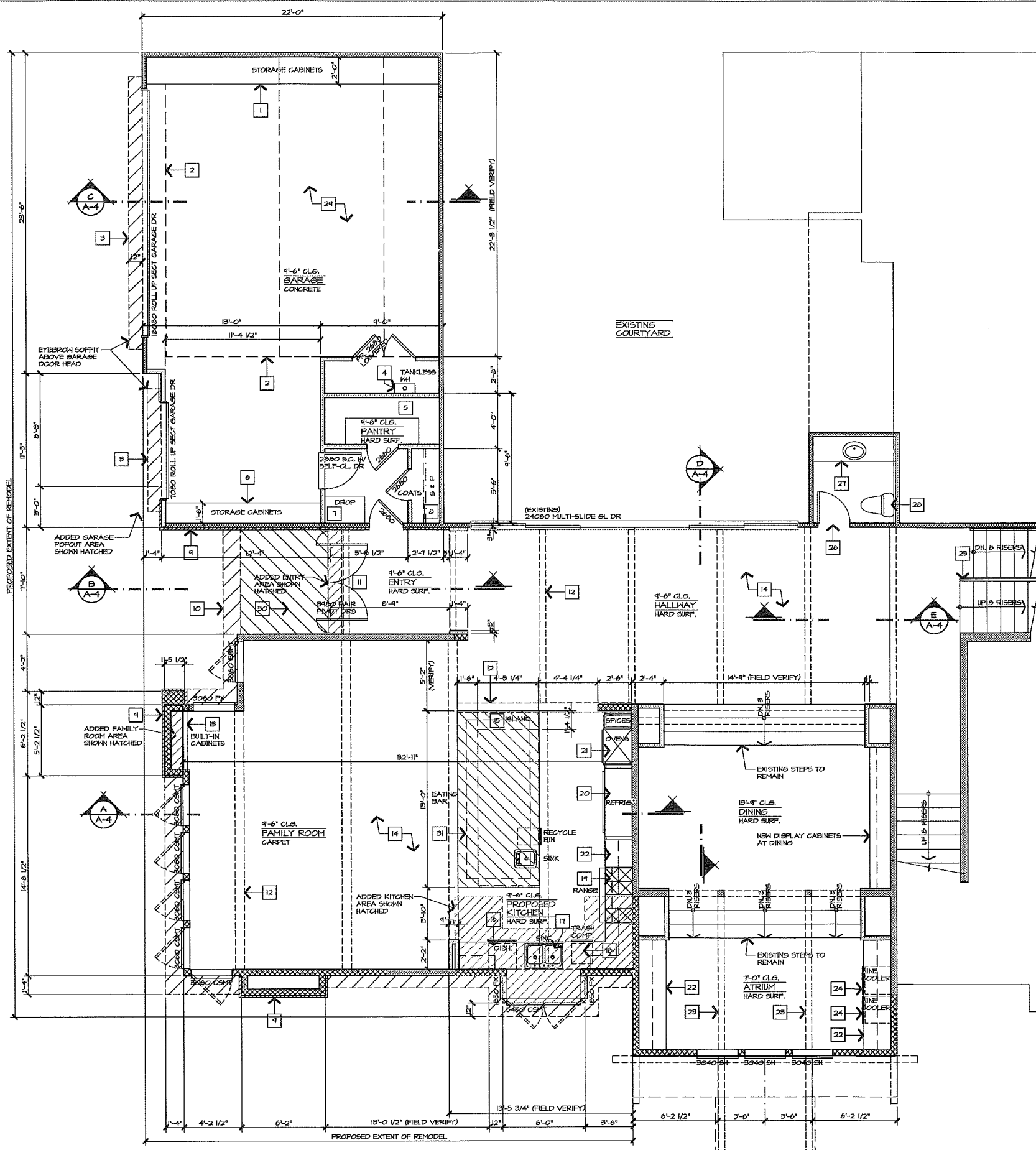
<input type="checkbox"/> ENTRY PIVOT DOORS AREA	7.89 SF.
<input type="checkbox"/> FAMILY ROOM POPOUT AREA	9.00 SF.
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<input type="checkbox"/>	

FLOOR PLAN - MAIN LEVEL

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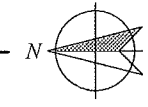
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12/7/17      12/7/17

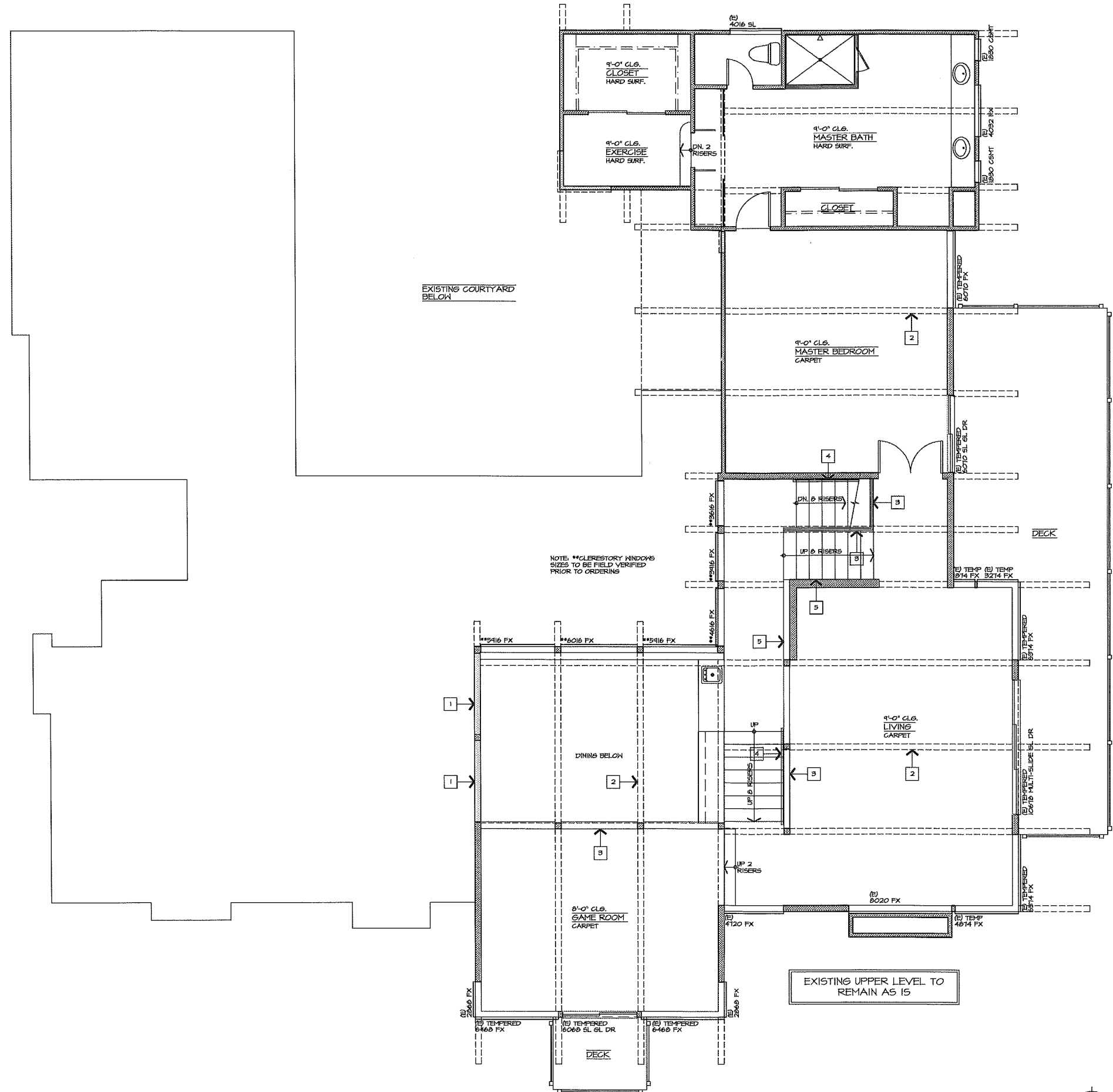


**PROPOSED FLOOR PLAN - MAIN LEVEL**

SCALE: 1/4" = 1'-0"



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FLOOR PLAN - UPPER LEVEL  
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- ☐ REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ☐ DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY PROJECT SUPERINTENDENT AND ARCHITECT SHALL BE NOTIFIED OF ANY OMISSIONS, VARIATIONS OR DISCREPANCIES IN THE ARCHITECTS CONSTRUCTION DOCUMENTS, EXCEPTION: FLOOR PLAN CABINETRY LAYOUTS CAN BE SCALED.
- ☐ REFER TO DETAILS / CROSS-SECTIONS / AND FRAMING PLANS FOR CLARIFICATIONS AND DIMENSIONS OF ALL SOFFITED AREAS.
- ☐ REFER TO SHEET AO-1 FOR HALL LEGEND.
- ☐ ALL WINDOWS TO HAVE WOOD FRAMES WITH LOW E DUAL GLAZING. SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF WINDOWS WITH MILLION BARS (ALL OPERABLE WINDOWS TO HAVE SCREENS). ALL WINDOWS TO BE PROVIDED WITH 1/8" MESH METAL OR SIMILAR NON-COMBUSTIBLE SCREENS.
- ☐ THIS SYMBOL (O) INDICATES AN INTERIOR ELEVATION VIEWED FROM THIS VANTAGE POINT WITH THE LETTER INSIDE THE SYMBOL INDICATING THE INTERIOR ELEVATION. REFER TO INTERIOR ELEVATION SHEET A-6 FOR CLARIFICATIONS.
- ☐ SEE ELECTRICAL LAYOUTS FOR MECHANICAL APPLIANCE SPECIFICATIONS. REFER TO SHEETS AO-2 AND TITLE -24 SPECIFICATIONS FOR ENERGY COMPLIANCE.
- ☐ PROVIDE BLOCKING AND / OR BACKING AT ALL TOILET BAR (---), TOILET RING (---), AND / OR TOILET PAPER HOLDER (---) LOCATIONS, AS SHOWN PER PLAN, TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK-THRU.
- ☐ ALL ADS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- ☐ PROVIDE CLEAR LANDINGS AT TOP AND BOTTOM OF STAIRWAYS (R311.7.6)

NUMBERED NOTES

- 1 REMOVE EXISTING WINDOW FRAME AND GLAZING AT CLERESTORY OF DINING ROOM. FILL IN OPENING WITH FRAMING, REQUIRED INSULATION AND WALL FINISHES TO MATCH ADJACENT WALLS.
- 2 EXISTING WOOD BEAMS AT GAME ROOM, LIVING ROOM, MASTER BEDROOM AND MASTER BATH CEILINGS TO REMAIN. FINISH PER INTERIOR DESIGNER AND OWNER. TYP. AT UPPER LEVEL.
- 3 1/16" THICK TEMPERED GLASS GUARDRAIL AT EXISTING STAIRS TO LOWER AND UPPER LEVELS. TOP OF GUARDRAIL/HANDRAIL AT 34" ABOVE NOSE OF TREADS GOING UP TO UPPER LEVEL. TOP AT 42" HT. AT UPPER LEVEL LANDING.
- 4 NEW WALL MOUNTED, 2X SHAPED WOOD HANDRAIL AT 34" HT. FROM NOSE OF TREADS. REFER TO DETAIL 5/AD-6 FOR SPECIFICATIONS, MATERIAL AND FINISH PER OWNER.
- 5 EXISTING WOOD PANELING TO REMAIN.



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BOYD RESIDENCE REMODEL  
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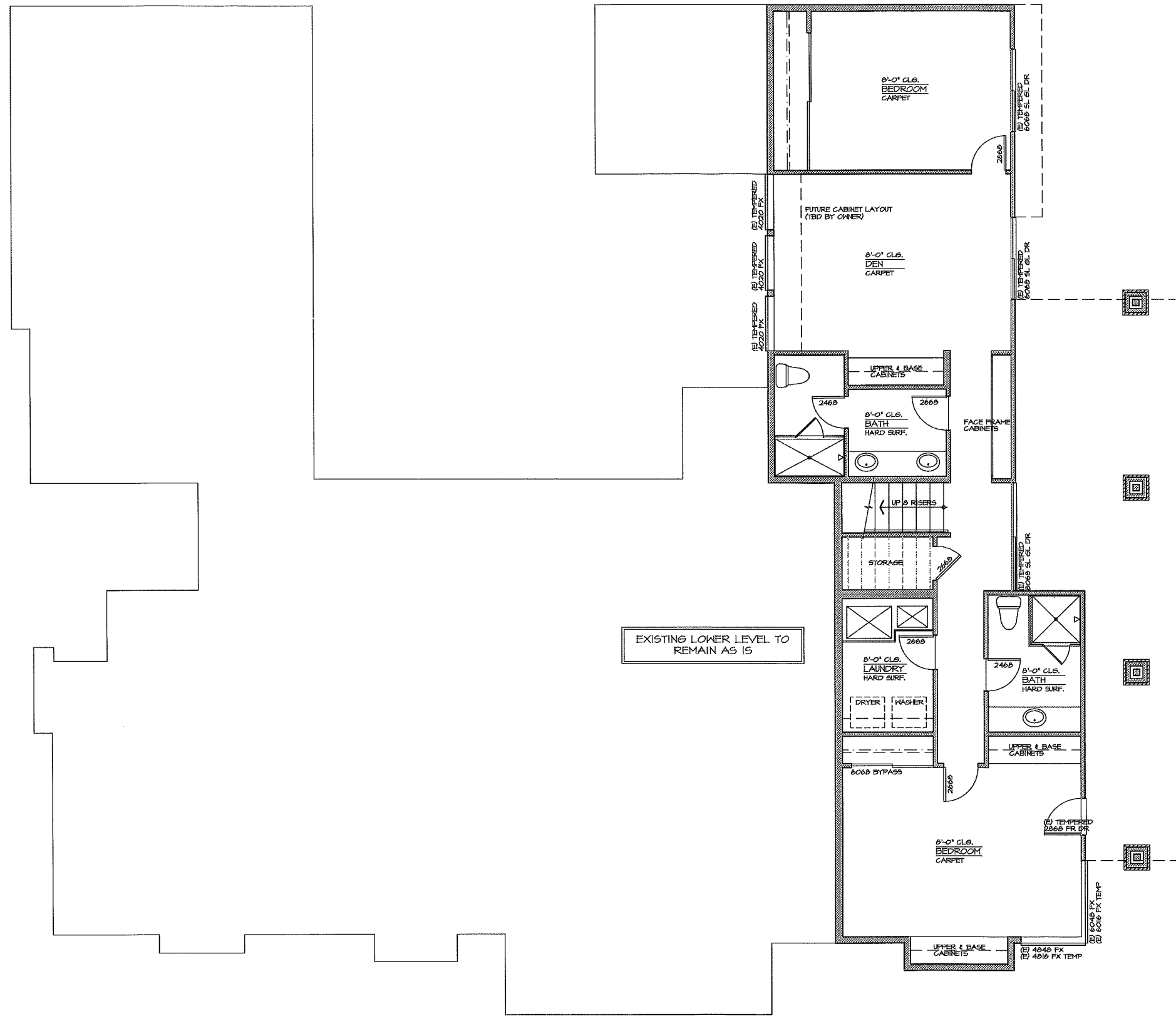


PLAN CHECK	DATE

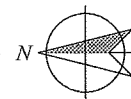
FLOOR PLAN - UPPER LEVEL  
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A-2.2

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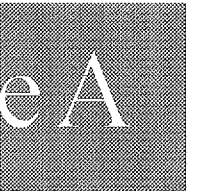
**FLOOR PLAN - LOWER LEVEL**  
SCALE: 1/4" = 1'-0"



**FLOOR PLAN NOTES**

- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY PROJECT SUPERINTENDENT AND ARCHITECT SHALL BE NOTIFIED OF ANY OMISSIONS, VARIATIONS OR DISCREPANCIES IN THE ARCHITECT'S CONSTRUCTION DOCUMENTS. EXCEPTION: FLOOR PLAN CABINETS LAYOUTS CAN BE SCALED.
- REFER TO DETAILS / CROSS-SECTIONS / AND FRAMING PLANS FOR CLARIFICATIONS AND DIMENSIONS OF ALL SOFFITED AREAS.
- REFER TO SHEET AO-1 FOR WALL LEGEND.
- ALL WINDOWS TO HAVE WOOD FRAMES WITH LOW E DUAL GLAZING. SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF WINDOWS WITH MULLION BARS, (ALL OPERABLE WINDOWS TO HAVE SCREENS). ALL WINDOWS TO BE PROVIDED WITH 1/8" MESH METAL OR SIMILAR NON-COMBUSTIBLE SCREENS.
- THIS SYMBOL (⊙) INDICATES AN INTERIOR ELEVATION VIEWED FROM THIS VANTAGE POINT WITH THE LETTER INSIDE THE SYMBOL, INDICATING THE INTERIOR ELEVATION. REFER TO INTERIOR ELEVATION SHEET A -6 FOR CLARIFICATIONS.
- SEE ELECTRICAL LAYOUTS FOR MECHANICAL APPLIANCE SPECIFICATIONS. REFER TO SHEETS AO-2 AND TITLE -24 SPECIFICATIONS FOR ENERGY COMPLIANCE.
- PROVIDE BLOCKING AND / OR BACKING AT ALL TOWEL BAR (T), TOWEL RING (R), AND / OR TOILET PAPER HOLDER (P) LOCATIONS, AS SHOWN PER PLAN, TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK-THRU.
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- PROVIDE CLEAR LANDINGS AT TOP AND BOTTOM OF STAIRWAYS (R311.1.6)

**NUMBERED NOTES**



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FLOOR PLAN - LOWER LEVEL

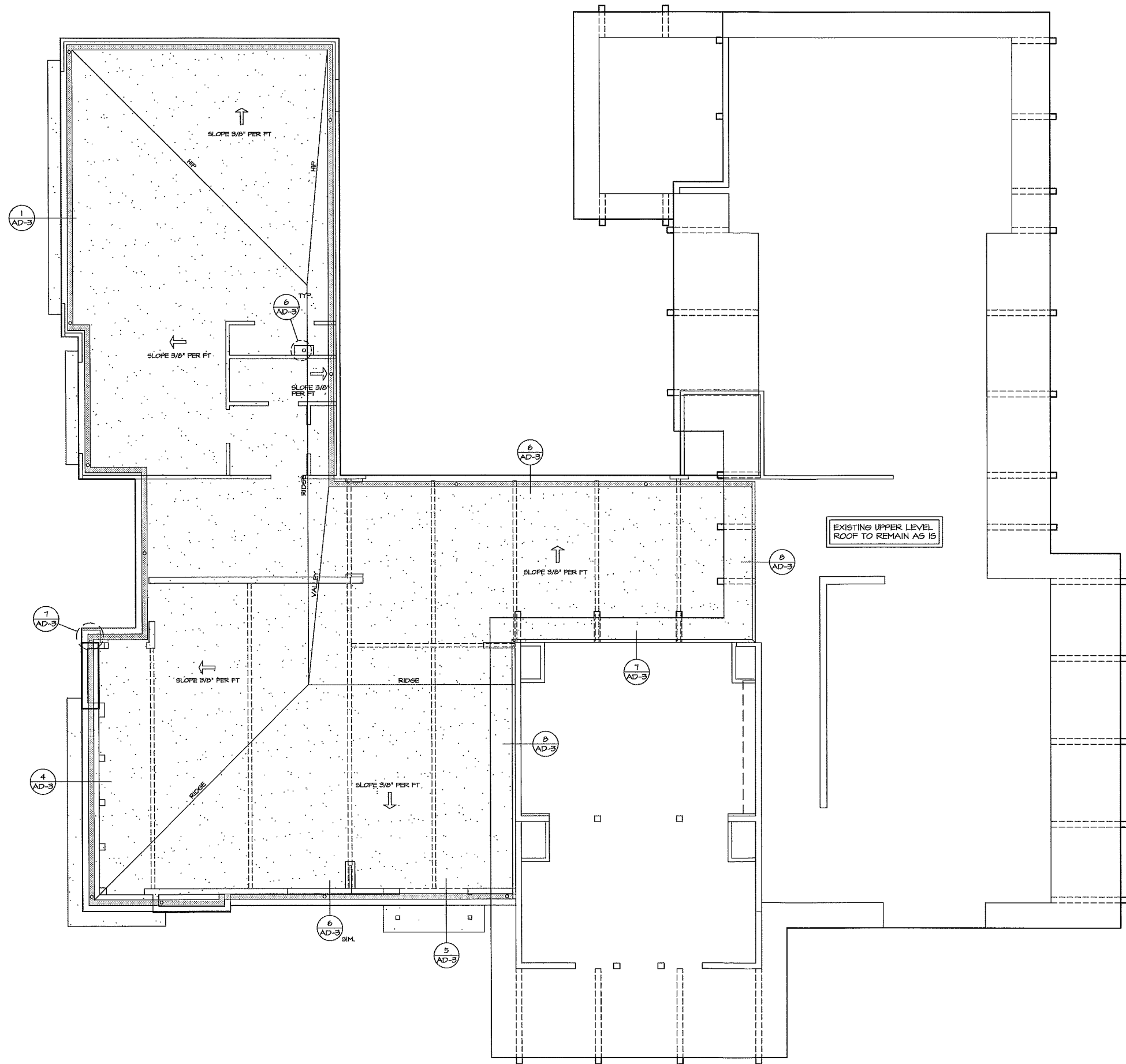
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**A-2.3**

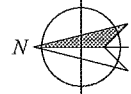
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**ROOF PLAN - MAIN LEVEL**  
SCALE: 1/4" = 1'-0"



**ROOF / REFLECTED CLG. NOTES**

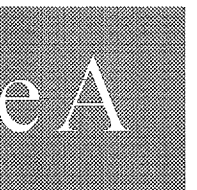
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY PROJECT SUPERINTENDENT AND ARCHITECT SHALL BE NOTIFIED OF ANY OMISSIONS, VARIATIONS OR DISCREPANCIES IN THE ARCHITECT'S CONSTRUCTION DOCUMENTS.
- REFER TO THE FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL NOTES AND INFORMATION NOT SHOWN HERE.
- REFER TO STRUCTURAL PLANS PREPARED BY OTHERS FOR ADDITIONAL NOTES AND CLARIFICATIONS, AS WELL AS ADDITIONAL SPECIFICATIONS (I.E. NAILING, BRACING, ETC.). THE FOLLOWING NOTES ARE TO CLARIFY THE ROOF PLAN.
- VERIFY ALL PLATES SHOWN WITH STRUCTURAL PLANS, (I.E. PLATE HEIGHTS WILL DIFFER DEPENDING ON WHAT TYPE OF ROOF FRAMING IS USED).
- ROOF COVERING TO HAVE A MINIMUM CLASS 'A' FIRE RATING.
- RAIN GUTTERS AND DOWNSPOUTS SHALL BE ALUMINUM.
- NEW ROOF COVERING TO BE THREE-LAYER TORCH DOWN ROOFING, CONSISTING OF BASE FIBERGLASS LAYER, SMOOTH TORCH DOWN LAYER AND TOP TORCH DOWN LAYER WITH GRANULAR SURFACE, MANUFACTURED BY "GAF" RUBEROID TORCH SMOOTH, 823# PER SQUARE, ANSUL TESTING UL-FHO REPORT, (OR EQUIVALENT) OVER ONE LAYER OF 1/2" EXTERIOR GRADE PLYWOOD OVER MINIMUM 2" THICK RIGID INSULATION BOARD OVER STRUCTURAL ROOF SHEATHING. ROOF SLOPE 3/8" PER FT. TYPICAL U.O.N. ROOF SHEATHING PER STRUCTURAL RECOMMENDATIONS.
- INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- HATCHED AREA INDICATE CEILING TO BE FURRED DOWN AS NOTED PER PLAN.
- COMBINE AND GROUP PLUMBING VENTS WHENEVER POSSIBLE TO MINIMIZE ROOF PENETRATIONS. FOR FLASHING AT ROOF PENETRATIONS (I.E. "B" VENTS).
- ALL ATTIC VENTS MUST BE LOWERED AND COVERED WITH NON-COMBUSTIBLE, CORROSION-RESISTANT METAL MESH WITH MAX. OPENING SIZE OF 1/4 INCH. THEY SHALL NOT EXCEED 144 SQ. IN. PER OPENING.
- PAPER FACED INSULATION SHALL BE PROHIBITED IN ATTICS OR VENTILATED SPACES.

**NUMBERED NOTES**

Area reserved for numbered notes, currently blank.

**ROOF PLAN LEGEND**

- LOCATION METAL GAP AT PARAPET OR FLAT ROOF
- LOCATION OF SINGLE PLY FLAT ROOFING
- RAIN GUTTER LOCATIONS
- DOWN SPOUT LOCATIONS



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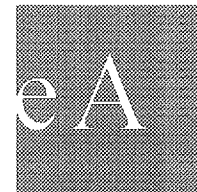
**ROOF PLAN - MAIN LEVEL**

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**A-3**

12/7/17 12/7/17

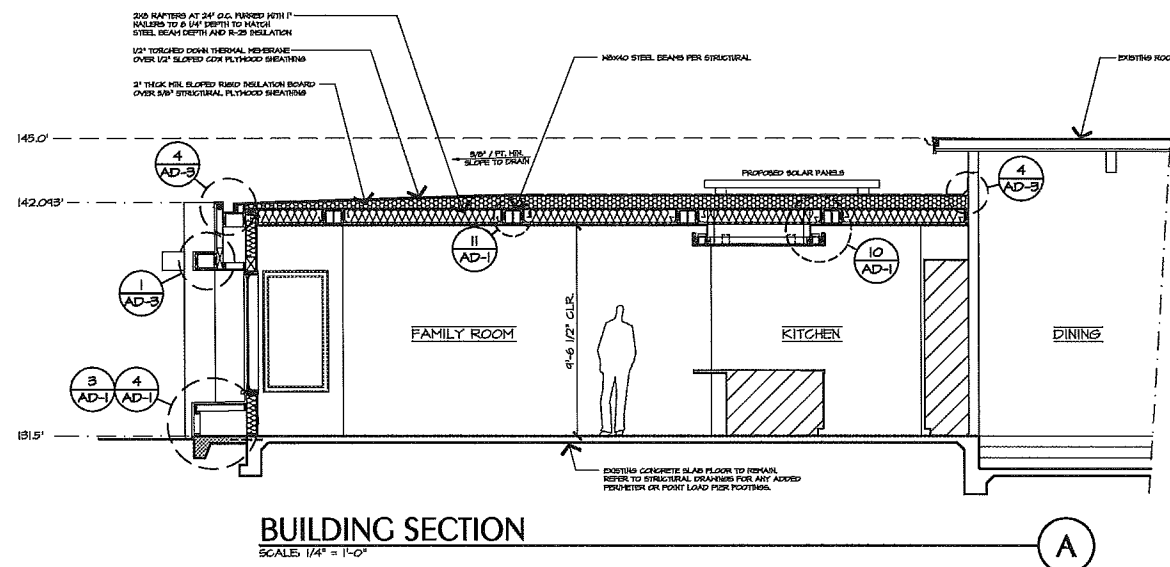
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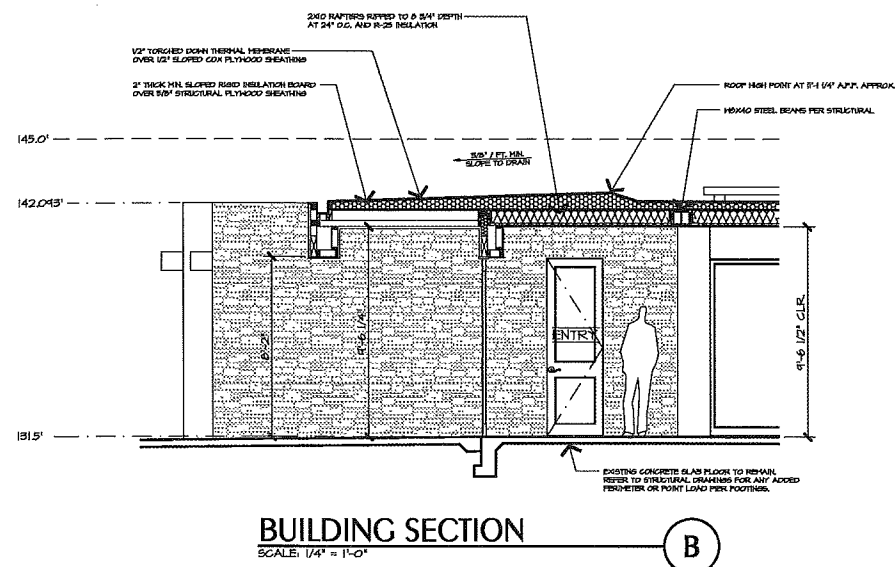
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**BUILDING SECTION**

SCALE: 1/4" = 1'-0"

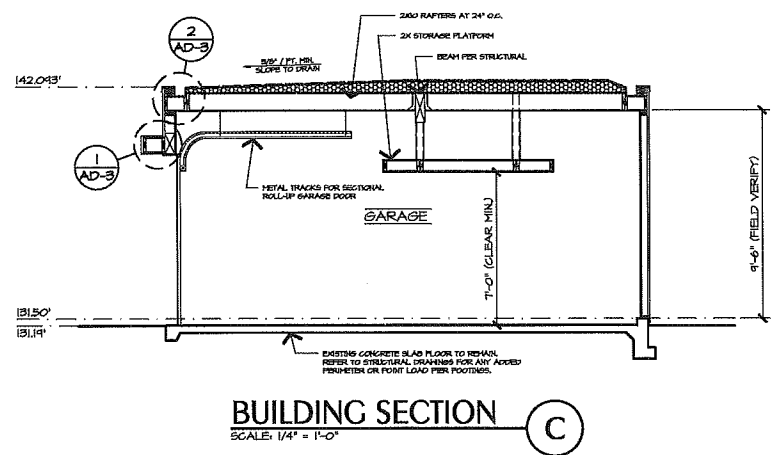
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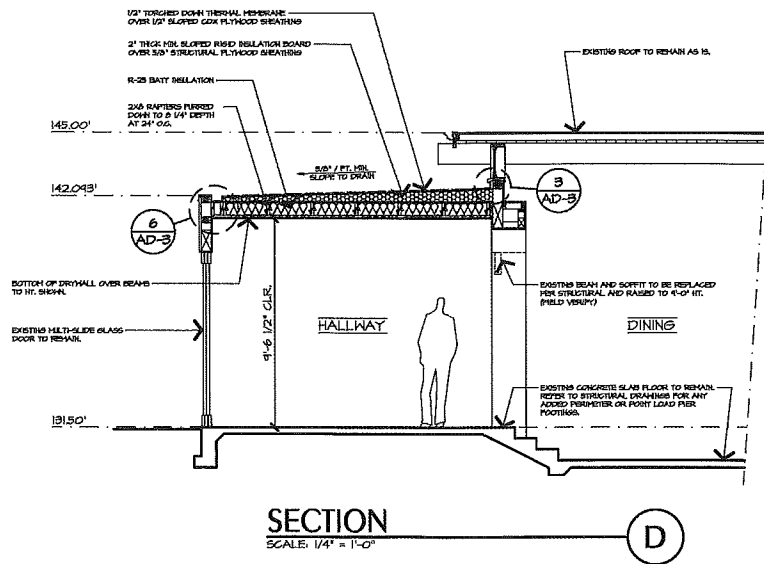
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**BUILDING SECTION**

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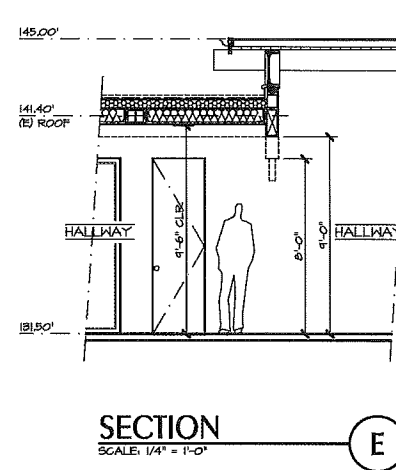
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**SECTION**

SCALE: 1/4" = 1'-0"

**D**



**SECTION**

SCALE: 1/4" = 1'-0"

**E**

**BOYD RESIDENCE REMODEL**

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PLAN CHECK: CHW/2017

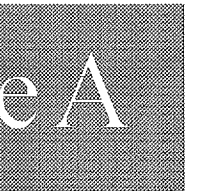
**BUILDING SECTIONS**

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**A-4**

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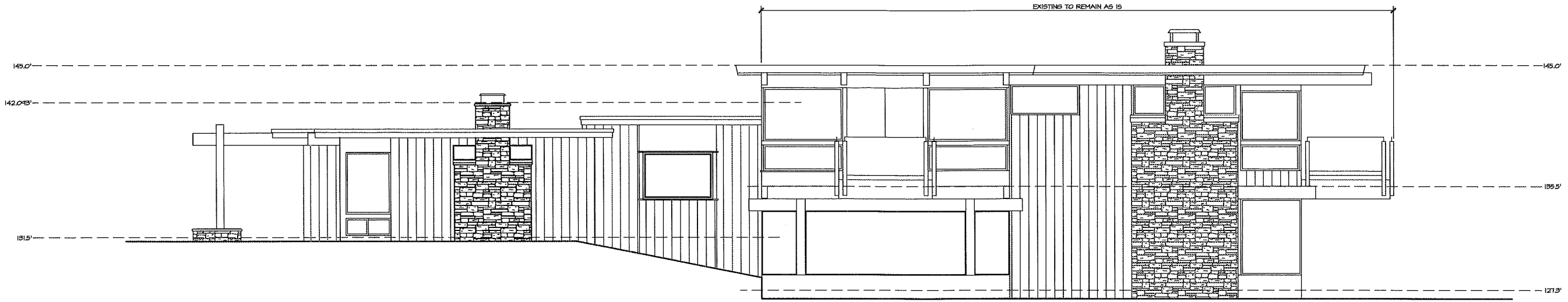
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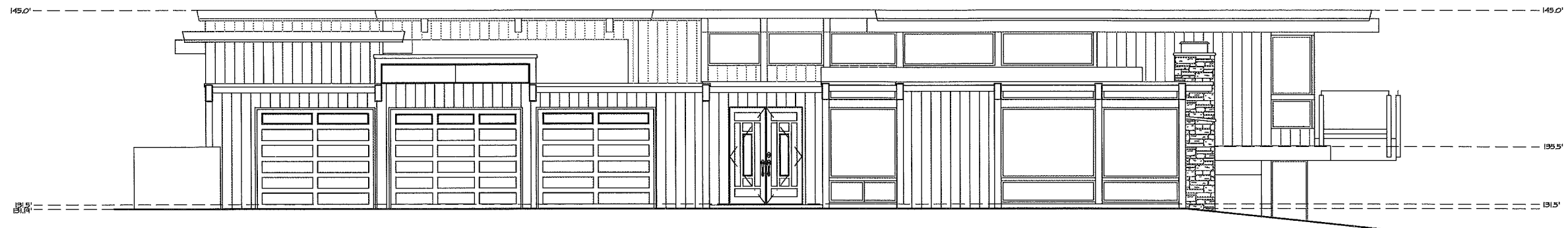
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EXISTING WEST EXTERIOR ELEVATION (CROWN COAST DRIVE)  
SCALE: 1/4" = 1'-0"



EXISTING NORTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

BOYD RESIDENCE REMODEL  
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PLAN CHECK 02/14/2017

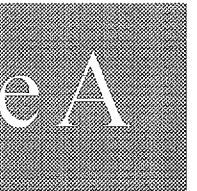
EXISTING EXTERIOR ELEVATIONS

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BOYD RESIDENCE REMODEL  
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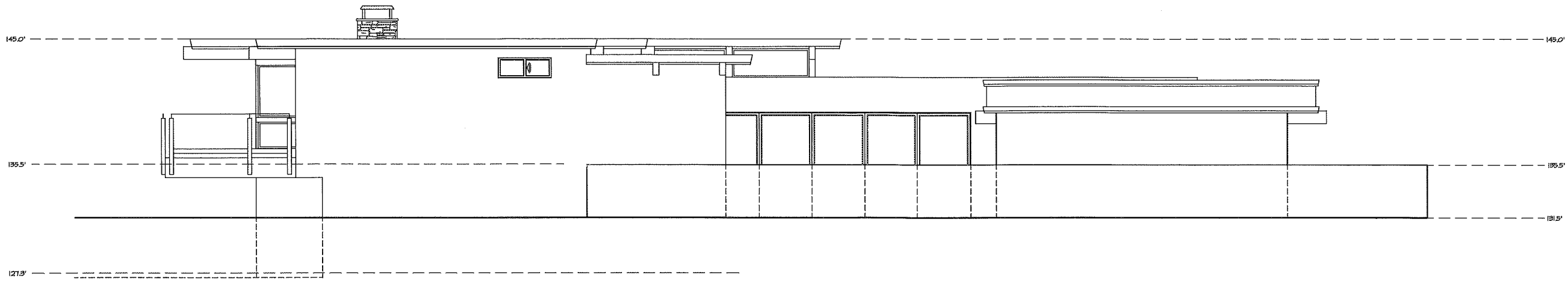
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EXISTING EXTERIOR ELEVATIONS

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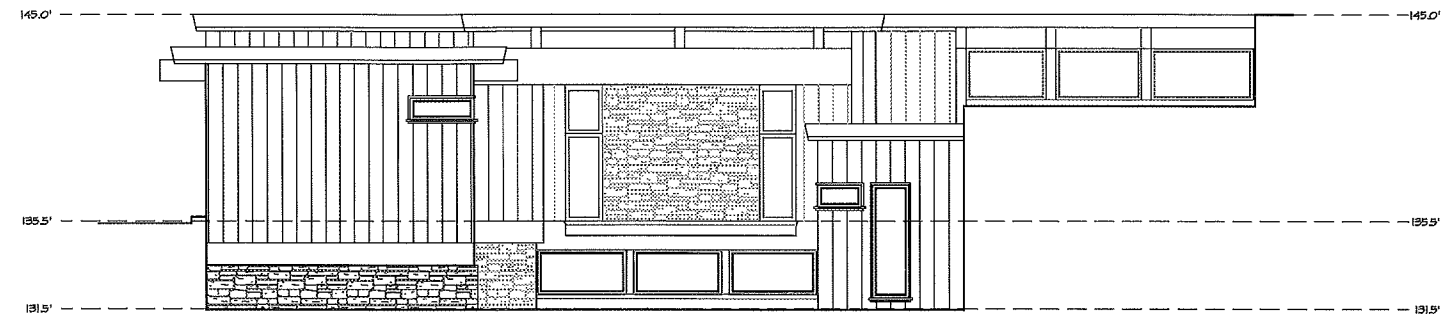
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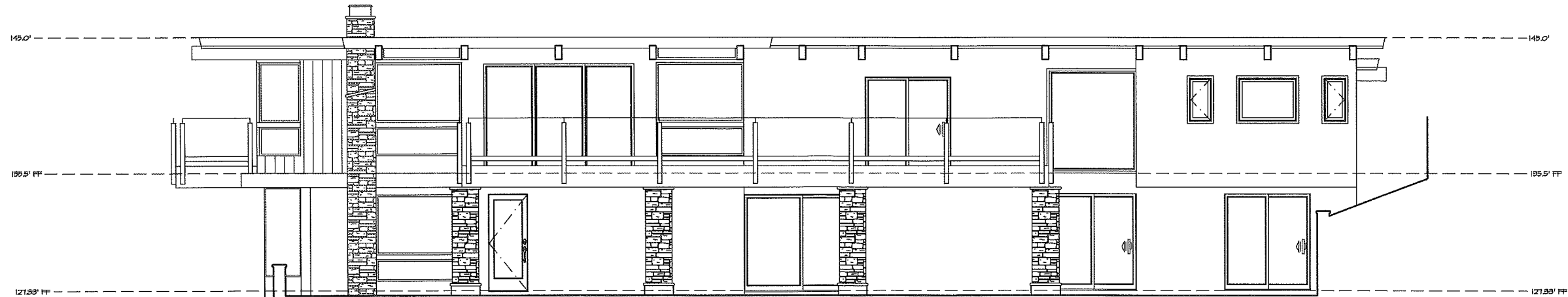
EXISTING EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING SOUTH COURTYARD EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



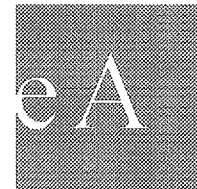
EXISTING SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

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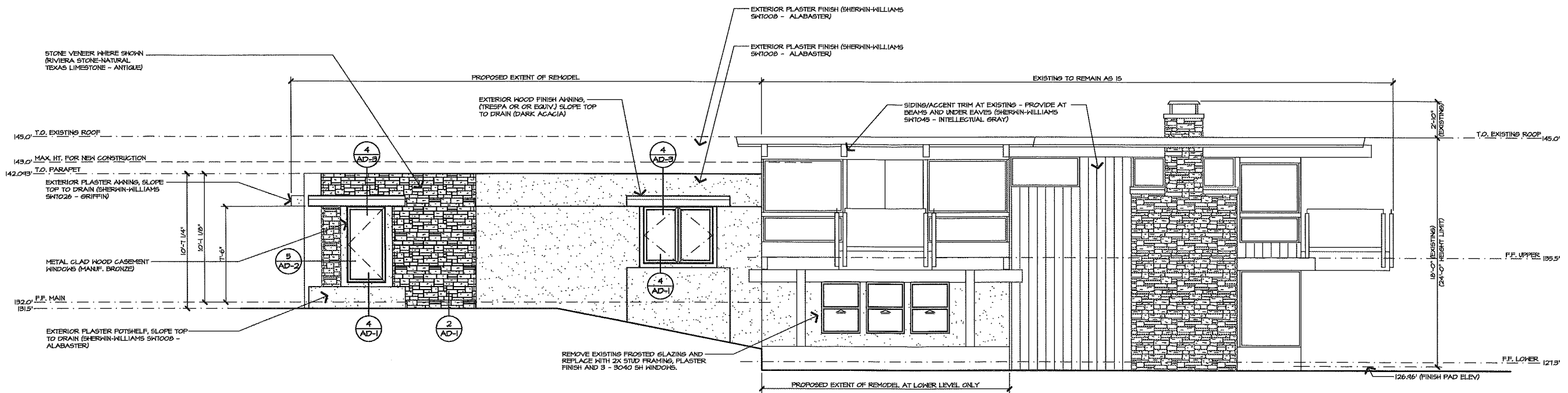
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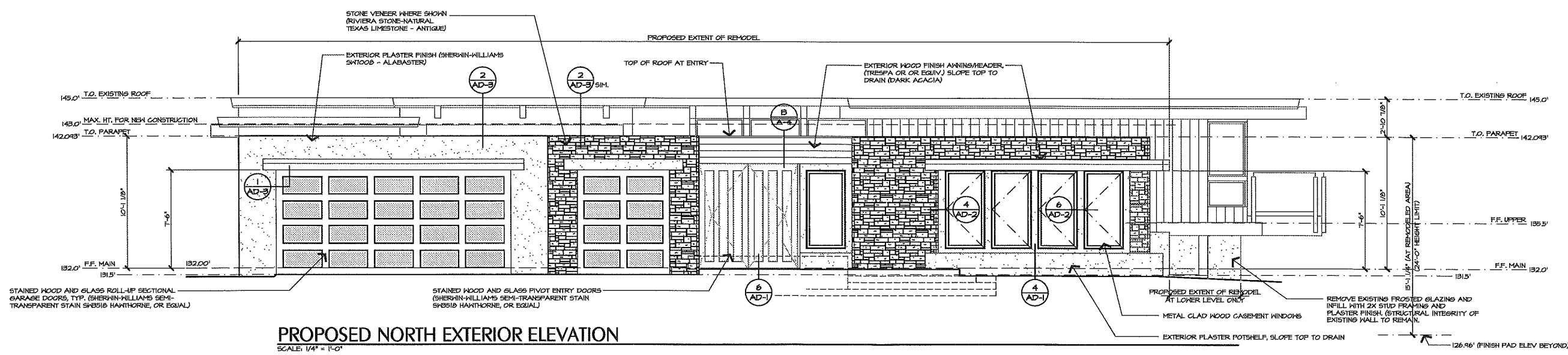
BOYD RESIDENCE REMODEL  
DANA POINT, CA



PLAN CHECK 02/14/2017



**PROPOSED WEST EXTERIOR ELEVATION (CROWN COAST DRIVE)**  
SCALE: 1/4" = 1'-0"



**PROPOSED NORTH EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

ELEVATION NOTES	
A.	ALL NEW WINDOWS TO MATCH DESIGN AND STYLE OF EXISTING WINDOWS. WINDOWS TO BE MANUFACTURED BY MILGARD MANUFACTURING, INC. (OR APPROVED EQUAL). WINDOWS TO BE OF THE "WOODCLAD" SERIES. ALL NEW WINDOWS TO HAVE WOOD/GLAD FRAMES WITH CLEAR DUAL GLAZED, DUAL TEMPERED PANES. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF WINDOWS WITH MILLION MARKS.
B.	THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FEDERATION RATING COUNCIL (NFR) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
C.	EXTERIOR DOORS SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR OF SOLID-CORE WOOD NOT LESS THAN 1 3/8" THICK OR 20-MINUTE FIRE-RATED. NEW DOORS TO MATCH DESIGN AND STYLE OF EXISTING DOORS.
D.	EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN DOORS SHALL BE DUAL-GLAZED UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR SHALL BE GLASS BLOCK UNITS OR SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. GLAZING FRAMES MADE OF VINYL SHALL HAVE WELDED CORNERS AND METAL REINFORCEMENT IN THE INTERLOCK AREA.

GENERAL NOTES	
A.	REFER TO GENERAL NOTES SHEETS FOR ADDITIONAL INFORMATION.
B.	DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
C.	VERIFY ALL EXISTING DIMENSIONS ON SITE.
D.	ALL SHORINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
E.	THE CONTRACTOR / ARCHITECT SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
F.	ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED, THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.

PROPOSED EXTERIOR ELEVATIONS

18018-PLANS eA18018

A-6.1

12/7/17 12/7/17

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**BOYD RESIDENCE REMODEL**  
DANA POINT, CA



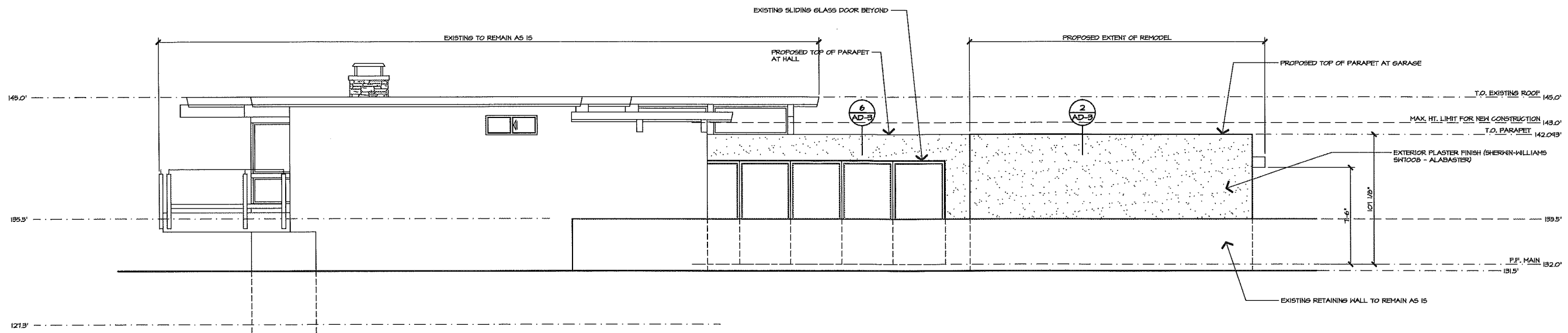
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PROPOSED EXTERIOR ELEVATIONS

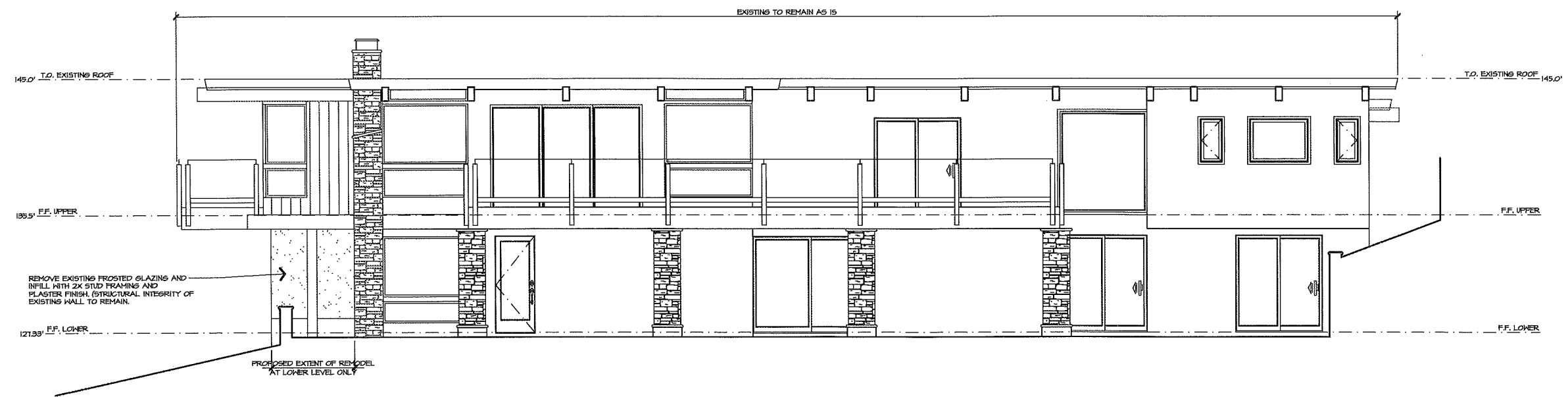
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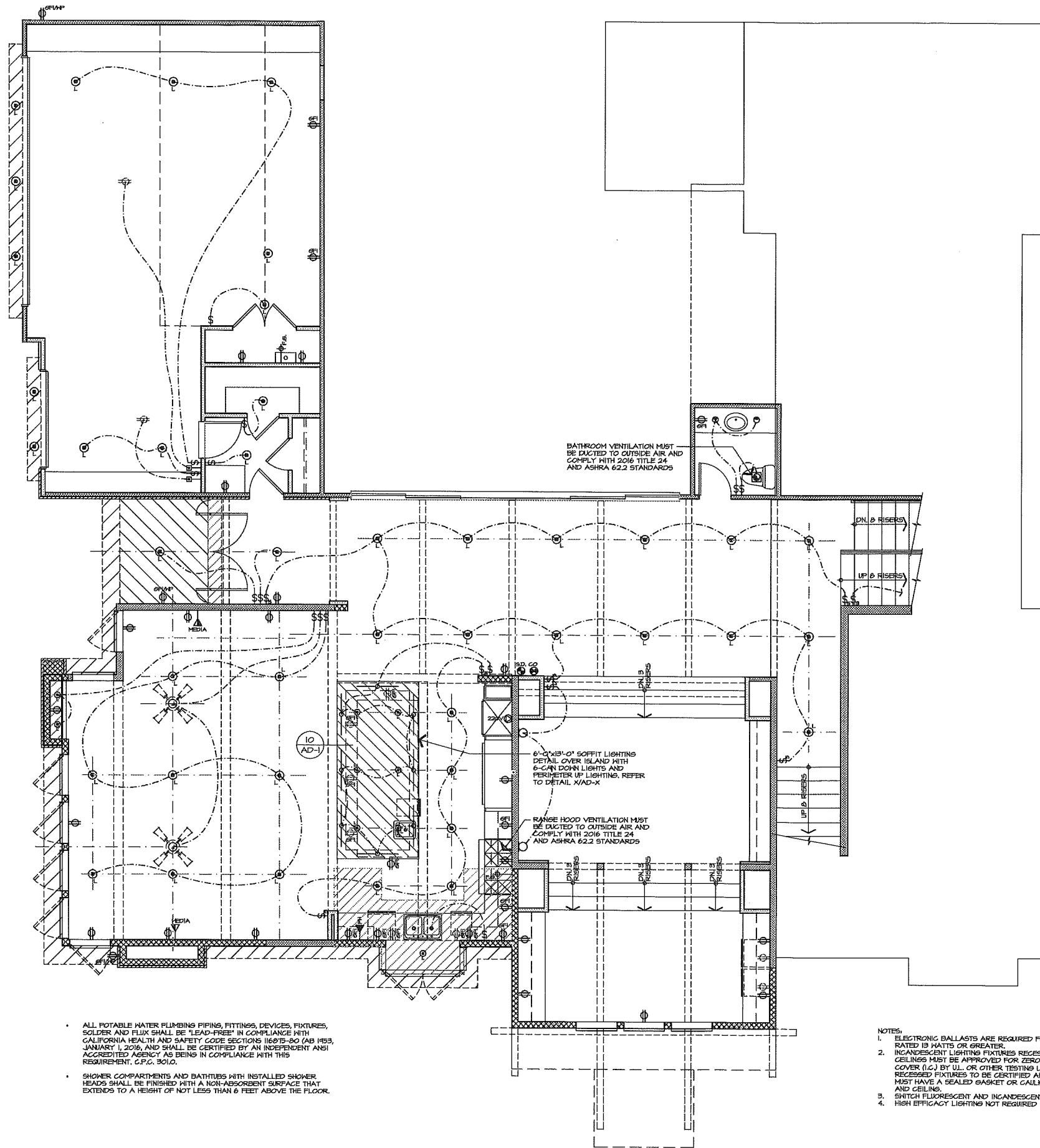
**PROPOSED EAST EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING SOUTH EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

ELEVATION NOTES	GENERAL NOTES
<p>A. ALL NEW WINDOWS TO MATCH DESIGN AND STYLE OF EXISTING WINDOWS. WINDOWS TO BE MANUFACTURED BY MILGARD MANUFACTURING, INC. (OR APPROVED EQUAL). WINDOWS TO BE OF THE "WOODGLAD" SERIES. ALL NEW WINDOWS TO HAVE WOODGLAD FRAMES WITH CLEAR DUAL GLAZED, DUAL TEMPERED PANE. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF WINDOWS WITH MILLION BARS.</p> <p>B. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.</p> <p>C. EXTERIOR DOORS SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR OF SOLID-CORE WOOD NOT LESS THAN 1 3/8" THICK OR 20-MINUTE FIRE-RATED. NEW DOORS TO MATCH DESIGN AND STYLE OF EXISTING DOORS.</p> <p>D. EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN DOORS SHALL BE DUAL-GLAZED UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR SHALL BE GLASS BLOCK UNITS OR SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. GLAZING FRAMES MADE OF VINYL SHALL HAVE WELDED CORNERS AND METAL REINFORCEMENT IN THE INTERLOCK AREA.</p>	<p>A. REFER TO GENERAL NOTES SHEETS FOR ADDITIONAL INFORMATION.</p> <p>B. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.</p> <p>C. VERIFY ALL EXISTING DIMENSIONS ON SITE.</p> <p>D. ALL SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</p> <p>E. THE CONTRACTOR / ARCHITECT SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.</p> <p>F. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED, THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, COVERINGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.</p>

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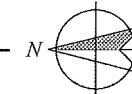


- ALL POTABLE WATER PLUMBING PIPING, FITTINGS, DEVICES, FIXTURES, SOLDER AND FLUX SHALL BE "LEAD-FREE" IN COMPLIANCE WITH CALIFORNIA HEALTH AND SAFETY CODE SECTIONS 116975-90 (AB 189, JANUARY 1, 2016), AND SHALL BE CERTIFIED BY AN INDEPENDENT ANSI ACCREDITED AGENCY AS BEING IN COMPLIANCE WITH THIS REQUIREMENT. C.P.C. 901.0.
- SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.

- NOTES:
- ELECTRONIC BALLASTS ARE REQUIRED FOR ALL FLUORESCENT LAMPS RATED 15 WATTS OR GREATER.
  - INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (I.C.) BY UL OR OTHER TESTING LAB RECOGNIZED BY ICSO. RECESSED FIXTURES TO BE CERTIFIED AIRTIGHT CONSTRUCTION AND MUST HAVE A SEALED GASKET OR CAULKING BETWEEN THE HOUSING AND CEILING.
  - SWITCH FLUORESCENT AND INCANDESCENT LIGHTING SEPARATELY.
  - HIGH EFFICACY LIGHTING NOT REQUIRED IN CLOSETS UP TO 10 SF.

**PROPOSED LIGHTING LAYOUT - MAIN LEVEL**

SCALE: 1/4" = 1'-0"

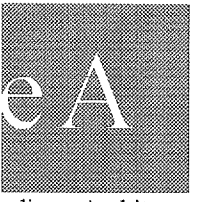


**ELEC. / MECH. / EQUIP. NOTES**

- THE ELECTRICAL OUTLETS AND LIGHTING SHOWN IS MINIMUM REQUIRED BY THE LOCAL JURISDICTION. OWNER TO APPROVE / VERIFY ANY ADDITIONAL LIGHTING AND/OR ELECTRICAL OUTLET LOCATIONS. ALL THE ELECTRICAL OUTLETS AND LIGHTING SHOWN IS NEW CONSTRUCTION. VERIFY EXISTING OUTLET AND LIGHTING LOCATIONS IN RELATION TO THE NEW CONSTRUCTION.
- ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, UNFINISHED BASEMENTS, KITCHEN COUNTERTOPS, OUTLETS SERVING KITCHEN COUNTERTOPS AND WITHIN 6 FEET OF OUTSIDE EDGE OF KITCHEN SINK AND INCLUDING ALL OUTLETS AT EXTERIOR LOCATIONS, EXPOSED TO THE ELEMENTS, ARE REQUIRED TO BE G.F.C.I. PROTECTED OUTLETS (GROUND-FAULT CIRCUIT-INTERRUPTERS) PER ARTICLES 210-52(a) AND 210-6(a) C.E.C. IN ADDITION, ALL OUTLETS EXPOSED TO THE ELEMENTS ARE ALSO TO BE W.P. (WEATHERPROOF). RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACEUP POSITION IN WORK SURFACES OR COUNTERTOPS IN A BATHROOM BASIN LOCATION.
- ALL NEW BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES AND POWER TO LIGHTING, IN ALL ROOMS, EXCEPT KITCHENS, BATHROOMS, LAUNDRY/UTILITY AND GARAGES, ARE REQUIRED TO BE LISTED A.F.C.I. (ARC-FAULT CIRCUIT-INTERRUPTERS) PROTECTED CIRCUITS, A.F.C.I. PROTECTED OUTLETS AND POWER POINTS ARE REQUIRED WHERE POWER CIRCUITRY IS MODIFIED, REPLACED OR AFFECTED BY NEW WORK. C.E.C. 40.2(a)(1), 100, 210.12(b)
- ALL NEW DWELLING UNIT RECEPTACLES REQUIRED BY C.E.C. 210.52 ARE REQUIRED TO BE LISTED "TAMPER-RESISTANT" RECEPTACLES. LISTED TAMPER-RESISTANT RECEPTACLES ARE REQUIRED WHERE POWER CIRCUITRY IS MODIFIED, REPLACED OR AFFECTED BY NEW WORK. C.E.C. 40.2(a)(1), 210.52, 406.11.
- ELECTRICAL OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH C.E.C. ARTICLE 210-52(a).
- LIGHTING OUTLETS CONTROLLED BY A SWITCH SHALL BE PROVIDED IN ACCORDANCE WITH C.E.C. ARTICLE 210-10.
- BATHROOMS, WATER CLOSETS AND LAUNDRY ROOMS WITHOUT WINDOWS SHALL BE PROVIDED WITH EXHAUST AIR FANS CAPABLE OF MINIMUM 50 C.F.M.'S PER BATHROOM AND REQUIRE BACK DRAFT DAMPERS.
- LIGHT FIXTURES ABOVE TUBS AND SHOWERS SHALL BE W.P. (WEATHER PROOF) RATED AND SHALL COMPLY WITH C.E.C. ARTICLE 410-4(a), (b).
- LIGHT FIXTURES INSTALLED IN CLOTHES CLOSETS SHALL COMPLY WITH ARTICLE 410-8 C.E.C.
- LIGHT SWITCHES MUST BE EFFECTIVELY GROUNDING.
- RECESSED LIGHTING IN INSULATED CEILINGS TO BE "IC" (INSULATION CONTACT) UL LISTED AND LABELED, HIGH EFFICACY LIGHTING FIXTURES TO BE PIN BASE TYPE. 2016 E.E.S. 150(K)2, 150(E)4
- GENERAL LIGHTING IN KITCHENS, BATHROOMS MUST PROVIDE 40 LUMENS PER SFT OR MORE (E.G., FLUORESCENT). REFER TO "LIGHTING AND SWITCHING TABLE" ON THIS SHEET FOR ADDITIONAL INFORMATION REGARDING CALIFORNIA ENERGY HIGH EFFICIENCY LIGHTING REQUIREMENTS.
- PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED POWER OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. PER C.E.C. ARTICLE 210-11.
- ALL NEW LUMINARIES ATTACHED TO THE OUTSIDE OF THE BUILDING TO BE HIGH EFFICACY OR MANUALLY SWITCHED, LOW EFFICACY LUMINARIES CONTROLLED BY MOTION SENSOR AND PHOTOCELL CONTROL. EXTERIOR FIXTURES ARE TO BE LISTED FOR OUTDOOR EXPOSURE.
- THE SIZE OF THE EXISTING ELECTRICAL SERVICE IS 200 AMPS, REFER TO PLAN FOR LOCATION OF ELECTRICAL SERVICE PANEL.
- ALL CLEARANCES FOR EQUIPMENT TO BE PER MANUFACTURER'S LISTINGS OR PER SECTION 904 C.M.C. AND TABLE 9-A C.M.C.
- AIR HANDLING DUCT SYSTEMS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED AS PROVIDED IN C.M.C. CHAPTER 6. DUCT WORK SHALL COMPLY WITH C.M.C. CHAPTER 5. PROVIDE A THERMOSTAT THAT HAS AUTOMATIC SETBACK CAPABILITY FOR TWO PERIODS DURING 24 HOURS.
- WATER HEATERS MUST BE ON THE C.E.C. APPROVED-APPLIANCE LIST, AND MUST BE LOW-NITROGEN OXIDE (NOx) - TYPE.
- PROVIDE PRESSURE-BALANCE OR THERMOSTATIC MIXING VALVES AT SHOWERS AND TUBS.
- ALL NEW SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. SMOKE ALARMS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION 915.4 AND NFPA 72.
- ALL SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT AND SHALL BE LISTED IN ACCORDANCE WITH UL 217.
- ALL NEW CARBON MONOXIDE (CO) DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. CARBON MONOXIDE DETECTORS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION 915.5.

**LIGHTING & EQUIPMENT LEGEND**

- ⊕ 110 V. DUPLEX OUTLET (AT +12" ABOVE FLOOR U.O.N.)
- ⊕ 110 V. DUPLEX OUTLET (UNDER BASE CABINET OR BEHIND APPLIANCE)
- ⊕ 110 V. DUPLEX OUTLET (SWITCH CONTROLLED-1/2 HOT).
- ⊕ 110 V. DUPLEX OUTLET, WITH COVER.
- ⊕ 220 V. OUTLET OR LARGER, VERIFY W/ APPLIANCE SPECS.
- WALL OR CEILING SURFACE MOUNTED LED LIGHT FIXTURE
- WALL OR CEILING SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
- HANGING LIGHT FIXTURE. (VERIFY STYLE).
- RECESSED LED CEILING LIGHT FIXTURE.
- DIRECT LIGHT FIXTURE. (VERIFY STYLE).
- PROVIDE J-BOX FOR LUMINOUS FIXTURE (SWITCH CONTROLLED).
- SPECIALTY LIGHTING (STRIP LIGHTING OVER VANITY).
- FLUORESCENT LIGHT FIXTURE, SEE PLAN FOR TUBE LENGTHS.
- FLUORESCENT LIGHT FIXTURES UNDER UPPER KITCHEN CABINETS.
- RECESSED EXHAUST AIR FAN.
- RECESSED COMB. EXHAUST AIR FAN/FLUORESCENT LIGHT FIXTURE.
- INTERIOR / EXTERIOR WALK LIGHTS. (VERIFY STYLE).
- ⊕ TWO POLE LIGHT SWITCH AT (+42" ABOVE FLOOR, +6" ABOVE COUNTER).
- ⊕ THREE WAY LIGHT SWITCH.
- ⊕ FOUR WAY LIGHT SWITCH.
- ⊕ DIMMER REOSTAT SWITCH.
- ⊕ MANUAL-ON (VACANCY) SENSOR.
- ⊕ HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP.
- ⊕ HARD WIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP.
- ⊕ TELEPHONE HOOK-UP JACK (6" ABOVE FLOOR AND/OR COUNTER).
- ⊕ CABLE TELEVISION HOOK-UP JACK (MOUNTED 6" ABOVE FLOOR).
- ⊕ MEDIA NETWORK CONNECTION, CABLE AND/OR PHONE (VERIFY W/ OWNER).
- ⊕ PUSH BUTTON.
- ⊕ DOOR CHIMES AT +108" AFF.
- ⊕ THERMOSTAT, LOCATION PER HVAC LAYOUT & FRAMING WALK-THRU.
- ⊕ FUEL GAS OUTLET.
- ⊕ LOOSE KEY VALVE.
- ⊕ HOSE BIBB.
- ⊕ P & T VALVE.



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PLAN CHECK: 04/19/2017

**LIGHTING LAYOUT - MAIN LEVEL**

18018-PLANS ea18018

**A-7**

12/7/17 12/7/17