

**CITY OF DANA POINT
AGENDA REPORT**

DATE: OCTOBER 23, 2017

TO: DANA POINT PLANNING COMMISSION

FROM: URSULA LUNA-REYNOSA, DIRECTOR
DANNY GIOMETTI, ASSOCIATE PLANNER

SUBJECT: APPROVAL OF A DE MINIMIS PROJECT WAIVER FROM A COASTAL DEVELOPMENT PERMIT (CDP17-0011-WAIVER) ALLOWING CONSTRUCTION OF A 3,784 SQUARE FOOT SINGLE-FAMILY DWELLING ON A VACANT LOT LOCATED AT 32561 SEA ISLAND DRIVE.

RECOMMENDATION: That the Planning Commission receive and file the De Minimis Project Waiver from a Coastal Development Permit.

APPLICANT: d'Arcy and Associates, Architect

OWNER: Barry and Elizabeth Michaels

REQUEST: Reporting of a De Minimis Project Waiver from a Coastal Development Permit issued by the Director of Community Development allowing construction of a 3,784 square foot single family dwelling on a previously vacant lot.

LOCATION: 32561 Sea Island Drive (APN 670-052-03)

NOTICE: On October 11, 2017, notice of the Project Waiver was posted at the project site. Noticing was provided consistent with the provisions for De Minimis Project Waiver Issuance described in Section 9.69.160(b) of the Dana Point Zoning Code (DPZC).

ENVIRONMENTAL:

The project is Categorically Exempt from the provisions set forth in the California Environmental Quality Act (CEQA) per Section 15303 (Class 3 – New Construction or Conversion of Small Structures).

ISSUES:

1. Does the project satisfy all the findings required pursuant to the City's Zoning Code for approval of a De Minimis Project Waiver from a Coastal Development Permit?

BACKGROUND AND DISCUSSION:

The subject De Minimis Waiver application proposes the construction of a 3,784 square foot, one story, single-family dwelling with an attached 772 square foot, three-car garage on a vacant lot that does not fall within an area in which the Coastal Commission retains direct permit review, or for any work that is appealable to the Coastal Commission. On October 9, 2017, a Minor Site Development Permit (SDP(M)) was approved after an administrative hearing for the above mentioned retaining walls.

The Community Development Director is reporting to the Planning Commission (PC) approval of the attached De Minimis Project Waiver (Supporting Document 1) from a Coastal Development Permit. Staff has also included the administrative approval of the SDP(M) (Supporting Document 2), and the proposed project plans (Supporting Document 3) for reference. Pursuant to DPZC Section 9.69.160(a)(3) a De Minimis Waiver cannot be conditioned.

CONCLUSION:

The Community Development Director determined that the subject project conforms to the development standards of the DPZC and Local Coastal Program, and the required findings for issuance of a De Minimis Waiver could be made. Staff recommends the PC receive and file the report. This De Minimis Project Waiver from a Coastal Development Permit shall not become effective until it is reported to the PC and one-third or more of the full membership of the PC does not object to its issuance. If the required one-third or more of the PC request that the waiver not be effective, the applicant will be advised that a Coastal Development Permit is required pursuant to Chapter 9.69 of the DPZC.



Danny Giometti
Associate Planner



Ursula Luna-Reynosa, Director
Community Development Department

Supporting Documents:

1. Draft De Minimis Project Waiver from a Coastal Development Permit
2. Approved Minor Site Development Permit SDP16-0040(M)
3. Proposed Plans

October 23, 2017

COASTAL DEVELOPMENT PERMIT DE MINIMIS WAIVER

Based on the submitted permit application for the development described below, the Director of Community Development hereby waives the requirements for a Coastal Development Permit pursuant to Dana Point Zoning Code Section 9.69.160(a), Limit of Applicability. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and, any development occurring must cease until a Coastal Development Permit is obtained or any discrepancy is resolved.

APPLICANT: d'Arcy and Associates, Architect

OWNER: Barry and Elizabeth Michaels

PROJECT LOCATION: 32561 Sea Island Drive (APN 670-052-03)

REQUEST:

Construction of a 3,784 square foot, one story, single-family dwelling with an attached 772 square foot, three-car garage on a previously vacant lot that does not fall within an area in which the Coastal Commission retains direct permit review, or for any work that is appealable to the Coastal Commission.

RATIONALE:

Pursuant to Section 9.69.160(2) of the Dana Point Zoning Code (DPZC), a waiver for De Minimis Development shall be granted only for the development that:

A. Does not fall in a class of appealable development:

Pursuant to Sections 9.69.090(b) and 9.75.010 of the DPZC (Coastal Appealable Development), the subject lot is not located between the sea and the first public road paralleling the sea or within 300 feet of the inland extent of any beach or of the mean high tide line of the sea. Additionally, the site is not located on tidelands or within the 300 feet of the top of a coastal bluff, nor is it in a sensitive coastal resource area or a major public works project or energy facility. Consequently, the site and the proposed project does not fall in a class of appealable development.

B. Is not located adjacent to a public accessway, public recreation areas, or sensitive coastal resource areas:

The proposed development is located on a vacant lot within an existing housing tract zoned for single-family residential (RSF-4) development. The subject site is surrounded by existing single family development, includes a previously graded pad, and is located over 3,000 feet away from the nearest public coastal access point, and is not located adjacent to a sensitive coastal resource or recreation area.

C. Does not fall within an area in which the Coastal Commission retains direct permit review or for any work that is appealable to the Coastal Commission.

The proposed development is located in a certified area in which the Coastal Commission has granted authority to the City of Dana Point to approve, conditionally approve, or deny Coastal Development Permits. Furthermore, the site is located outside of the Appeal Jurisdiction Map and is therefore not appealable by the Coastal Commission.

D. Involves a structure or similar integrated physical construction which lies partly in and partly outside of the appeal area.

The proposed development does not fall within an area in which the Coastal Commission retains direct permit review, or for any work that is appealable to the Coastal Commission.

This waiver will not become effective until reported to the Planning Commission at their October 23, 2017, meeting. Pursuant to Sections 9.69.160(b)(1) and (2) of the DPZC, the applicant has posted the site in compliance with Section 9.69.060(a) of the DPZC and the Director of Community Development has provided notice of the pending waiver to the Coastal Commission and all property owners and residents within one hundred (100) feet of the perimeters of the parcel. This notice was delivered via first class mail, seven (7) days prior to the decision on the application. If one-third or more of the Planning Commission object to this waiver of permit requirements, a Coastal Development Permit will be required.

Ursula Luna-Reynosa
Director of Community Development



October 9, 2017

d'Arcy and Associates
18 Technology Drive Suite 158
Irvine, CA 92618

MINOR SITE DEVELOPMENT PERMIT SDP17-0040(M)

APPLICANT: d'Arcy and Associates

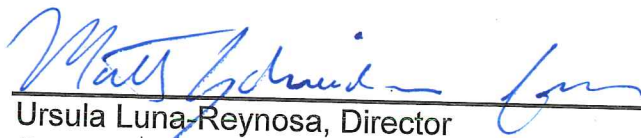
OWNER: Barry and Elizabeth Michaels

LOCATION: 32561 Sea Island Drive (APN: 670-052-03)

REQUEST: The subject application is a request to construct 238-linear feet of retaining walls varying in height from 30-inches to 14-feet in conjunction with a new single family dwelling, located at 32561 Sea Island Drive. Pursuant to Sections 9.05.120(c) and (d)(2) of the Dana Point Zoning Code (DPZC), retaining walls exceeding 30-inches in height may be permitted subject to the approval of a Minor Site Development Permit (SDP(M)).

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (Class 3 – New Construction or Conversion of Small Structures).

DETERMINATION: The Community Development Director hereby
 APPROVES
 DENIES
the requested Minor Site Development Permit described herein subject to the attached findings and applicable conditions.



Ursula Luna-Reynosa, Director
Community Development Department

BACKGROUND:

The subject site is located on Sea Island Drive, northeast of the intersection of Pacific Coast Highway and Crown Valley Parkway within the Residential Single Family 4 (RSF-4) zoning district and within the community of Monarch Bay Terrace. The lot is surrounded by existing single-family development along the north and south property lines and across Caribbean Drive and Sea Island Drive to the west and east, respectively.

The 20,392 square foot lot is one of the few remaining vacant home sites within Monarch Bay Terrace. Nearly 8,000 square feet of the rear yard is a steep manufactured hillside which ascends from Caribbean Drive up to the pre-graded level building pad that extends to Sea Island Drive. The northern side yard of the pad sharply slopes upward towards the neighboring home for an elevation change of roughly 14 feet at the upper property line.

The applicant proposes to construct a 3,784 square foot, one-story, single-family dwelling with an attached 772 square foot, three-car garage with a pool, spa and associated landscaping on the subject lot. A Coastal Development Permit De Minimis Waiver is proposed to be reported to the City of Dana Point Planning Commission on October 23, 2017 for the development of the above mentioned single-family dwelling. Pursuant to Sections 9.05.120(c) and (d)(2) of the DPZC, a site development permit is also required in order to exceed prescribed DPZC heights for retaining walls.

DISCUSSION:

The applicant requests to secure the subject SDP(M) in order to construct 238-linear feet of shoring/ retaining walls varying in height from 30-inches to 14-feet along the perimeter of the pre-graded pad and atop the descending rear slope in conjunction with a new single family dwelling. The proposed retaining walls are necessary in order to create a level building pad which maximizes the use of the building area, provide landscaping planters, and screen an entry courtyard and pool equipment within the rear yard. All proposed walls will be finished with a decorative natural limestone veneer to match the architecture of the proposed Mediterranean influenced dwelling. Additionally, an assortment of mature drought tolerant landscaping will be planted in front of all proposed walls to visually soften their appearance.

Based on the preceding analysis, findings to support the project and the associated discretionary permit are described in the following section.

FINDINGS:

Site Development Permit SDP 17-0040(M)

- A) The site design is in compliance with the development standards of the Dana Point Zoning Code in that pursuant to Sections 9.05.120(c) and (d)(2) of the Dana Point Zoning Code (DPZC), retaining walls exceeding 30-inches in height may be permitted subject to the approval of a SDP(M). Portions of the proposed

238-linear feet of retaining walls are necessary in order to create a level building pad which maximizes the use of the building area, provide multiple landscaping planters, and screen pool equipment along the rear yard top of slope. Additionally, a portion of the highest retaining wall gradually decreases while running parallel to the front property line. This portion of wall creates additional private yard area for the owner and screens a main bedroom, media room and office, from public view along Sea Island Drive.

- B) The site is suitable for the proposed use and development in that site necessitates the use of the proposed retaining walls to support the substantial cuts into the ascending slope on the northern side yard of the property to for a level building pad. The proposed retaining walls within the front yard create additional private outdoor living areas and opportunities for landscaping. A shorter retaining wall along the rear top of slope provides a flat pad for proposed pool equipment.**
- C) The project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines in that pursuant to Goal 2, Policy 2.5 of the Land Use Element of the General Plan as well as Section III.A.5. of the Urban Design Guidelines, the addition of landscaping beside all proposed walls which face public view, encourages neighborhood street landscaping to improve the quality of public spaces in residential areas and creates a buffer between residential development and the proposed walls.**
- D) The site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture in that the site topography necessitates the retaining walls to create a level building pad, retain and screen pool equipment and create landscape planters. The proposed six-foot high wall located within the front yard setback creates additional private outdoor living area on site. All proposed walls will match the existing home and site walls, which is appropriate for a walls of this type.**
- E) The requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA) because the project involves the construction of site walls on a residentially zoned vacant lot intended for the construction of a new single family home.**

CONDITIONS OF APPROVAL:

The City of Dana Point hereby approves Minor Site Development Permit SDP17-00040(M) for the referenced project. This permit is valid subject to the following conditions of approval:

A. General:

1. The subject application is a request to construct 238-linear feet of retaining walls varying in height from 30-inches to 14-feet in conjunction with a new single family dwelling, located at 32561 Sea Island Drive. Pursuant to Sections 9.05.120(c) and (d)(2) of the Dana Point Zoning Code (DPZC), retaining walls exceeding 30-inches in height may be permitted subject to the approval of a Minor Site Development Permit (SDP(M)). Subsequent changes to the approved scope-of-work shall be in substantial compliance with those plans presented to the Community Development Director, and in compliance with applicable provisions of the City of Dana Point General Plan and Municipal and Zoning Codes.
2. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
3. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced within such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify and hold harmless the city shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions or proceedings against the City, its officers, employees, or agents arising out of or resulting from negligence of the applicant or the applicant's agents, employees or contractors. Applicant's duty to defend, indemnify and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday. No construction activities shall be permitted on Sundays or Federal holidays.
9. The applicant shall obtain all applicable permits for the proposed improvements.
10. The project shall meet all water quality requirements.
11. A grading permit shall be obtained prior to any work including demolition activities.
12. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television services.
13. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.

14. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.

B. Prior to Issuance of a building permit:

15. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
16. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
17. The applicant shall submit an application for shoring as needed, to the Building Department. In the event shoring is required a separate permit submittal shall be made to the Building Department for review and approval. All shoring permits shall be issued concurrently with the grading permit.
18. A performance bond shall be required for all grading activities up to 100% of the proposed improvements.
19. The proposed pool equipment area on the existing rear slope shall be sized to the minimum extent feasible to store and maintain the equipment. The construction of the minimum sized pool equipment area shall minimize all grading on the existing slope.

C. Prior to Building Plan Check Submittal:

20. The subject "Conditions of Approval" section of this permit shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
21. Building plan check submittal shall include the following construction documents:
 - Building Plans (4 sets)
 - Structural Calculations (2 sets)
 - Drainage Plan
 - Grading Plan and Topographic Survey

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

22. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.
23. Verification of all conditions of approval is required by all City Departments.
24. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
25. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
26. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
27. An as graded geotechnical report may be required to prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

D. Prior to Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:

28. All approvals from outside Departments and Agencies are required.

E. Prior to final project sign off, the applicant shall meet the following:

29. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.

30. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.

31. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.

32. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.

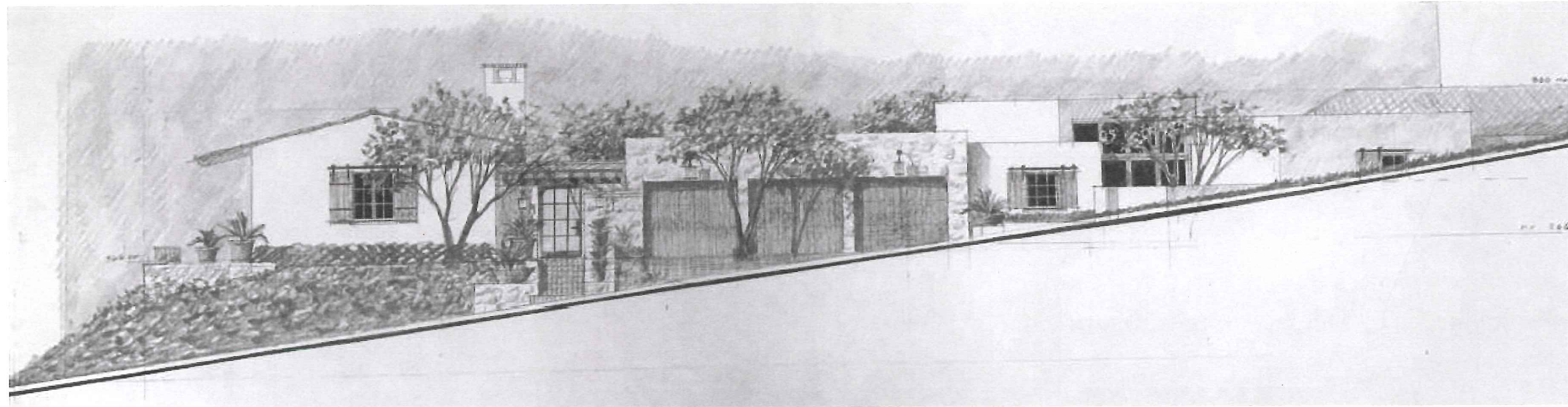
33. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.

34. Prior to final inspection, the applicant shall certify by a survey or other appropriate method that the height of the new wall complies with plans approved by the City. The City's standard "Height Certification" form shall be obtained from the Project Planner, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval before contacting the Planning Division for a final project sign-off.

35. The applicant shall contact Public Works and Engineering Services and the Planning Division to conduct an inspection of the completed project prior to contacting the Building/Safety Division for final project sign-off.

MICHAELS RESIDENCE

32561 SEA ISLAND DRIVE
DANA POINT, CA 92629



ARTIST RENDERING

MICHAELS RESIDENCE

32561 SEA ISLAND DRIVE
DANA POINT, CA 92629

<p>PROJECT DESCRIPTION</p> <p>NEW ONE-STORY, SINGLE FAMILY, DETACHED CUSTOM RESIDENCE WITH 3 BEDROOMS, 4.5 BATHROOMS, 3 CAR GARAGE, AND OUTDOOR COVERED LOGGIAS TO BE CONSTRUCTED ON CURRENTLY VACANT LOT. NO EXISTING STRUCTURE OR LANDSCAPING IS PRESENT. NO DEMOLITION IS PROPOSED.</p>	<p>MUNICIPALITY NOTES</p> <ol style="list-style-type: none"> 1. LINE AND GRADE CERTIFICATION REQUIRED PRIOR TO BUILDING FINAL. 2. HEIGHT CERTIFICATION REQUIRED PRIOR TO BUILDING FINAL. 3. PLANNING FINAL REQUIRED PRIOR TO BUILDING FINAL. 4. SEPARATE LANDSCAPE PERMIT SUBMITTAL AND APPROVAL REQUIRED PRIOR TO PLANNING FINAL. 5. APPLICANT WILL BE REQUIRED TO VERIFY STRUCTURE HEIGHT AND SETBACKS THROUGH A BUILDING HEIGHT CERTIFICATION FORM AND A SETBACK VERIFICATION FORM. BOTH FORMS WILL BE PREPARED BY THE PROJECT PLANNER AND PROVIDED TO THE PROJECT APPLICANT UPON PERMIT ISSUANCE. 6. PLANNING FINAL INSPECTION AND LANDSCAPE INSPECTION WILL BE REQUIRED PRIOR TO FINAL CERTIFICATE OF OCCUPANCY. <p>SEPARATE PERMIT/APPROVALS REQUIRED:</p> <ul style="list-style-type: none"> • SITE WALLS/FENCES • SHORING/RETAINING WALLS • POOL/SPA • LANDSCAPE <p>DEFERRED SUBMITTALS</p> <ul style="list-style-type: none"> • FIRE SPRINKLERS 	<p>DEVELOPMENT STANDARDS TABLE</p> <table border="1"> <thead> <tr> <th>ZONE RSF-4</th> <th>REQUIRED</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>FRONT YARD SETBACK</td> <td>20'</td> <td>20'-0" MIN</td> </tr> <tr> <td>LEFT SIDE YARD SETBACK</td> <td>5'</td> <td>10'-5" MIN</td> </tr> <tr> <td>RIGHT SIDE YARD SETBACK</td> <td>5'</td> <td>12'-0"</td> </tr> <tr> <td>REAR YARD SETBACK</td> <td>25'</td> <td>90'-5" MIN</td> </tr> <tr> <td>MAXIMUM HEIGHT (FROM FINISHED PAD)</td> <td>28'/2 STORY</td> <td>14.92'/1 STORY</td> </tr> <tr> <td>MAXIMUM LOT COVERAGE</td> <td>45%</td> <td>26%</td> </tr> <tr> <td>MINIMUM LANDSCAPE COVERAGE</td> <td>25%</td> <td>48%</td> </tr> </tbody> </table>	ZONE RSF-4	REQUIRED	PROPOSED	FRONT YARD SETBACK	20'	20'-0" MIN	LEFT SIDE YARD SETBACK	5'	10'-5" MIN	RIGHT SIDE YARD SETBACK	5'	12'-0"	REAR YARD SETBACK	25'	90'-5" MIN	MAXIMUM HEIGHT (FROM FINISHED PAD)	28'/2 STORY	14.92'/1 STORY	MAXIMUM LOT COVERAGE	45%	26%	MINIMUM LANDSCAPE COVERAGE	25%	48%	<p>RECEIVED SEP 21 2017 CITY OF DANA POINT COMMUNITY DEVELOPMENT DEPARTMENT</p>																										
ZONE RSF-4	REQUIRED	PROPOSED																																																			
FRONT YARD SETBACK	20'	20'-0" MIN																																																			
LEFT SIDE YARD SETBACK	5'	10'-5" MIN																																																			
RIGHT SIDE YARD SETBACK	5'	12'-0"																																																			
REAR YARD SETBACK	25'	90'-5" MIN																																																			
MAXIMUM HEIGHT (FROM FINISHED PAD)	28'/2 STORY	14.92'/1 STORY																																																			
MAXIMUM LOT COVERAGE	45%	26%																																																			
MINIMUM LANDSCAPE COVERAGE	25%	48%																																																			
<p>LOCATION MAP</p>	<p>DRAWING SYMBOLS</p> <ul style="list-style-type: none"> REVISION DESIGNATION KEYNOTE REFERENCE DETAIL REFERENCE BUILDING SECTION REFERENCE EXTERIOR ELEVATION REFERENCE INTERIOR ELEVATION REFERENCE ENLARGED AREA REFERENCE 	<p>PROJECT TEAM</p> <p>OWNER BARRY AND ELIZABETH MICHAELS 1520 N. 132ND AVE OMAHA, NE 68154</p> <p>SURVEY ADAM TOAL TOAL ENGINEERING, INC. 137 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 PH: 949.492.8586</p> <p>LANDSCAPE ZUCKER DESIGN ASSOCIATES, INC. 26691 PARDO DRIVE MISSION VIEJO, CA 92691 PH: 714.478.0565</p> <p>ARCHITECT OF RECORD CHARLES d'ARCY d'ARCY & ASSOC. ARCHITECTURE, INC. 18 TECHNOLOGY DRIVE IRVINE, CA 92618 PH: 949.407.3760 charles@darcyarchitecture.com</p> <p>ARCHITECTURAL DESIGN TEAM BOB WHITE FOREST STUDIO 333 FOREST AVE, STE. 4 LAGUNA BEACH, CA 92651 PH: 949.497.0202 bob@foreststudio.com</p>	<p>PROJECT DATA</p> <p>PROJECT ADDRESS: 32561 SEA ISLAND DRIVE DANA POINT, CA 92629</p> <p>APN: 670-052-03</p> <p>ZONING: RSF-4</p> <p>TRACT / LOT: 4289 / 46</p> <p>LOT AREA: 20,340 SF (0.47 ACRES)</p> <p>BUILDING AREA: LIVING AREA (R3): 3,784 SF GARAGE, MECH & STORAGE (U): 772 SF TOTAL BUILDING AREA (R3 + U): 4,556 SF OUTDOOR COVERED LOGGIA: 530 SF</p> <p>PROPOSED LOT COVERAGE: 5,223 SF (26%) MAXIMUM ALLOWABLE LOT COVERAGE: 20,340 * 45% = 9,153 SF PROPOSED LANDSCAPE COVERAGE: 9,831 SF (48%) EXISTING LANDSCAPE COVERAGE: 0% (VACANT LOT) MINIMUM ALLOWABLE LANDSCAPE COVERAGE: 20,340 * 25% = 5,085 SF</p>	<p>CODE ANALYSIS OVERVIEW</p> <p>PROJECT TYPE: SINGLE FAMILY DETACHED CONSTRUCTION TYPE: TYPE VB OCCUPANCY: R3/U FIRE SPRINKLER: SPRINKLERED - NFA13D</p> <p>APPLICABLE CODES: 2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA GREEN BUILDING CODE ALL LOCAL ORDINANCES AND REQUIREMENTS</p> <p>PROJECT LOG</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>4. 27. 17</td> <td>HOA REVIEW SUBMITTAL</td> </tr> <tr> <td>6. 12. 17</td> <td>CDP SUBMITTAL</td> </tr> <tr> <td>8. 16. 17</td> <td>CDP RESUBMITTAL</td> </tr> <tr> <td>9. 21. 17</td> <td>CDP 2ND RESUBMITTAL</td> </tr> </tbody> </table>	DATE	DESCRIPTION	4. 27. 17	HOA REVIEW SUBMITTAL	6. 12. 17	CDP SUBMITTAL	8. 16. 17	CDP RESUBMITTAL	9. 21. 17	CDP 2ND RESUBMITTAL	<p>SHEET INDEX</p> <table border="1"> <thead> <tr> <th>SHEET #</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>A000</td> <td>COVER SHEET</td> </tr> <tr> <td>A090</td> <td>ARCHITECTURAL SITE PLAN</td> </tr> <tr> <td>A091</td> <td>STAIRING/STORY POLE PLAN</td> </tr> <tr> <td>C1</td> <td>PRECISE GRADING PLAN TITLE SHEET</td> </tr> <tr> <td>C2</td> <td>PRELIMINARY GRADING PLAN</td> </tr> <tr> <td>C3</td> <td>SITE SECTIONS</td> </tr> <tr> <td>C4</td> <td>DETAILS</td> </tr> <tr> <td>C5</td> <td>EROSION CONTROL PLAN</td> </tr> <tr> <td>C6</td> <td>TOPOGRAPHIC SURVEY</td> </tr> <tr> <td>A200</td> <td>FLOOR PLAN</td> </tr> <tr> <td>A300</td> <td>REFLECTED CEILING PLAN</td> </tr> <tr> <td>A400</td> <td>ROOF PLAN</td> </tr> <tr> <td>A500</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A510</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A520</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A530</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A540</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>LP-1.0</td> <td>PLANNING PLAN</td> </tr> </tbody> </table> <p>TOTAL SHEETS IN SET: 18</p>	SHEET #	DESCRIPTION	A000	COVER SHEET	A090	ARCHITECTURAL SITE PLAN	A091	STAIRING/STORY POLE PLAN	C1	PRECISE GRADING PLAN TITLE SHEET	C2	PRELIMINARY GRADING PLAN	C3	SITE SECTIONS	C4	DETAILS	C5	EROSION CONTROL PLAN	C6	TOPOGRAPHIC SURVEY	A200	FLOOR PLAN	A300	REFLECTED CEILING PLAN	A400	ROOF PLAN	A500	EXTERIOR ELEVATIONS	A510	EXTERIOR ELEVATIONS	A520	EXTERIOR ELEVATIONS	A530	EXTERIOR ELEVATIONS	A540	EXTERIOR ELEVATIONS	LP-1.0	PLANNING PLAN
DATE	DESCRIPTION																																																				
4. 27. 17	HOA REVIEW SUBMITTAL																																																				
6. 12. 17	CDP SUBMITTAL																																																				
8. 16. 17	CDP RESUBMITTAL																																																				
9. 21. 17	CDP 2ND RESUBMITTAL																																																				
SHEET #	DESCRIPTION																																																				
A000	COVER SHEET																																																				
A090	ARCHITECTURAL SITE PLAN																																																				
A091	STAIRING/STORY POLE PLAN																																																				
C1	PRECISE GRADING PLAN TITLE SHEET																																																				
C2	PRELIMINARY GRADING PLAN																																																				
C3	SITE SECTIONS																																																				
C4	DETAILS																																																				
C5	EROSION CONTROL PLAN																																																				
C6	TOPOGRAPHIC SURVEY																																																				
A200	FLOOR PLAN																																																				
A300	REFLECTED CEILING PLAN																																																				
A400	ROOF PLAN																																																				
A500	EXTERIOR ELEVATIONS																																																				
A510	EXTERIOR ELEVATIONS																																																				
A520	EXTERIOR ELEVATIONS																																																				
A530	EXTERIOR ELEVATIONS																																																				
A540	EXTERIOR ELEVATIONS																																																				
LP-1.0	PLANNING PLAN																																																				



A000
09. 21. 17 CITY REVISIONS
08. 16. 17 CITY REVISIONS
06. 12. 17

SITE PLAN NOTES

- A. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- B. SEE ADJUSTMENT PERMITS A-255 FOR REVISED SETBACK REQUIREMENTS.
- C. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOFTOP.
- D. FINISH GRADE WITHIN 10 FEET OF THE NEW STRUCTURE/ADDITION SHALL BE SLOPED A MIN. 2% AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
- E. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- F. ALL DRAINAGE SHALL BE MAINTAINED AND IN ACCORDANCE WITH THE 2013 CALIFORNIA BUILDING CODE AND THE CITY OF DANA POINT MUNICIPAL CODE.

SITE PLAN KEYNOTES

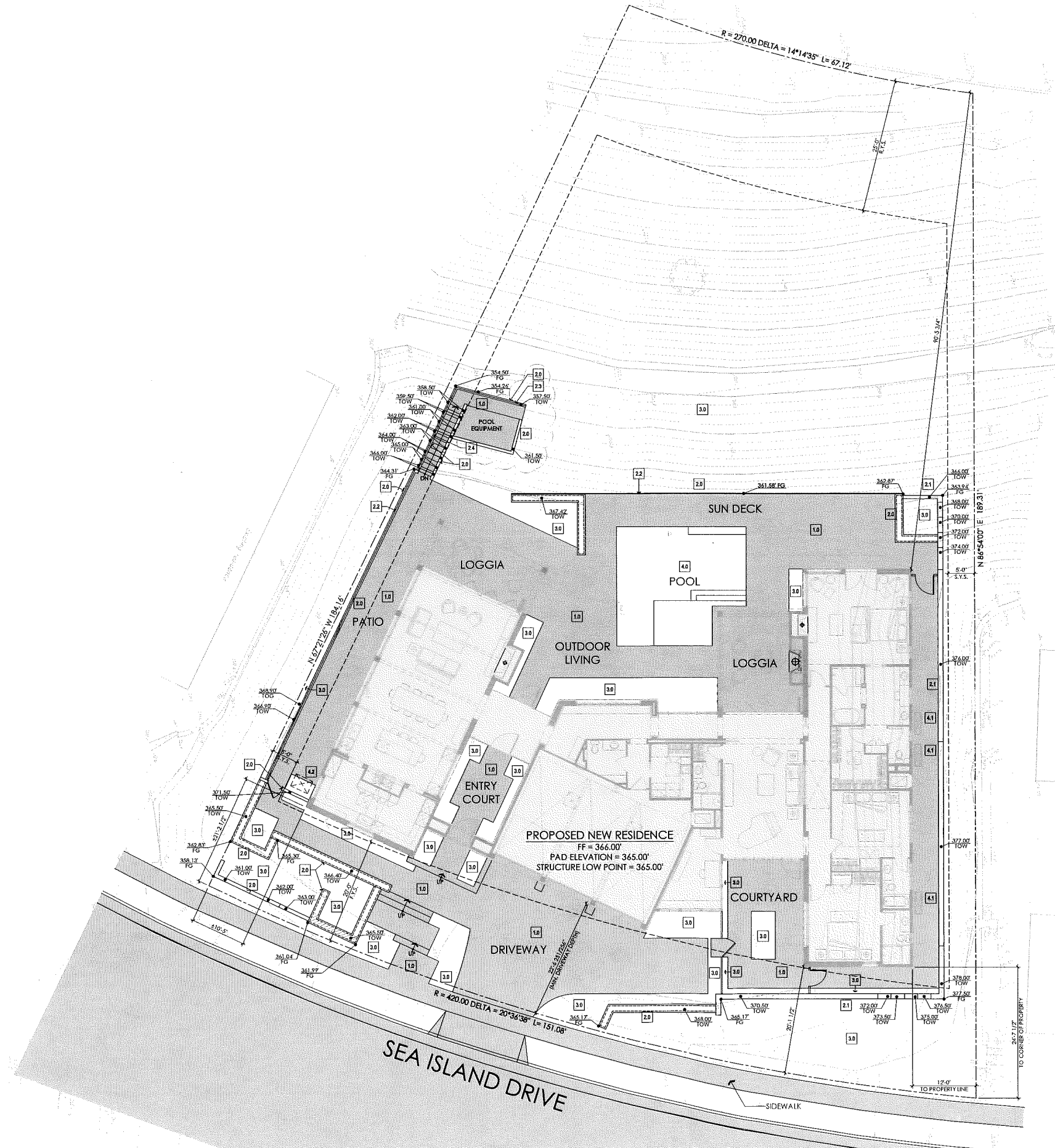
- 1.0 PERMANENT HARDSCAPE. SEE LANDSCAPE DRAWINGS.
- 2.0 MASONRY RETAINING YARD WALL WITH SCREENING WALL AS OCCURS. SEE CIVIL AND LANDSCAPE DRAWINGS.
- 2.1 SHORING WALL. SEE CIVIL AND LANDSCAPE DRAWINGS.
- 2.2 GLASS GUARDRAIL / SCREEN. SEE LANDSCAPE DRAWINGS.
- 2.3 WROUGHT IRON, OR SIMILAR, GUARDRAIL, 42" ABOVE FINISHED SURFACE. SEE LANDSCAPE DRAWINGS.
- 2.4 WROUGHT IRON, OR SIMILAR, HANDRAIL, 36" ABOVE TREAD NOBING. SEE LANDSCAPE DRAWINGS.
- 3.0 PLANTING AREA. SEE LANDSCAPE DRAWINGS.
- 4.0 POOL BY OTHERS. UNDER SEPARATE PERMIT. POOL EQUIPMENT AREA SHALL DRAIN TO A LANDSCAPE AREA, OR TO THE SANITARY SEWER, AND NOT TO THE STORM DRAIN SYSTEM.
- 4.1 SLIMLINE A/C CONDENSER UNITS
- 4.2 BQG AS SELECTED. SEE LANDSCAPE DRAWINGS

AREA TABULATIONS

LIVING AREA (R3):	3,784 SF
GARAGE, MECH & STORAGE (U):	772 SF
TOTAL BUILDING AREA (R3 + U):	4,556 SF
OUTDOOR COVERED LOGGIA:	530 SF

SITE WALL LEGEND

- PROPOSED PERMANENT YARD WALL. HEIGHT AS NOTED. RETAINING AS OCCURS. SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION.
- PROPOSED COVER HEIGHT PERMANENT YARD WALL. HEIGHT AS NOTED. RETAINING AS OCCURS. SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION.



MICHAELS RESIDENCE

32561 SEA ISLAND DRIVE
DANA POINT, CA 92629



A090

09.21.17
CITY REVISIONS

08.15.17
CITY REVISIONS

06.12.17



SITE PLAN

1/8" = 1'-0"



NOTE TO CONTRACTOR:
CIVIL ENGINEER OF RECORD APPROVAL REQUIRED PRIOR TO BACKFILL OF ALL DRAIN PIPES. CONTACT CIVIL ENGINEER TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF DRAIN SYSTEM.

WALLS TO BE CONSISTENT WITH ALL HOA REQUIREMENTS. SITE CONDITIONS AND FINAL WALL HEIGHTS AND PILASTER LOCATIONS TO BE CONFIRMED DURING CONSTRUCTION

UTILITY NOTE
SEWER AND WATER INFORMATION SHOWN HEREON PER STREET IMPROVEMENT PLANS FOR TRACT 4269.

SLOPE NOTE
PERMANENT IRRIGATION ON THE SLOPE WILL NOT BE ALLOWED. TEMPORARY IRRIGATION MAY BE ALLOWED TO ESTABLISH LANDSCAPING

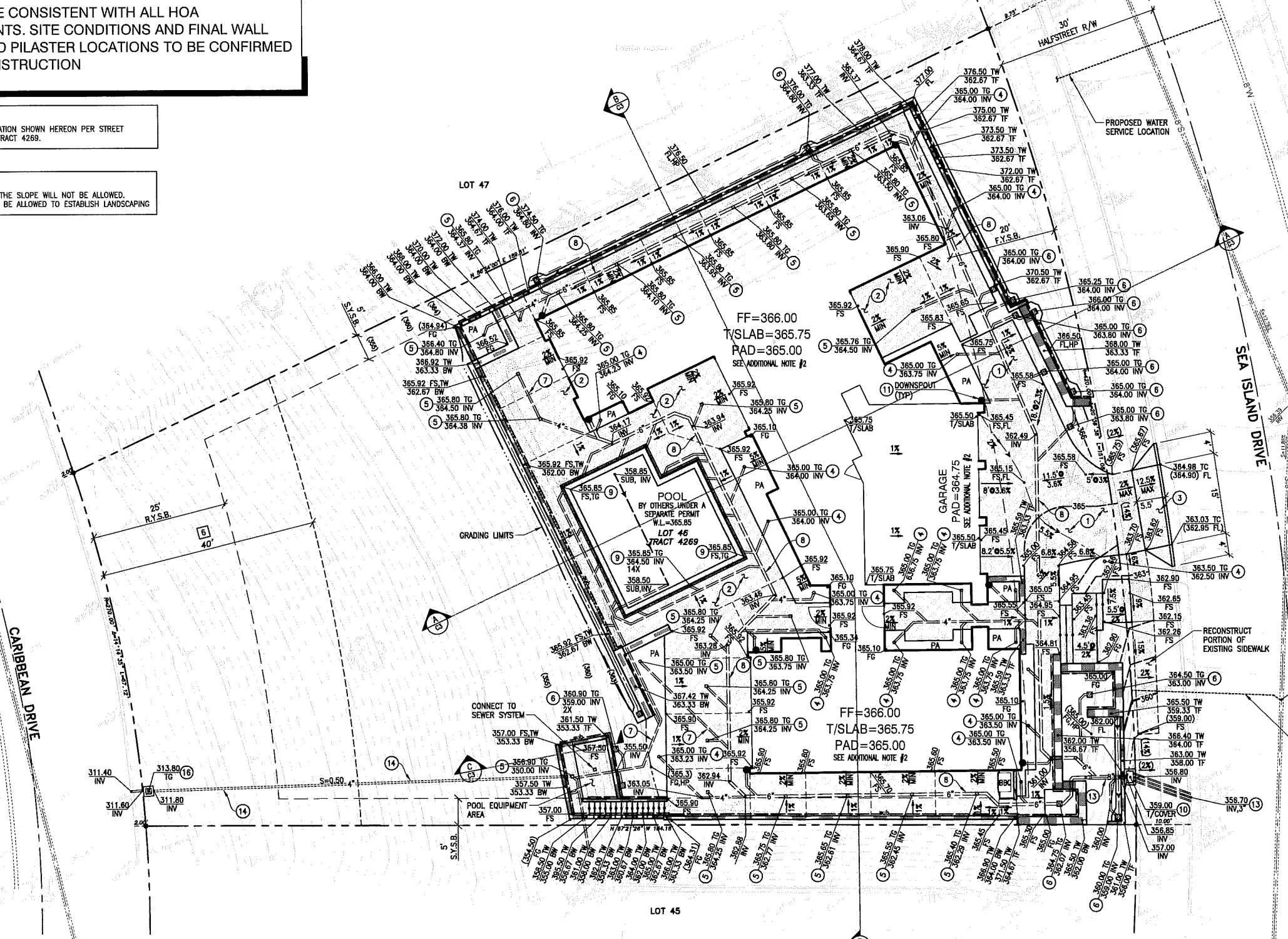


LEGEND	
---TCG---	EXISTING CONTOUR
---100---	PROPOSED CONTOUR
100.00	SPOT ELEVATION
(100.00)	EXISTING ELEVATION
[Pattern]	PROPOSED CONCRETE PAVING
[Pattern]	PROPOSED STORM DRAIN
[Pattern]	PROPOSED SCREEN WALL
[Pattern]	PROPOSED GARDEN TIE WALL
[Pattern]	PROPOSED RETAINING WALL
[Pattern]	GRADING LIMIT/DAYLIGHT LINE
[Pattern]	END OF WALL CALLOUT
FM	3" FORCEMAIN FROM STORM PUMP
sub	SUBDRAIN
DS	DOWNSPOUT
---	SURFACE FLOW DIRECTION
---	CHANNEL DRAIN, SLOT DRAIN
W.L.	WATER LINE
S.B.	SETBACK
FM	FORCE MAIN
SUB	PROPOSED SUBDRAIN
F.F.	PROPOSED FINISHED FLOOR
PAD	PROPOSED PAD ELEVATION
FS	PROPOSED FINISHED SURFACE
FG	PROPOSED FINISHED GROUND
TG	TOP OF GRADE
INV	INVERT OF PIPE
TC	TOP OF CURB
P.L.	PROPERTY LINE
PA	PLANTER AREA
TW	TOP OF WALL
TF	TOP OF FOOTING
WF	WATER FEATURE (PER LANDSCAPE PLAN)
T/SLAB	TOP OF SLAB
TP	TOP OF PILASTER
BW	BOTTOM OF WALL
T/RIM	TOP OF RIM
TGB	TOP OF GRADE BEAM
LP	LOW POINT
HP	HIGH POINT
□-o	DRAIN INLET, TYPE/SIZE PER PLAN

- CONSTRUCTION NOTES**
- CONSTRUCT CONCRETE DRIVEWAY PER DETAIL ON SHEET C4.
 - CONSTRUCT CONCRETE HARDSCAPE PER DETAIL ON SHEET C4.
 - CONSTRUCT DEPRESSIONED CURB DRIVE APPROACH PER O.C.P.W. STD. PLAN 1209 & DANA POINT CITY STD S-12.
 - INSTALL 6" ATRIUM DRAIN, NDS TYPE 80 W/ RISER & ADAPTOR OR EQUAL PER DETAIL SHEET C4.
 - INSTALL 6" DECK DRAIN, NDS TYPE 40 W/ RISER & ADAPTOR OR EQUAL PER DETAIL SHEET C4.
 - INSTALL 12" ATRIUM DRAIN, NDS TYPE 1280 W/ RISER & ADAPTOR OR EQUAL PER DETAIL SHEET C4.
 - INSTALL 4" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
 - INSTALL 6" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
 - INSTALL 3" WIDE MINI CHANNEL DRAIN NDS TYPE 500 W/ GRATE NDS 552B OR EQUAL. SEE SHEET C4.
 - CONSTRUCT PARKWAY CULVERT TYPE C WITH 3-4" PVC PIPES PER OCPW STD 1309.
 - DOWNSPOUT LOCATION PER ARCH. ROOF PLAN. SEE SHEET C4 FOR CONNECTION DETAIL.
 - INSTALL SUBDRAIN PER DETAIL ON SHEET C4.
 - INSTALL 8" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
 - 4" DIA SOLVENT WELDED SCHEDULE 40 PVC OR YELONIN (MODIFIED PVC) SDR-17 PIPE TO BE INSTALLED BY DIRECTIONAL BORE.
 - CONSTRUCT 12" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET C4.
 - INSTALL 12" SQ. PRECAST CONCRETE CATCH BASIN (BROOKS PRODUCTS 1212CB).

- ADDITIONAL NOTES**
- ALL ROOFS SHALL BE GUTTERED & DOWNSPOUTS CONNECTED TO STORM DRAIN SYSTEM.
 - PAD ELEVATIONS ARE BASED ON SOILS REPORT RECOMMENDATION OF 5" CONC. SLAB OVER 15-MIL VAPOR RETARDER/BARRIER OVER 4 INCHES OF OPEN GRADED GRAVEL. VERIFY PAD ELEVATIONS WITH FOUNDATION PLANS.
 - WHERE EXTERIOR/INTERIOR UTILITY TRENCHES ARE PROPOSED IN A DIRECTION THAT PARALLELS ANY BUILDING FOOTING, THE BOTTOM OF THE TRENCHES SHALL NOT EXTEND BELOW A 1:1 PLANE PROJECTED DOWNWARD FROM THE BOTTOM EDGE OF FOOTING. WHERE THIS OCCURS, ADJACENT FOOTING SHALL BE DEEPEMED OR UTILITY CONSTRUCTED AND BACKFILLED PRIOR TO BUILDING CONSTRUCTION.
 - FOR BUILDING FOOTING AND FOUNDATION DESIGN SEE STRUCTURAL PLANS.
 - RETAINING WALLS PER SEPARATE PERMIT.
 - ALL EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
 - ALL DRAINLINES SHALL MAINTAIN A MINIMUM 1% SLOPE TOWARDS OUTLET UNLESS NOTED OTHERWISE.
 - PER THE SOILS REPORT, TYPE II CEMENT MAY BE USED FOR CONCRETE IN CONTACT WITH ON-SITE SOILS.
 - ALL RECOMMENDATIONS CONTAINED IN THE SOILS REPORTS BY RMCARTHY CONSULTING, INC. DATED NOV 25, 2016 AND ALL ADDENDA, ARE CONSIDERED A PART OF THIS PLAN.

EASEMENT NOTES:
PER EQUITY TITLE COMPANY PRELIMINARY REPORT ORDER NO 0R1710829,
1 - LANDSCAPE MAINTENANCE EASEMENT PER INSTRUMENT RECORDED IN BOOK 6133, PAGE 606 OF OFFICIAL RECORDS.



REVISION	DESCRIPTION	APPROVED	DATE

SCALE:	DESIGNED:	DRAWN:	CHECKED:
N/A	O.R.	O.R.	ALT.
DATE: 09/19/17			DATE: 59275
PROJECT NO.: 16133	ENGINEER OF WORK		R.C.E. NO.

PLANS PREPARED BY:
TOAL ENGINEERING, INC.
CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

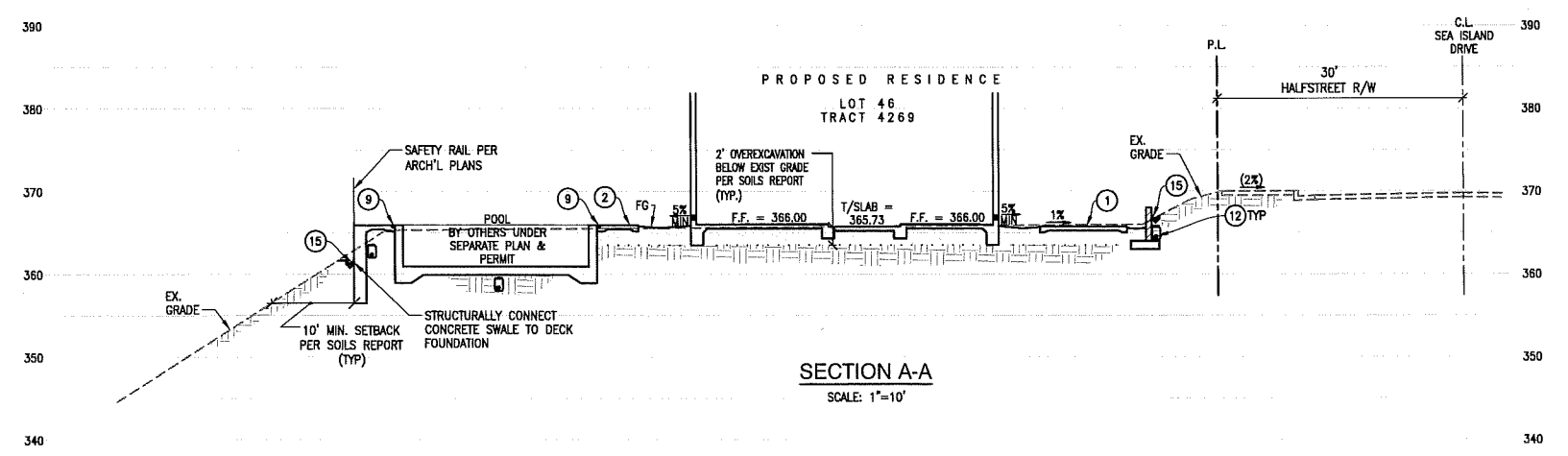
BENCHMARK
O.C.S.B.M.: 3P-31-86
DATUM: NAVD 88
ELEVATION: 193.905 FT.
ADJUSTED: 1995

APPROVED BY THE CITY OF DANA POINT
PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:
CITY PLANNING DEPARTMENT

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629
MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/17
DATE: _____
THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS. CITY CODES AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT
PRELIMINARY GRADING PLAN
32561 SEA ISLAND DR.
LOT 46, TRACT 4269
A.P.N.: 670-052-03

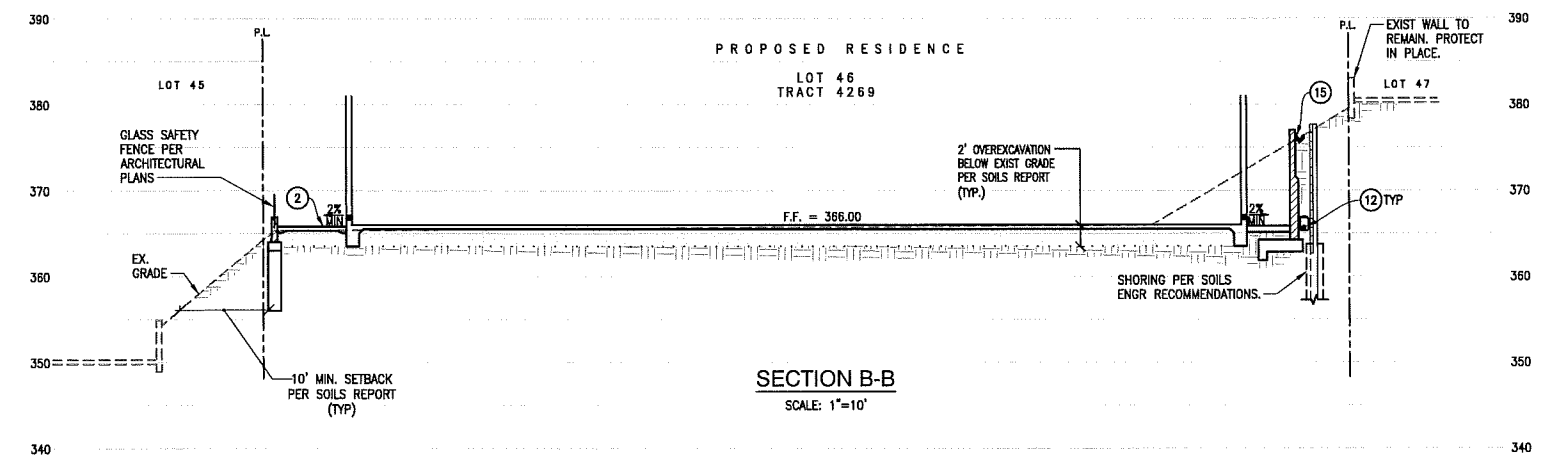
C2
PLAN CHECK NO. ENG17-_____
2 OF 6 SHEETS



SECTION A-A
SCALE: 1"=10'

CONSTRUCTION NOTES

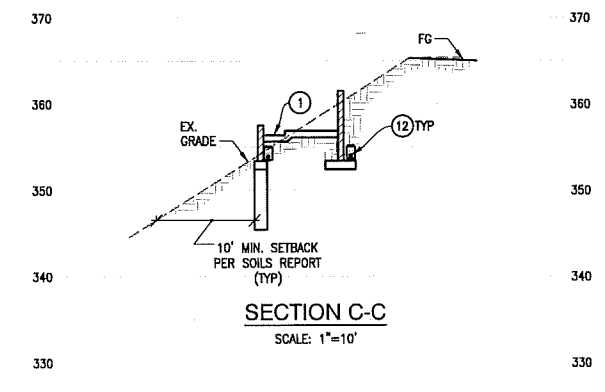
- ①— CONSTRUCT CONCRETE DRIVEWAY PER DETAIL ON SHEET C4.
- ②— CONSTRUCT CONCRETE HARDSCAPE PER DETAIL ON SHEET C4.
- ⑦— INSTALL 4" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
- ⑧— INSTALL 6" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
- ⑨— INSTALL 3" WIDE MINI CHANNEL DRAIN NDS TYPE 500 W/ GRATE NDS 552B OR EQUAL. SEE SHEET C4.
- ⑫— INSTALL SUBDRAIN PER DETAIL ON SHEET C4.
- ⑮— CONSTRUCT 12" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET C4.



SECTION B-B
SCALE: 1"=10'

SECTION NOTES:

- 1. ACTUAL LIMITS OF EXCAVATION TO BE DETERMINED IN THE FIELD BY THE SOILS ENGINEER.
- 2. RETAINING WALLS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE CONSTRUCTED PER SEPARATE PLANS AND PERMIT.
- 3. FOR FOOTING AND FOUNDATION PLANS, SEE STRUCTURAL DRAWINGS.
- 4. RETAINING WALL BACKFILL SHALL CONFORM TO THE SOILS REPORT AND THE STRUCTURAL DRAWINGS.



SECTION C-C
SCALE: 1"=10'

REVISION	DESCRIPTION	APPROVED	DATE

SCALE: N/A	DESIGNED: O.R.	DRAWN: O.R.	CHECKED: A.L.T.
DATE: 09/19/17	DATE: 59275		DATE: 59275
PROJECT NO.: 16133	ENGINEER OF WORK		R.C.E. NO.

PLANS PREPARED BY:
TOAL ENGINEERING, INC.
CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY
139 Avenida Encinas
San Clemente, CA 92673
(949) 433-8200
www.toalengineering.com

BENCHMARK
O.C.S.B.M.: 3P-31-86 DATUM: NAVD 88 ELEVATION: 193.905 FT. ADJUSTED: 1995

APPROVED BY THE CITY OF DANA POINT
PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:
CITY PLANNING DEPARTMENT DATE

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33292 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/17

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT

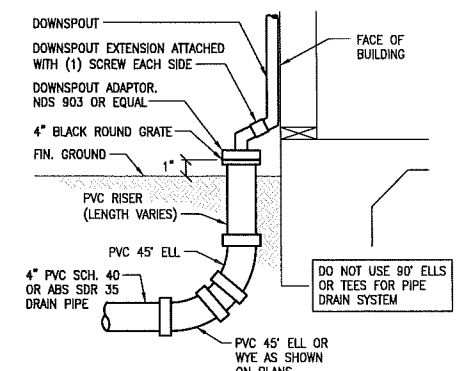
SECTIONS
32561 SEA ISLAND DR.
LOT 46, TRACT 4269
A.P.N.: 670-052-03

C3

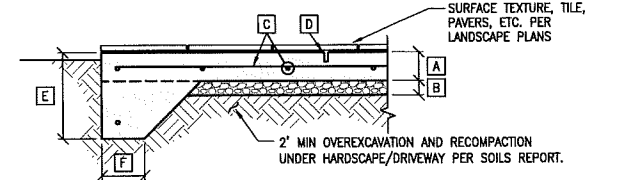
PLAN CHECK NO.
ENG17-_____

3 OF 6 SHEETS

NOTES:
1. THIS DETAIL IS FOR REFERENCE ONLY TO ILLUSTRATE SOILS REPORT REQUIREMENTS. HARDSCAPE DESIGN BY OTHERS.
2. SEE SOILS REPORT FOR OVEREXCAVATION AND SUBGRADE PREPARATION REQUIREMENTS.

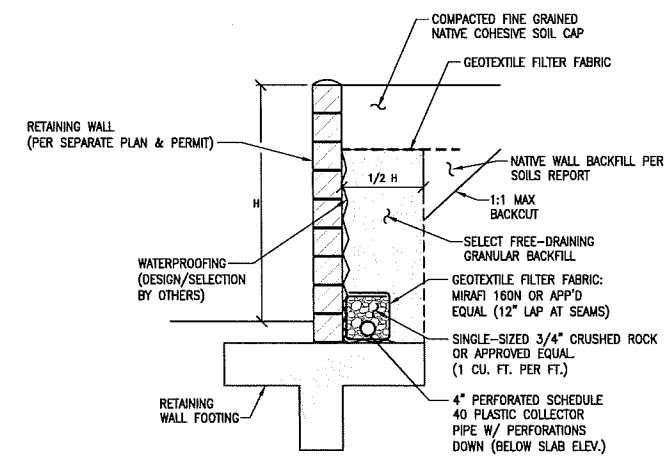


11 DETAIL
DOWNSPOUT CONNECTION TO S.D.
NOT TO SCALE

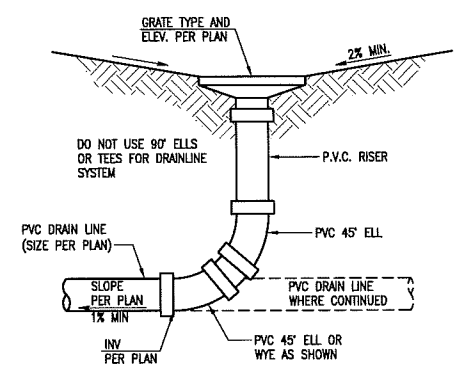


		DRIVEWAYS	HARDSCAPE
A	MIN. SLAB THICKNESS	5"	4"
B	MIN. AGG. BASE THICKNESS	N/A	N/A
C	MIN. REINFORCEMENT (O.C. / E.W.)	#4@18"	#4@18"
D	MAX. SAWCUT OR COLD JT. SPACING	8'	8'
E	THICKENED EDGE DEPTH	12"	12"
F	THICKENED EDGE WIDTH	8"	8"

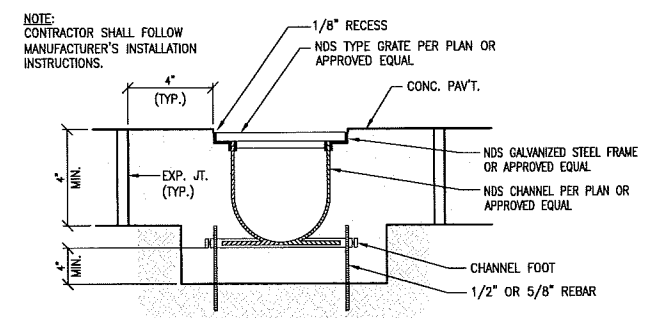
12 DETAIL
TYPICAL DRIVEWAY / HARDSCAPE SECTION
NOT TO SCALE
PER RECOMMENDATIONS IN SOILS REPORT PREREPARED BY RMCCARTHY, INC. DATED NOV 25, 2016.



12 DETAIL
TYPICAL RETAINING WALL SUBDRAIN DETAIL
PER ROB MCCARTHY CONSULTING, INC., SOILS REPORT DATED NOV 25, 2017
NOT TO SCALE

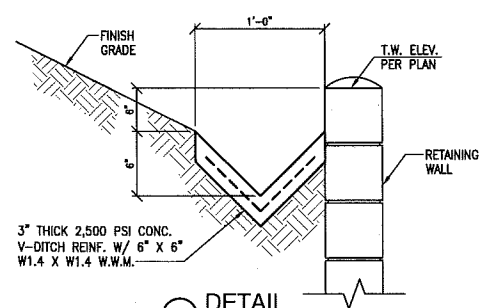


4 5 6 DETAIL
TYPICAL DRAIN INLET
NOT TO SCALE



9 DETAIL
CHANNEL DRAIN INSTALLATION
NOT TO SCALE

NOTE:
PROVIDE CONTRACTION JOINTS AT 30' MAX.



15 DETAIL
CONC. V-DITCH
NOT TO SCALE

CONSTRUCTION NOTES

- 1— CONSTRUCT CONCRETE DRIVEWAY PER DETAIL ON SHEET C4.
- 2— CONSTRUCT CONCRETE HARDSCAPE PER DETAIL ON SHEET C4.
- 4— INSTALL 6" ATRIUM DRAIN, NDS TYPE 80 W/ RISER & ADAPTOR OR EQUAL, PER DETAIL SHEET C4.
- 5— INSTALL 6" DECK DRAIN, NDS TYPE 40 W/ RISER & ADAPTOR OR EQUAL, PER DETAIL SHEET C4.
- 6— INSTALL 12" ATRIUM DRAIN, NDS TYPE 1280 W/ RISER & ADAPTOR OR EQUAL, PER DETAIL SHEET C4.
- 9— INSTALL 3" WIDE MINI CHANNEL DRAIN NDS TYPE 500 W/ GRATE NDS 552B OR EQUAL, SEE SHEET C4.
- 11— DOWNSPOUT LOCATION PER ARCH. ROOF PLAN. SEE SHEET C4 FOR CONNECTION DETAIL.
- 12— INSTALL SUBDRAIN PER DETAIL ON SHEET C4.
- 15— CONSTRUCT 12" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET C4.

REVISION	DESCRIPTION	APPROVED	DATE	SCALE: N/A	DESIGNED: O.R.	DRAWN: O.R.	CHECKED: A.L.T.	PLANS PREPARED BY: TOAL ENGINEERING, INC. <small>CIVIL ENGINEERING LAND SURVEYING STORMWATER QUALITY</small>	BENCHMARK O.C.S.B.M.: 3P-31-86 DATUM: NAVD 88 ELEVATION: 193.905 FT. ADJUSTED: 1985	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT <small>THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:</small>	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629 MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/17 DATE	CITY OF DANA POINT DETAILS 32561 SEA ISLAND DR. LOT 46, TRACT 4269 A.P.N.: 670-052-03	C4 PLAN CHECK NO. ENG17- 4 OF 6 SHEETS	
				DATE: 09/19/17			DATE: 59275							
				PROJECT NO.: 16133			R.C.E. NO.							

NOTE

THE LOCATION AND TYPE OF EROSION AND SEDIMENT CONTROL MEASURES TO BE USED WILL CHANGE DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT THE CONTROLS NECESSARY TO PREVENT NON-STORMWATER, SEDIMENT, AND CONTAMINATED RUNOFF DISCHARGES FROM THE SITE AT ALL TIMES.

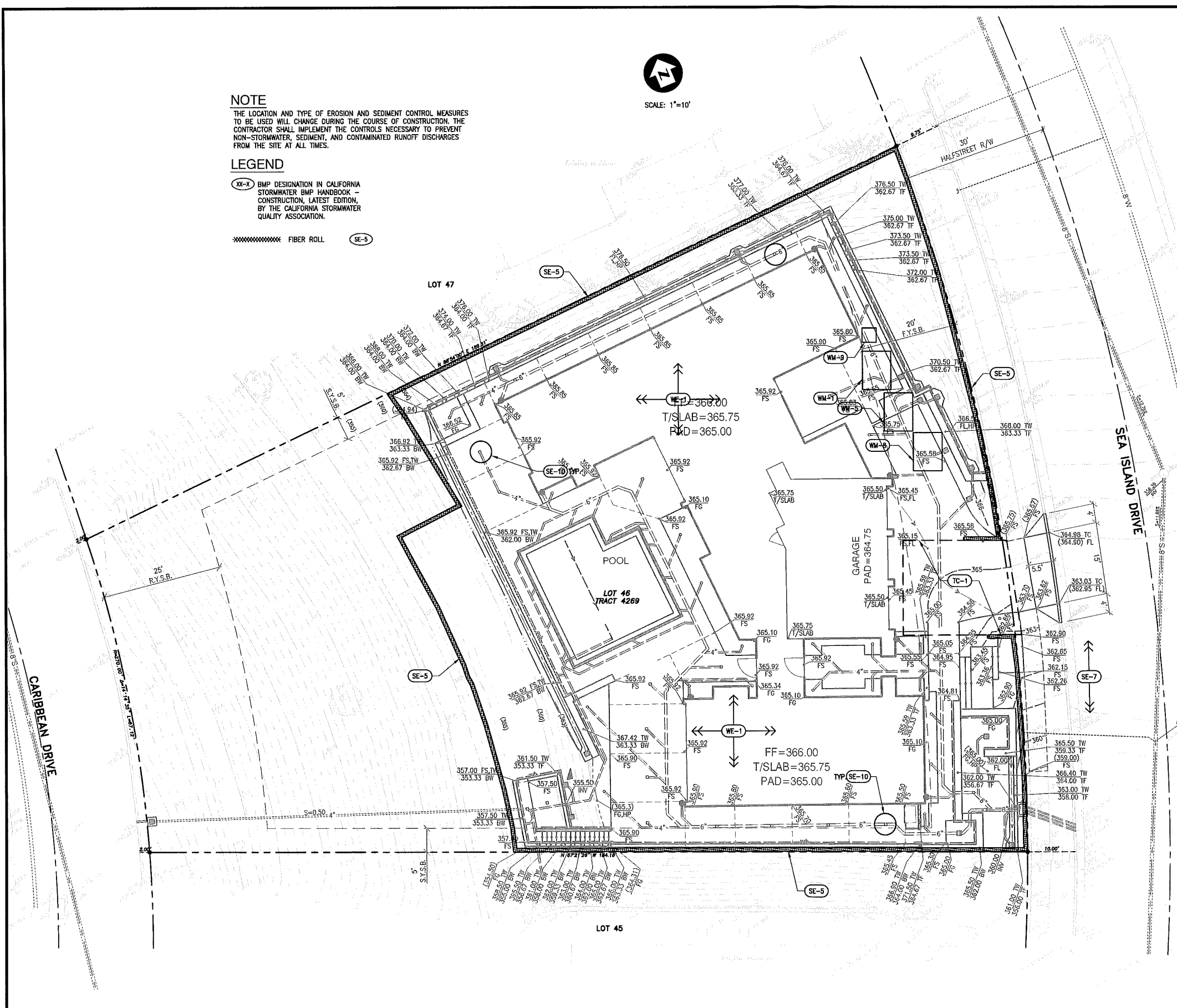
LEGEND

XX-X BMP DESIGNATION IN CALIFORNIA STORMWATER BMP HANDBOOK - CONSTRUCTION, LATEST EDITION, BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION.

XXXXXXXXXX FIBER ROLL (SE-5)



SCALE: 1"=10'



EROSION CONTROL BMPs		
EC-1	SCHEDULING	SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.
TEMPORARY SEDIMENT CONTROL		
SE-5	FIBER ROLLS	PLACE AS SHOWN ON PLAN.
SE-7	STREET SWEEPING AND VACUUMING	STREET SHALL BE SWEEPED AND SEDIMENT COLLECTED AND PROPERLY DISPOSED OF, ON OR OFF-SITE, ON A DAILY BASIS.
SE-10	STORM DRAIN INLET PROTECTION	ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISERS WITH GRAVEL BAGS OR CAP THE RISER TO REDUCE SEDIMENT INTRODUCTION TO THE AREA DRAIN SYSTEM.
WIND EROSION CONTROL		
WE-1	WIND EROSION CONTROL	WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE FROM ANY DISTURBED AREAS DURING CONSTRUCTION.
TRACKING CONTROL		
TC-1	STABILIZED CONSTRUCTION EXIT	PROVIDE RUMBLE PLATES AT CONSTRUCTION SITE ENTRANCE IF VEHICLES WILL BE MOVING ON/OFF SITE.
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL		
WM-1	MATERIAL DELIVERY AND STORAGE	IF MATERIALS ARE STORED ON SITE, THEY SHALL BE STORED IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND.
WM-2	MATERIAL USE	MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTIONS.
WM-4	SPILL PREVENTION AND CONTROL	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEES SHALL BE EDUCATED ON THE CLASSIFICATIONS OF SPILLS AND APPROPRIATE RESPONSES.
WM-5	SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8	CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENTS OF THE CITY.
WM-9	SANITARY/SEPTIC WASTE MANAGEMENT	ON-SITE FACILITIES SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
NON-STORMWATER MANAGEMENT		
NS-1	WATER CONSERVATION PRACTICES	MAINTAIN EQUIPMENT TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-3	PAVING AND GRINDING OPERATIONS	APPLY PERIMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGES.
NS-6	ILLCIT CONNECTION / DISCHARGE	CONTRACTOR SHALL REPORT ILLCIT CONNECTIONS OR ILLEGALLY DUMPED MATERIALS ON SITE TO THE ENGINEER AND THE CITY INSPECTOR AND SHALL TAKE NO FURTHER ACTION UNTIL DIRECTED.
NS-7	POTABLE WATER / IRRIGATION	EXERCISE CARE DURING CONSTRUCTION TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-8	VEHICLE AND EQUIPMENT CLEANING	ALL VEHICLES AND EQUIPMENT WILL BE CLEANED OFF-SITE.
NS-10	VEHICLE AND EQUIPMENT FUELING	ALL VEHICLES AND EQUIPMENT WILL BE FUELED OFF-SITE.
NS-10	VEHICLE AND EQUIPMENT MAINTENANCE	ALL VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE.
NS-12	CONCRETE CURING	APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13	CONCRETE FINISHING	APPLIES TO ALL CONCRETE CONSTRUCTION.

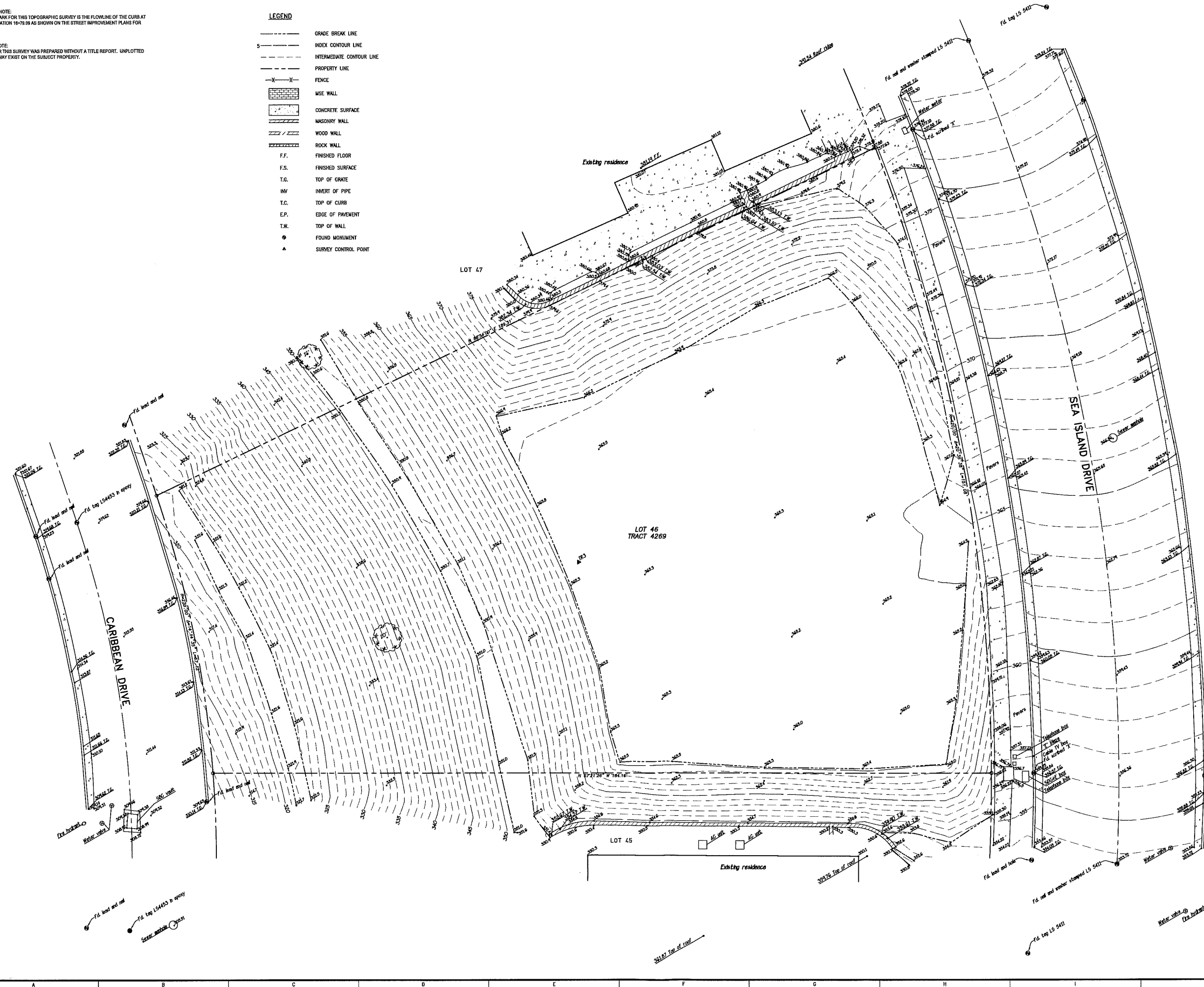
- YEAR-ROUND BMP REQUIREMENTS**
- WHERE APPROPRIATE, SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AT THE SITE PERIMETER, AT ALL OPERATIONAL STORM DRAIN INLETS, AND AT ALL NON-ACTIVE SLOPES, TO PROVIDE SUFFICIENT PROTECTION FROM STORMS.
 - WIND EROSION BMPs (DUST CONTROL) SHALL BE IMPLEMENTED AND MAINTAINED.
 - BMPs TO CONTROL OFF-SITE SEDIMENT TRACKING SHALL BE IMPLEMENTED AND MAINTAINED.
 - APPROPRIATE WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER BY WASTES AND CONSTRUCTION MATERIALS.
 - APPROPRIATE NON-STORM WATER BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER FROM CONSTRUCTION ACTIVITIES.
 - ADEQUATE PHYSICAL OR VEGETATION EROSION CONTROL BMPs (TEMPORARY OR PERMANENT) SHALL BE INSTALLED AND ESTABLISHED AS SOON AS PRACTICAL FOR ALL COMPLETED SLOPES OR SLOPES IN NON-ACTIVE AREAS. THESE BMPs MUST BE MAINTAINED THROUGHOUT THE YEAR. IF A SELECTED BMP FAILS, IT MUST BE REPAIRED AND IMPROVED, OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO. THE FAILURE OF A BMP MAY INDICATE THAT THE BMP, AS INSTALLED, WAS NOT ADEQUATE FOR THE CIRCUMSTANCES IN WHICH IT WAS USED. REPAIRS OR REPLACEMENTS MUST RESULT IN A MORE ROBUST BMP, OR ADDITIONAL BMPs SHOULD BE INSTALLED TO PROVIDE ADEQUATE PROTECTION.
 - A DISTURBED AREA THAT IS NOT COMPLETED, BY THAT IS NOT BEING ACTIVELY GRADED (NON-ACTIVE AREA), SHALL BE FULLY PROTECTED FROM EROSION WITH TEMPORARY OR PERMANENT BMPs (EROSION AND SEDIMENT CONTROL). THE ABILITY TO DEPLOY STANDBY BMP MATERIALS IS NOT SUFFICIENT FOR THESE AREAS. EROSION AND SEDIMENT CONTROL BMPs MUST ACTUALLY BE DEPLOYED. THIS INCLUDES ALL BUILDING PADS, UNFINISHED ROADS, AND SLOPES.
 - SUFFICIENT MATERIALS NEEDED TO INSTALL STANDBY EROSION AND SEDIMENT CONTROL BMPs NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES SHALL BE STORED ON-SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PERMANENT PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMPs ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.
 - THERE SHALL BE A "WEATHER TRIGGERED" ACTION PLAN AND THE ABILITY TO DEPLOY STANDBY SEDIMENT CONTROL BMPs AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT (A PREDICTED STORM IS DEFINED AS A FORECASTED, 50% CHANCE OF RAIN).
 - THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY DEPLOYING STANDBY EROSION CONTROL AND SEDIMENT CONTROL BMPs PRIOR TO A PREDICTED RAINSTORM.

REVISION DESCRIPTION APPROVED DATE		SCALE: N/A DATE: 08/19/17 PROJECT NO.: 16133		DESIGNED: O.R. DRAWN: O.R. CHECKED: A.L.T. DATE: 59275 R.C.E. NO.		PLANS PREPARED BY: TOAL ENGINEERING, INC. <small>CIVIL ENGINEERING AND SURVEYING STORMWATER QUALITY</small> <small>159 Avenida Encinas Suite 200 Encinitas, CA 92024</small> <small>TEL: 760.942.8200 FAX: 760.942.8201</small> <small>www.toalengineering.com</small>		BENCHMARK O.C.S.B.M.: 3P-31-86 DATUM: NAVD 88 ELEVATION: 193.905 FT. ADJUSTED: 1985		APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT <small>THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:</small> MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/17 DATE		CITY OF DANA POINT EROSION CONTROL PLAN 32561 SEA ISLAND DR. LOT 46, TRACT 4269 A.P.N.: 670-052-03		C5 PLAN CHECK NO. ENG17- 5 OF 6 SHEETS	
---	--	---	--	---	--	--	--	---	--	---	--	---	--	--	--

BENCHMARK NOTE:
THE BENCHMARK FOR THIS TOPOGRAPHIC SURVEY IS THE FLOWLINE OF THE CURB AT THE BC AT STATION 18+79.19 AS SHOWN ON THE STREET IMPROVEMENT PLANS FOR TRACT 4269. ELEV=353.03

EASEMENT NOTE:
THE PLAN FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

LEGEND	
-----	GRADE BREAK LINE
- - - - -	INDEX CONTOUR LINE
- · - · -	INTERMEDIATE CONTOUR LINE
- - - - -	PROPERTY LINE
X X X X	FENCE
[Pattern]	MSE WALL
[Pattern]	CONCRETE SURFACE
[Pattern]	MASONRY WALL
[Pattern]	WOOD WALL
[Pattern]	ROCK WALL
F.F.	FINISHED FLOOR
F.S.	FINISHED SURFACE
T.G.	TOP OF GRATE
INV	INVERT OF PIPE
T.C.	TOP OF CURB
E.P.	EDGE OF PAVEMENT
T.W.	TOP OF WALL
●	FOUND MONUMENT
▲	SURVEY CONTROL POINT



PLANS PREPARED BY:
TOAL ENGINEERING, INC.

CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY
139 Avenida Navarero
San Clemente, CA 92672
949-482-8986
www.toalengineering.com



VIKTOR P. MEUM
P.L.S. 'B' 2
DATE:

PREPARED FOR:
ELICABETH MICHAELS

NO.	DATE	BY

TOPOGRAPHIC AND BOUNDARY SURVEY
LOT 46, TRACT 4269
32261 SEA ISLAND DRIVE, DANA POINT, CALIFORNIA

DATE	12-24-16	H. SCALE	1"=17'-1"
SURVEY DATE	1-18-16	V. SCALE	-
DRN.	MSF	DWG. NO.	-
CHKD.	-		
APPD.	VM		
CS. NO.	16133	SHEET	1
		OF	1

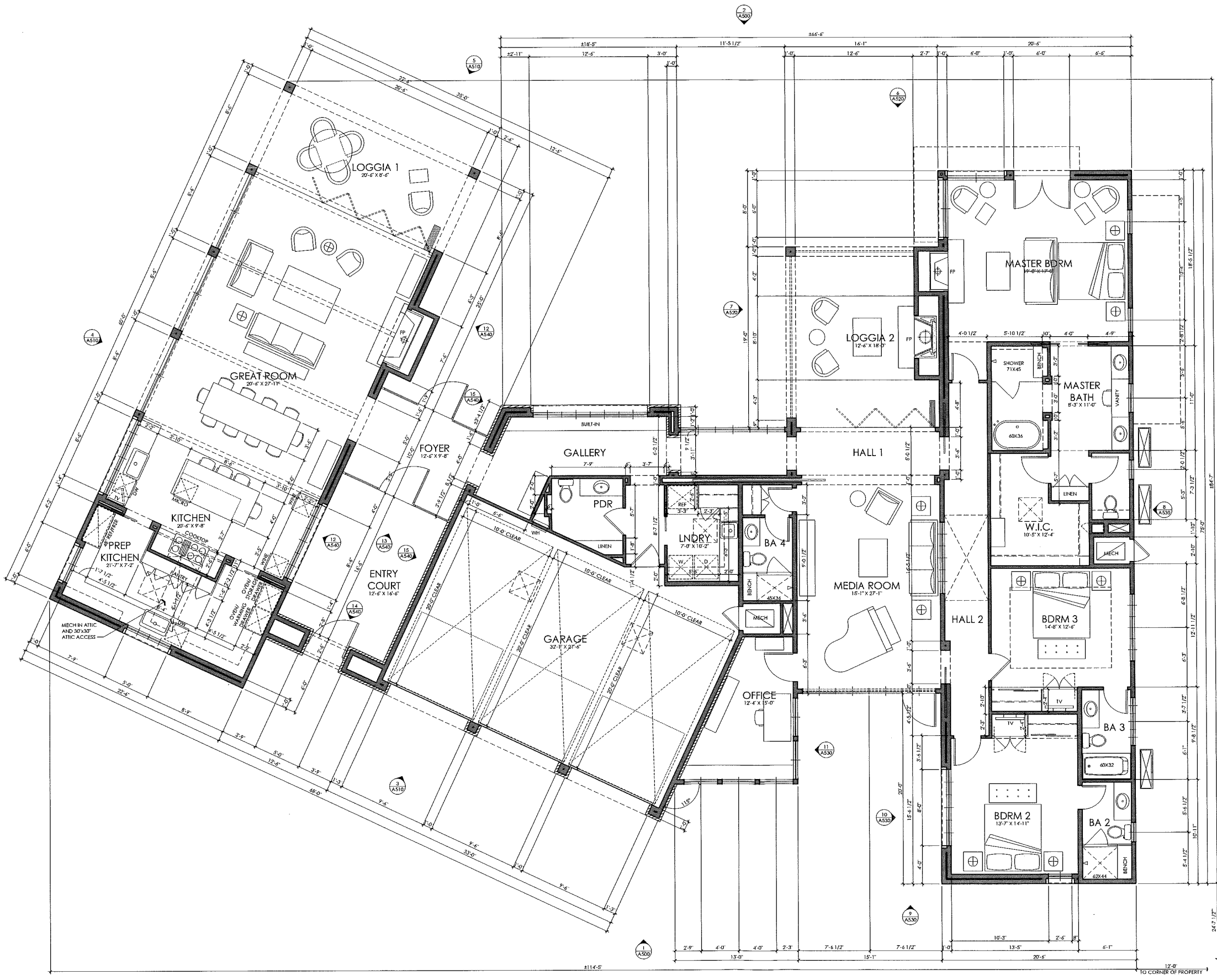


PLAN NOTES

- A. ALL DIMENSIONS ARE TO THE FACE OF STUD. U.I.O.
- B. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE.
- C. VERIFY ALL EXISTING FIELD CONDITIONS / DIMENSIONS PRIOR TO CONSTRUCTION.
- D. ALL EQUIPMENT, APPLIANCES AND FIXTURES AS SELECTED BY OWNER AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- E. INTERIOR WALL FINISH TO BE 1/2" GYPSUM BOARD AT WALL AND 5/8" AT CEILING U.I.O.

AREA TABULATIONS

LIVING AREA (R3):	3,784 SF
GARAGE, MECH & STORAGE (U):	772 SF
TOTAL BUILDING AREA (R3 + U):	4,556 SF
OUTDOOR COVERED LOGGIA:	530 SF



MICHAELS RESIDENCE

32561 SEA ISLAND DRIVE
DANA POINT, CA 92629

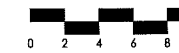


A200



FLOOR PLAN

1/4" = 1'-0"



09.21.17
CITY REVISIONS
08.16.17
CITY REVISIONS
06.12.17



REFLECTED CEILING NOTES

- A. CEILING HEIGHT CALLOUTS:
 (K-X) AS NOTED FROM FINISHED FLOOR
- B. ALL DIMENSIONS SHOWN ARE FROM THE FACE OF STUD, U.N.O.
- C. REFER TO THE UTILITY PLANS FOR THE LIGHTING LAYOUT.
- D. CEILING FINISH TO BE 5/8" GYP BOARD, U.N.O.

REFLECTED CEILING KEYNOTES

- 1.0 FLAT SOFFIT WITH GYP BOARD FINISH, HEIGHT AT 8'-0"
- 1.1 FLAT SOFFIT WITH GYP BOARD FINISH, HEIGHT AT 7'-0"
- 2.0 ARCH SOFFIT WITH GYP BOARD FINISH, HEIGHT AT 7'-0"
- 3.0 ARCH SOFFIT WITH ADHERED STONE VENEER FINISH, HEIGHT AT 7'-0"
- 4.0 1x8 T&G FINISH WITH 1/2" STRAIGHT GROOVE
- 4.1 SMOOTH EXTERIOR PLASTER FINISH
- 4.2 5/8" TYPE 'X' GYP BOARD FINISH AT GARAGE CEILING
- 5.0 REED TRELLIS
- 6.0 SKYLIGHT
- 7.0 8x10 RIDGE BEAM
- 7.1 6x8 BEAM
- 7.2 6x6 BEAM
- 7.3 6x DECORATIVE TRUSS
- 8.0 30"x30" ATTIC ACCESS
- 8.1 MECHANICAL UNIT IN CEILING

MICHAELS RESIDENCE

32561 SEA ISLAND DRIVE
 DANA POINT, CA 92629



A300

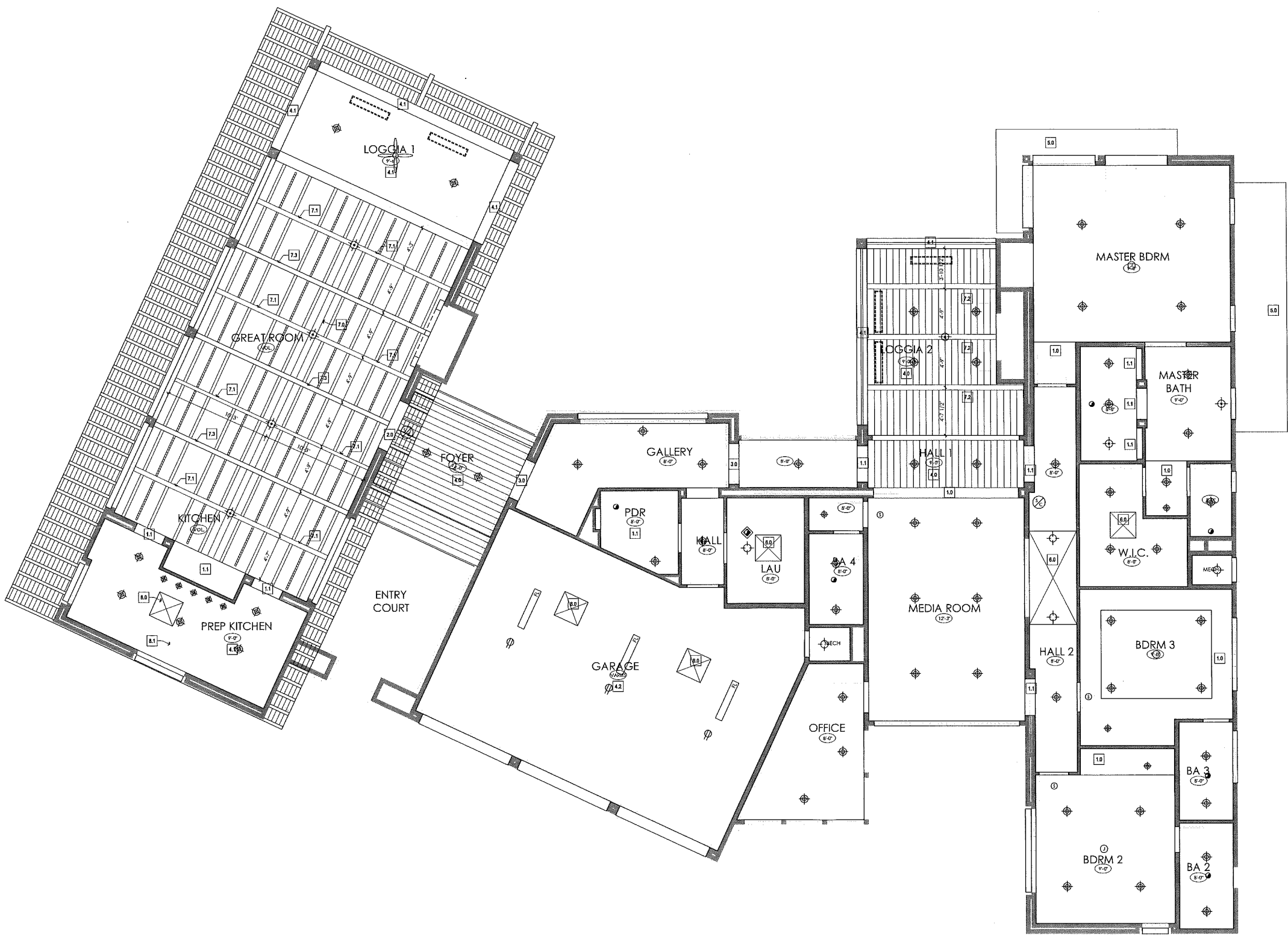
REFLECTED CEILING PLAN



1/4" = 1'-0"



09 . 21 . 17
 CITY REVISIONS
 08 . 16 . 17
 CITY REVISIONS
 06 . 12 . 17





ROOF NOTES

- A. REFER TO STRUCTURAL DRAWINGS FOR ROOF SHEATHING SPECIFICATIONS.
- B. ROOF TO BE UNVENTED ATTIC ASSEMBLY UNLESS NOTED OTHERWISE AND SHALL COMPLY WITH BR143.
 - THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE
 - NO INTERIOR VAPOR BARRIERS ARE INSTALLED ON THE CEILING SIDE OF THE UNVENTED ATTIC ASSEMBLY
 - AS PERMABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING
 - RIGID BOARD OR SHEET INSULATION WITH AN R-VALUE OF R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING FOR CONDENSATION CONTROL.
- C. PROVIDE 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND WHERE ROOF PITCH CHANGES.
- D. THE CENTER LINE OF ALL FLASHING FOR VENT PIPES SHALL BE NOT LESS THAN 1/2" FROM ANY VALLEY.
- E. ALL ROOF PENETRATIONS SHALL BE INSTALLED AS TO MAKE THEM WATERPROOF.
- F. GLASS PA BUILT UP ROOFING SYSTEM WITH FEA GRAVEL INSTALLED PER MANUFACTURERS SPECS.
- G. GUTTERS AND DOWNSPOUTS SHALL BE PROVIDED AS REQUIRED.
- H. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF.

ROOF KEYNOTES

- 1 SLOPED ROOF WITH 2-PIECE CLAY ROOF TILES
- 2 LOW PITCH BUILT-UP ROOF WITH FEA GRAVEL FINISH
- 3 METAL TRELLIS WITH REED CANOPY
- 4 WOOD TRELLIS
- 5 LOCATION OF DESIGNATED SOLAR ZONE
- 6 PARAPET WITH EXTERIOR CEMENT PLASTER FINISH
- 7 PARAPET WITH ADHERED STONE VENEER FINISH
- 8 PARAPET WITH WOOD SIDING FINISH
- 9 LINE OF WALL BELOW
- 10 CRICKET, SLOPE TO ROOF DETAIL W/ OVERFLOW

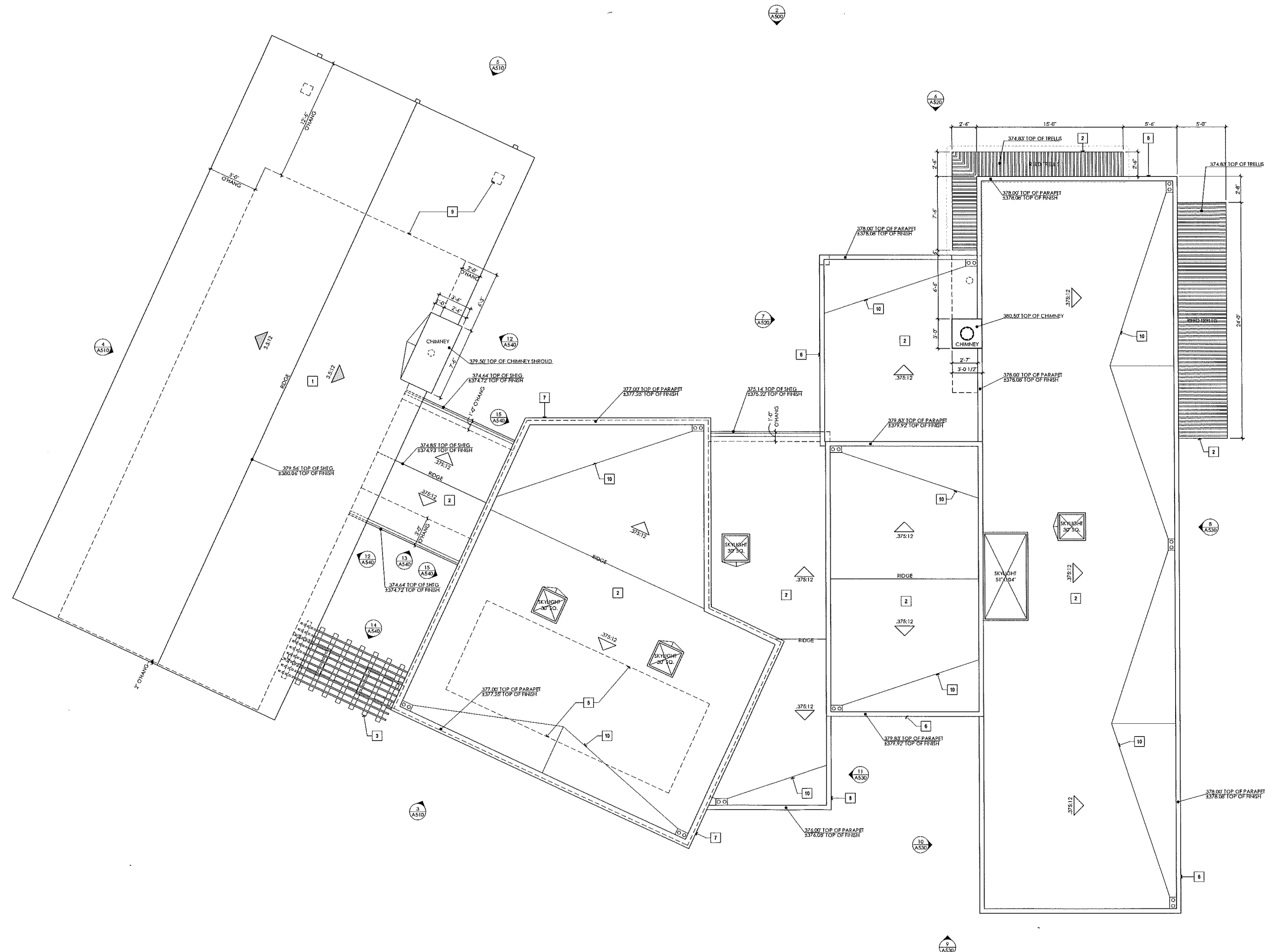
MICHAELS RESIDENCE

32561 SEA ISLAND DRIVE
DANA POINT, CA 92629

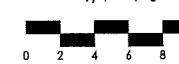


A400

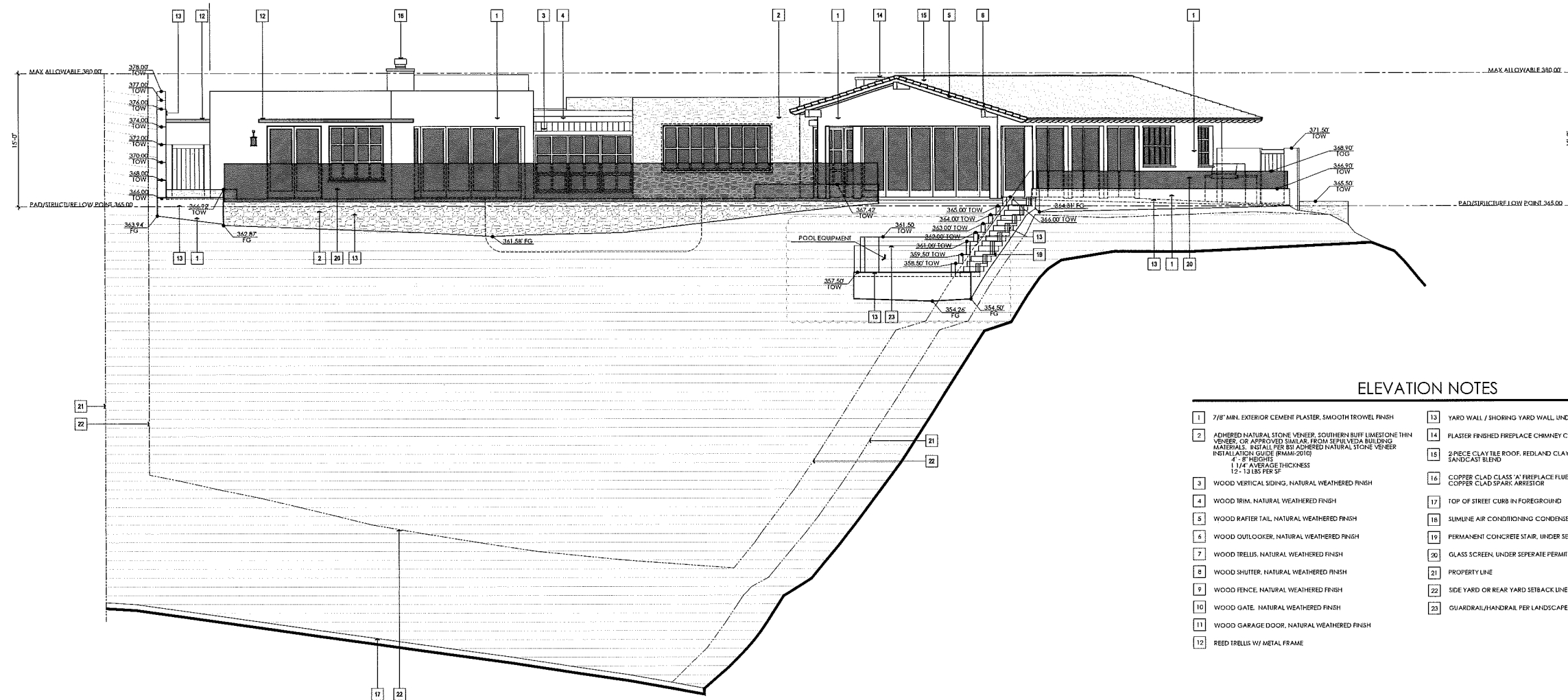
09.21.17
CITY REVISIONS
08.16.17
CITY REVISIONS
06.12.17



ROOF PLAN
1/4" = 1'-0"



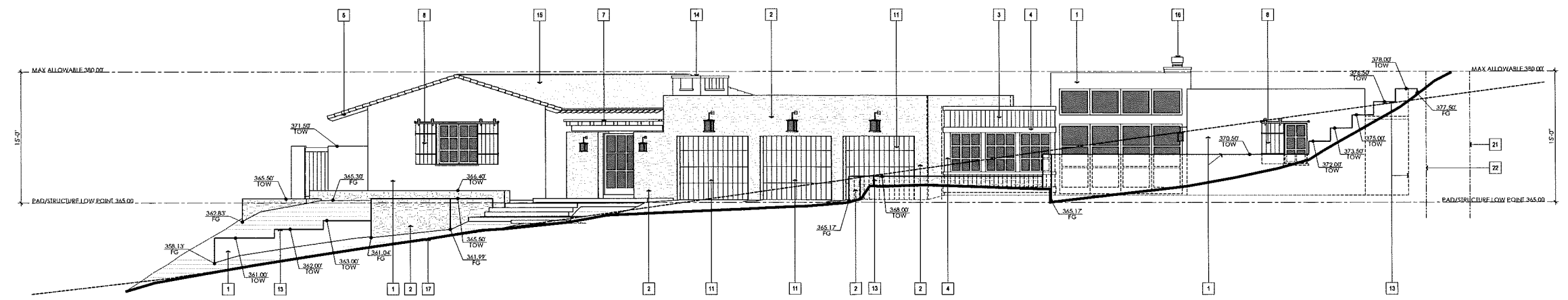
0 2 4 6 8



ELEVATION NOTES

- | | |
|---|---|
| 1 7/8" MIN. EXTERIOR CEMENT PLASTER, SMOOTH TROWEL FINISH | 13 YARD WALL / SHORING YARD WALL, UNDER SEPARATE PERMIT |
| 2 ADHERED NATURAL STONE VENEER, SOUTHERN BUFF LIMESTONE THIN VENEER, OR APPROVED SIMILAR, FROM SEPULVEDA BUILDING MATERIALS. INSTALL PER BSI ADHERED NATURAL STONE VENEER INSTALLATION GUIDE (BMANI-2010) 4" x 8" RECTANG 1 1/4" AVERAGE THICKNESS 12-13 LBS PER SF | 14 PLASTER FINISHED FIREPLACE CHIMNEY CAP |
| 3 WOOD VERTICAL SIDING, NATURAL WEATHERED FINISH | 15 2-PIECE CLAY TILE ROOF, REDLAND CLAY TILE OLD HACIENDA SANDCAST BLEND |
| 4 WOOD TRIM, NATURAL WEATHERED FINISH | 16 COPPER CLAD CLASS 'A' FIREPLACE FLUE WITH ICBO APPROVED COPPER CLAD SPARK ARRESTOR |
| 5 WOOD RAFTER TAIL, NATURAL WEATHERED FINISH | 17 TOP OF STREET CURB IN FOREGROUND |
| 6 WOOD OUTLOOKER, NATURAL WEATHERED FINISH | 18 SULLINE AIR CONDITIONING CONDENSER UNIT |
| 7 WOOD TRELLIS, NATURAL WEATHERED FINISH | 19 PERMANENT CONCRETE STAIR, UNDER SEPARATE PERMIT |
| 8 WOOD SHUTTER, NATURAL WEATHERED FINISH | 20 GLASS SCREEN, UNDER SEPARATE PERMIT |
| 9 WOOD FENCE, NATURAL WEATHERED FINISH | 21 PROPERTY LINE |
| 10 WOOD GATE, NATURAL WEATHERED FINISH | 22 SIDE YARD OR REAR YARD SETBACK LINE |
| 11 WOOD GARAGE DOOR, NATURAL WEATHERED FINISH | 23 GUARDRAIL/HANDRAIL PER LANDSCAPE DRAWINGS |
| 12 REED TRELLIS W/ METAL FRAME | |

REAR ELEVATION 2



STREET ELEVATION 1

MICHAELS RESIDENCE

32561 SEA ISLAND DRIVE
 DANA POINT, CA 92629



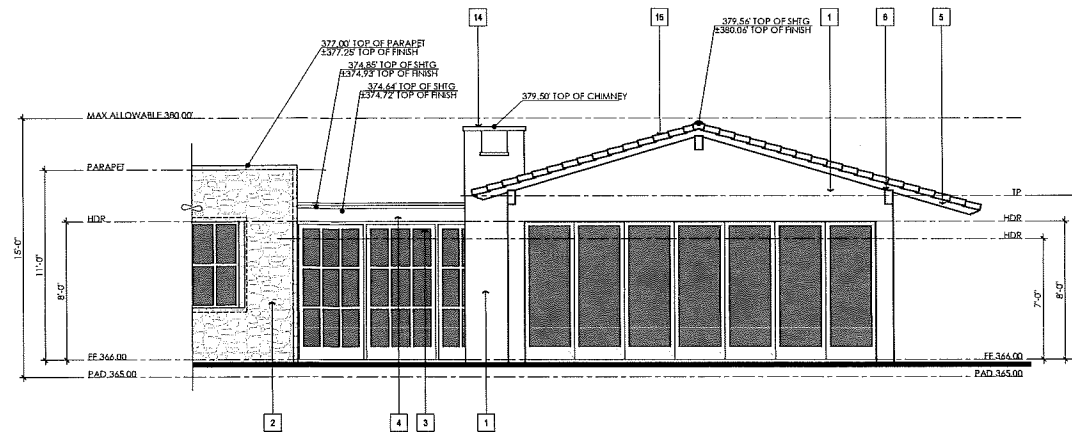
A500

3/16" = 1'-0"

09.21.17
 CITY REVISIONS
 08.16.17
 CITY REVISIONS
 06.12.17

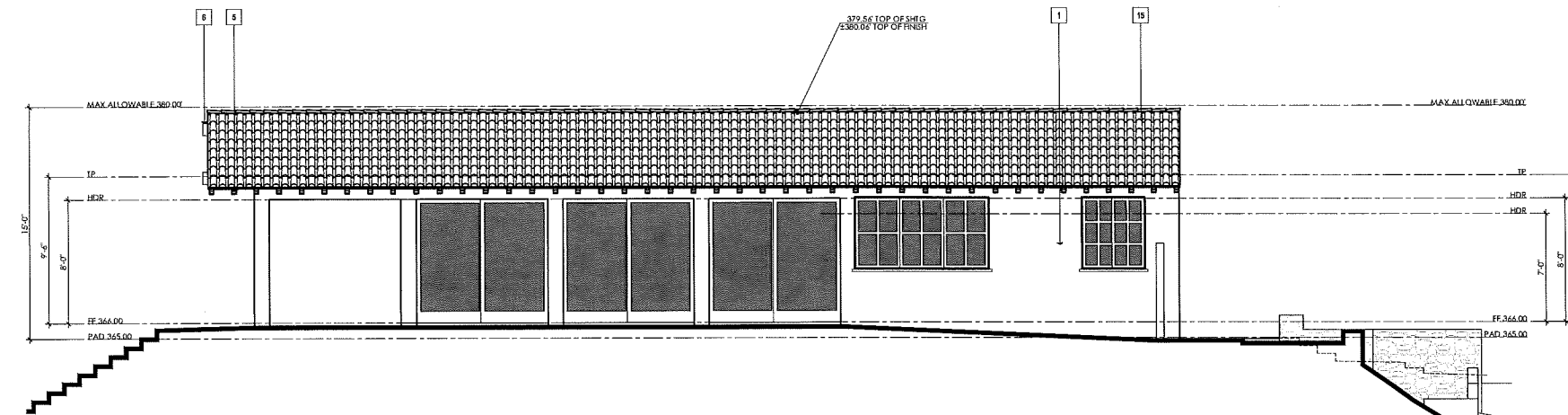
ELEVATION NOTES

- 1 7/8" MIN. EXTERIOR CEMENT PLASTER, SMOOTH TROWEL FINISH
- 2 ADHERED NATURAL STONE VENEER, SOUTHERN BUFF LIMESTONE THIN VENEER, OR APPROVED SIMILAR FROM SEPULVEDA BUILDING MATERIALS. INSTALL PER BSA ADHERED NATURAL STONE VENEER INSTALLATION GUIDE (RMM-2010) 4" X 9" HEIGHTS 1 1/4" AVERAGE THICKNESS 12-13 LBS PER SF
- 3 WOOD VERTICAL SIDING, NATURAL WEATHERED FINISH
- 4 WOOD TRIM, NATURAL WEATHERED FINISH
- 5 WOOD RAFTER TAIL, NATURAL WEATHERED FINISH
- 6 WOOD OUTLOOKER, NATURAL WEATHERED FINISH
- 7 WOOD TRELLIS, NATURAL WEATHERED FINISH
- 8 WOOD SHUTTER, NATURAL WEATHERED FINISH
- 9 WOOD FENCE, NATURAL WEATHERED FINISH
- 10 WOOD GATE, NATURAL WEATHERED FINISH
- 11 WOOD GARAGE DOOR, NATURAL WEATHERED FINISH
- 12 REED TRELLIS W/ METAL FRAME
- 13 YARD WALL / SHORING YARD WALL UNDER SEPARATE PERMIT
- 14 PLASTER FINISHED FIREPLACE CHIMNEY CAP
- 15 2-PIECE CLAY TILE ROOF, REDLAND CLAY TILE OLD HACIENDA SANDCAST BLEND
- 16 COPPER CLAD CLASS 'A' FIREPLACE FLUE WITH ICBO APPROVED COPPER CLAD SPARK ARRESTOR
- 17 TOP OF STREET CURB IN FOREGROUND
- 18 SUMMER AIR CONDITIONING CONDENSER UNIT
- 19 PERMANENT CONCRETE STAIR, UNDER SEPARATE PERMIT
- 20 GLASS SCREEN, UNDER SEPARATE PERMIT
- 21 PROPERTY LINE
- 22 SIDE YARD OR REAR YARD SETBACK LINE
- 23 GUARDRAIL/HANDRAIL PER LANDSCAPE DRAWINGS



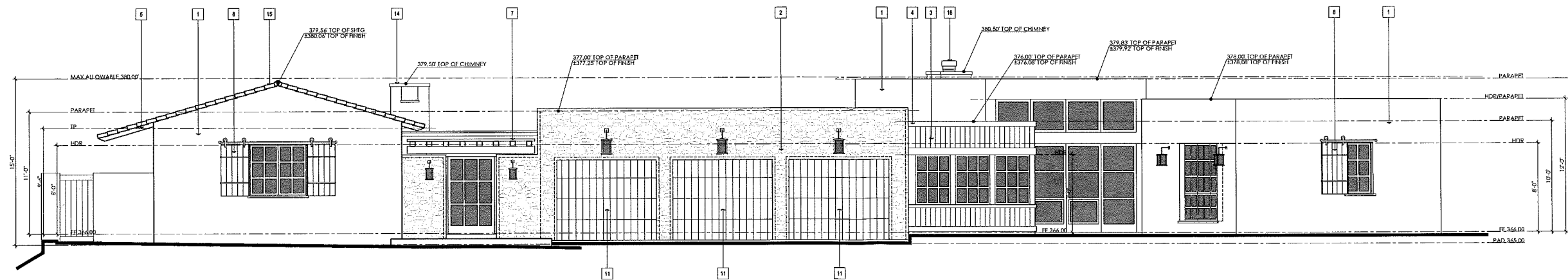
PARTIAL REAR ELEVATION

5



LEFT SIDE ELEVATION

4



FRONT ELEVATION

3

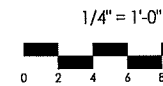
MICHAELS RESIDENCE

32561 SEA ISLAND DRIVE
DANA POINT, CA 92629



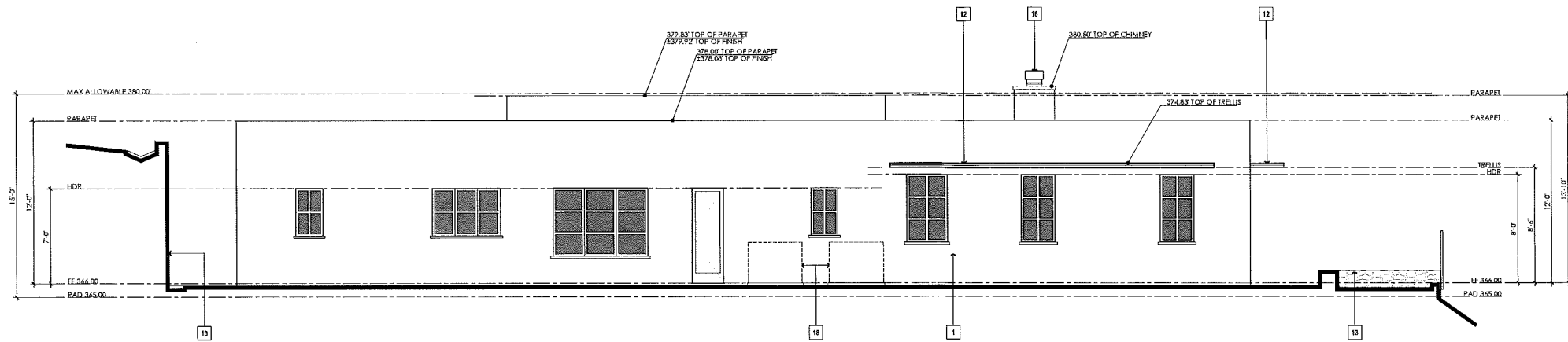
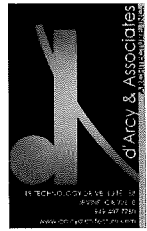
A510

09 . 21 . 17
CITY REVISIONS
06 . 16 . 17
CITY REVISIONS
06 . 12 . 17



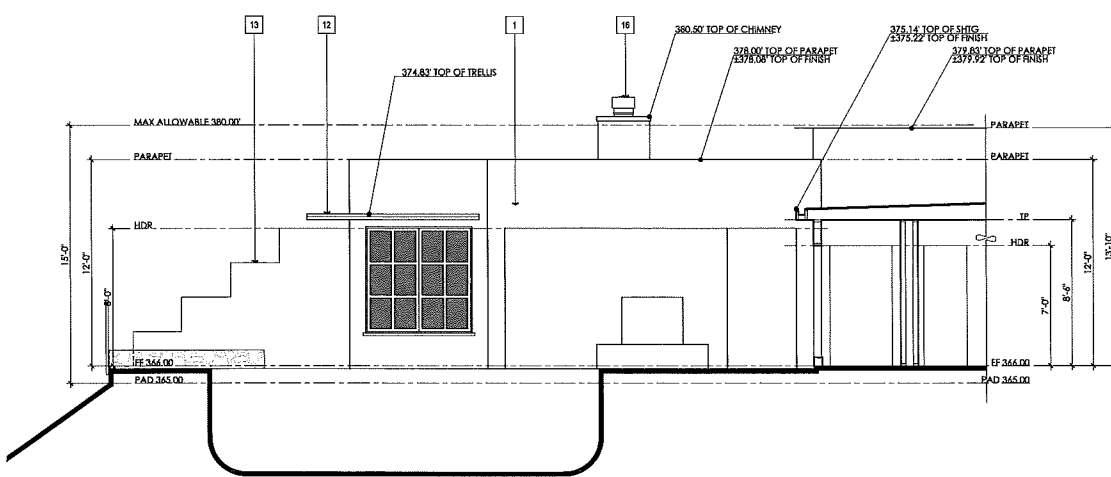
ELEVATION NOTES

- 1 7/8" MIN. EXTERIOR CEMENT PLASTER, SMOOTH TROWEL FINISH
- 2 ADHERED NATURAL STONE VENEER, SOUTHERN BLUFF LIMESTONE THIN VENEER, OR APPROVED SIMILAR, FROM SEPULVEDA BUILDING MATERIALS. INSTALL PER SDI ADHERED NATURAL STONE VENEER INSTALLATION GUIDE (RM11-2010)
4" FINISHES
1 1/4" AVERAGE THICKNESS
12 - 15 LBS PER SF
- 3 WOOD VERTICAL SIDING, NATURAL WEATHERED FINISH
- 4 WOOD TRIM, NATURAL WEATHERED FINISH
- 5 WOOD RAFTER TAIL, NATURAL WEATHERED FINISH
- 6 WOOD CHITLOOKER, NATURAL WEATHERED FINISH
- 7 WOOD TRELLIS, NATURAL WEATHERED FINISH
- 8 WOOD SHUTTER, NATURAL WEATHERED FINISH
- 9 WOOD FENCE, NATURAL WEATHERED FINISH
- 10 WOOD GATE, NATURAL WEATHERED FINISH
- 11 WOOD GARAGE DOOR, NATURAL WEATHERED FINISH
- 12 REED TRELLIS W/ METAL FRAME
- 13 YARD WALL / SHORING YARD WALL, UNDER SEPARATE PERMIT
- 14 PLASTER FINISHED FIREPLACE CHIMNEY CAP
- 15 2PIECE CLAY TILE ROOF, REDLAND CLAY TILE OLD HACIENDA SANDCAST BLEND
- 16 COPPER CLAD CLASS 'A' FIREPLACE FLUE WITH ICBO APPROVED COPPER CLAD SPARK ARRESTOR
- 17 TOP OF STREET CURB IN FOREGROUND
- 18 SLIMLINE AIR CONDITIONING CONDENSER UNIT
- 19 PERMANENT CONCRETE STAIR, UNDER SEPARATE PERMIT
- 20 GLASS SCREEN, UNDER SEPARATE PERMIT
- 21 PROPERTY LINE
- 22 SIDE YARD OR REAR YARD SETBACK LINE
- 23 GUARDRAIL/HANDRAIL PER LANDSCAPE DRAWINGS



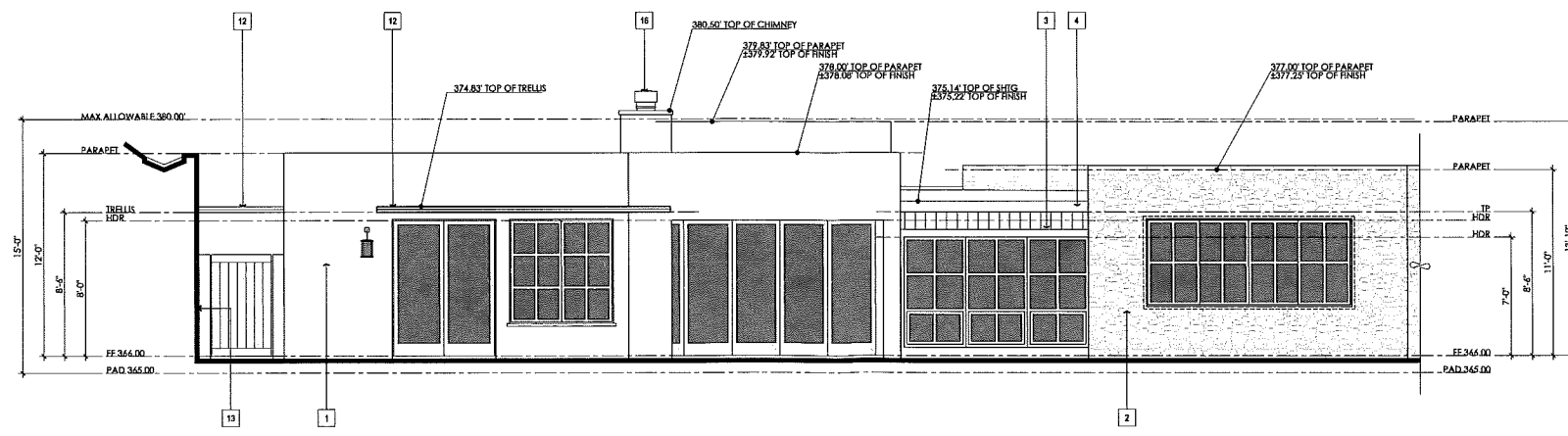
RIGHT SIDE ELEVATION

8



COURTYARD ELEVATION

7



PARTIAL REAR ELEVATION

6

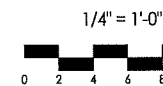
MICHAELS RESIDENCE

32561 SEA ISLAND DRIVE
DANA POINT, CA 92629



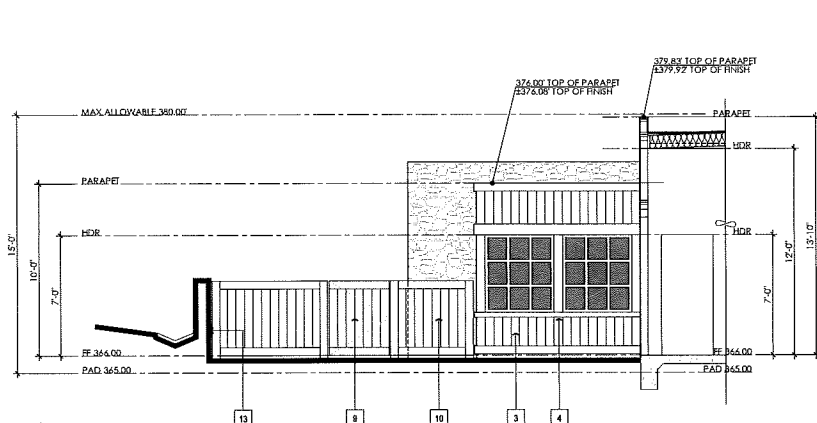
A520

09.21.17
CITY REVISIONS
08.18.17
CITY REVISIONS
06.12.17



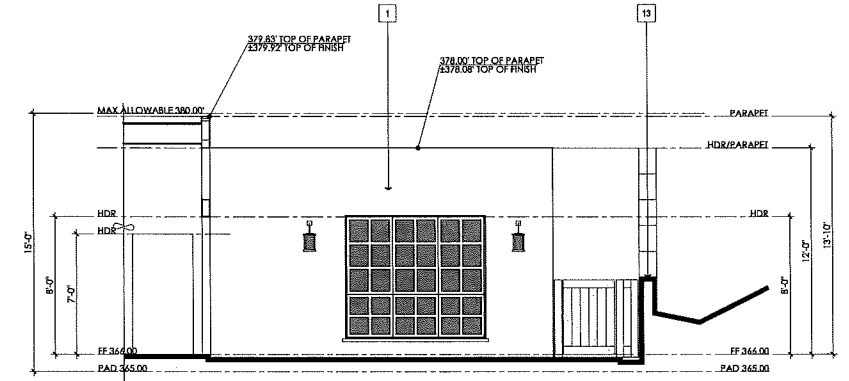
ELEVATION NOTES

- 1 7/8" MIN. EXTERIOR CEMENT PLASTER, SMOOTH TROWEL FINISH
- 2 ADHERED NATURAL STONE VENEER, SOUTHERN BUFF LIMESTONE THIN VENEER, OR APPROVED SIMILAR, FROM SEPULVEDA BUILDING MATERIALS. INSTALL PER ISI ADHERED NATURAL STONE VENEER INSTALLATION GUIDE (RMMI-2010)
4" HEIGHT
1 1/4" AVERAGE THICKNESS
12-13 LBS PER SF
- 3 WOOD VERTICAL SILING, NATURAL WEATHERED FINISH
- 4 WOOD TRIM, NATURAL WEATHERED FINISH
- 5 WOOD RAFTER TAIL, NATURAL WEATHERED FINISH
- 6 WOOD OUTLOOKER, NATURAL WEATHERED FINISH
- 7 WOOD TRELLIS, NATURAL WEATHERED FINISH
- 8 WOOD SHUTTER, NATURAL WEATHERED FINISH
- 9 WOOD FENCE, NATURAL WEATHERED FINISH
- 10 WOOD GATE, NATURAL WEATHERED FINISH
- 11 WOOD GARAGE DOOR, NATURAL WEATHERED FINISH
- 12 REED TRELLIS W/ METAL FRAME
- 13 YARD WALL / SHORING YARD WALL, UNDER SEPARATE PERMIT
- 14 PLASTER FINISHED FIREPLACE CHIMNEY CAP
- 15 2-PIECE CLAY TILE ROOF, REDLAND CLAY TILE OLD HACIENDA SANDCAST BLEND
- 16 COPPER CLAD CLASS 'A' FIREPLACE FLUE WITH ICBO APPROVED COPPER CLAD SPARK ARRESTOR
- 17 TOP OF STREET CURB IN FOREGROUND
- 18 SLIMLINE AIR CONDITIONING CONDENSER UNIT
- 19 PERMANENT CONCRETE STAIR, UNDER SEPARATE PERMIT
- 20 GLASS SCREEN, UNDER SEPARATE PERMIT
- 21 PROPERTY LINE
- 22 SIDE YARD OR REAR YARD SETBACK LINE
- 23 GUARDRAIL/HANDRAIL PER LANDSCAPE DRAWINGS



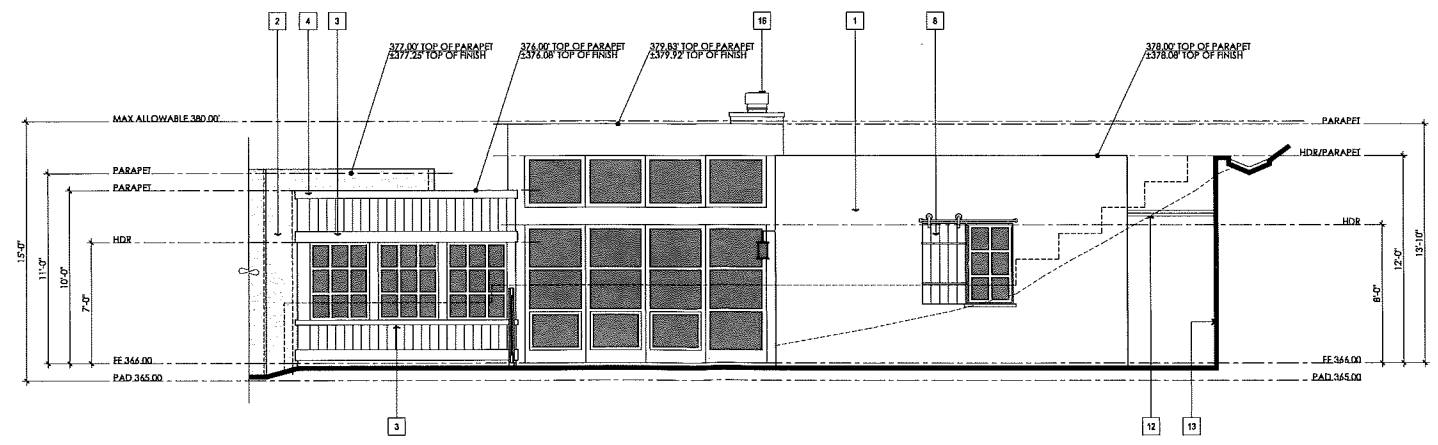
COURTARD ELEVATION

11



COURTARD ELEVATION

10



PARTIAL FRONT ELEVATION

9

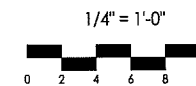
MICHAELS RESIDENCE

32561 SEA ISLAND DRIVE
DANA POINT, CA 92629



A530

09 . 21 . 17
CITY REVISIONS
08 . 16 . 17
CITY REVISIONS
06 . 12 . 17



PLANTING LEGEND

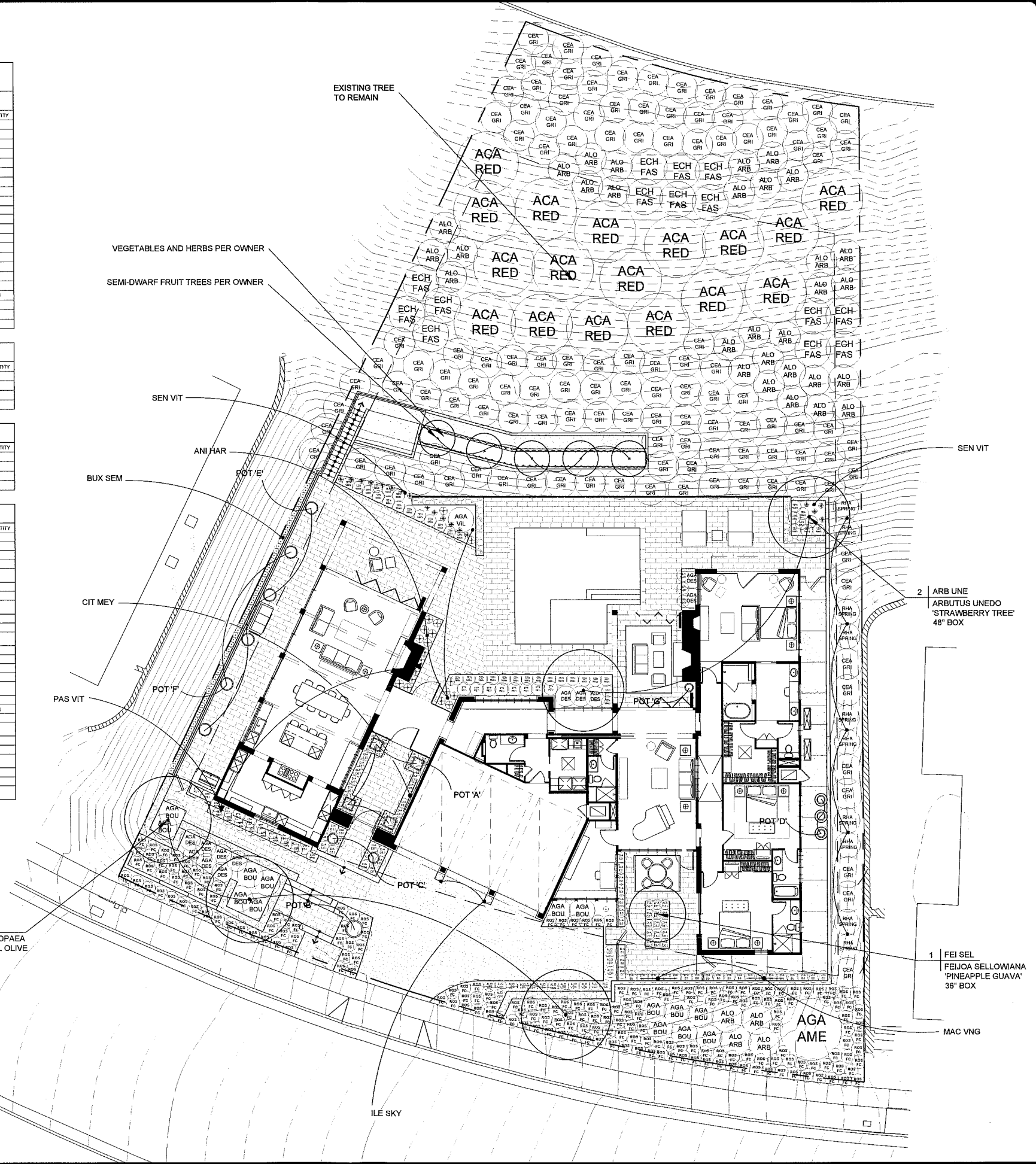
SHRUBS					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
ILE SKY	ILEX C. 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	15 GAL		2
ALO VER	ALOE VERA	ALOE VERA	5 GAL		16
EUP FIR	EUPHORBIA TRIKALII	STICKS OF FIRE	15 GAL		1
ACA BOU	AGAVE A.	BOULMILLE	5 GAL		14
ALO ARB	ALOE ARBORESCENS	TREE ALOE	15 GAL		34
ACA ME	AGAVE AMERICANA VARIETA	VARIETATED CENTURY PLANT	5 GAL		1
DIA BB	DIANELLA REVOLUTA DIBBY	BABY BLISS FLAX LILY	1 GAL		28
DIA DES	DIANELLA 'DESTINY'	VARIETATED FLAX LILY	5 GAL		24
RHA STR	RAPHIOLEPIS 'SPRINGTIME'	INDIAN HAWTHORNE	5 GAL		10
ACA RED	ACACIA REDOLENS 'LOW BOY'	GROUNDCOVER ACACIA	1 GAL		17
CEA GRI	CEANOTHUS G. 'HORIZONTALS'	CALIFORNIA LILAC	1 GAL		125
ECH FAS	ECHINUM FASTIGIUM	PRIDE OF MADEIRA	5 GAL		14
AGA VL	AGAVE VILMORINIANA	OCTOPUS AGAVE	5 GAL		1
SEN MAN	SENECIO MANDRAUSCAE	BLUE CHALK FINGERS	1 GAL		51
SEN VIT	SENECIO VITALIS	SERPENT'S BLUE CHALK FINGERS	1 GAL		18
ANI HAR	ANIGONANTHUS 'HARMONY'	YELLOW KANGAROO PAW	5 GAL		19
BUX SEM	BUXUS SEMPERVIRENS	BOXWOOD	5 GAL		85
STR REG	STRELTZIA REGINA	BIRD-O-PARADISE	15 GAL		19
ROS FC	ROSA 'FLOWER CARPET'	RED GROUNDCOVER ROSE	2 GAL		183
AGADES	AGAVE DESMETIANA VARIETA	VARIETATED DWARF AGAVE	5 GAL		12
DIA DES	DIANELLA TASMANICA DESTINY	BLUE DWARF FLAX LILY	5 GAL		28

VINES					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
MAC VNG	MACADYDANIA UNGUIS CATI	CATS CLAW VINE	5 GAL	PLANT AT 10' O.C.	2
CIT MEY	CITRUS MEYERS LEMON - ESPALIER	MEYERS LEMON ESPALIER	15 GAL		1
PAS VIT	PASSIFLORA VITIFOLIA	RED PASSION FLOWER	5 GAL		2

TREES					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
FEI SEL	FEUJCA SELLOWANA	PINEAPPLE GUAVA	36" BOX		1
ARB UNO	ARBUTUS UNEDO	STRAWBERRY TREE	48" BOX		2
OLE EUR	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	60" BOX		3

POTS					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
A	YELLOW KALCHHOE	N. C. N.	1 GAL	2 PER POT	8
	ENCELPHALARTOS VILLOSIUS	POOR MAN'S CYCAD	15 GAL	1 PER POT	4
	SAEVOA AEMULA	FAN FLOWER		2 PER POT	8
**POT COPPER NAMUR PLANTER (28" DIA. X 32" H) SEE POT IRRIGATION AND DRAINAGE DETAIL SHEET					
B	DASYLIRION LONGISSIMUM	MEXICAN GRASS TREE	15 GAL	1 PER POT	1
	**POT MILL PLANTER (28" DIA. X 31" H) SEE POT IRRIGATION AND DRAINAGE DETAIL SHEET				
C	ZAMIA FURFURACEA	CARDBOARD PALM	15 GAL	1 PER POT	2
	**POT GENT PLANTER (25 1/2" DIA. X 22" H) SEE POT IRRIGATION AND DRAINAGE DETAIL SHEET				
D	ILEX C. 'SKY PENCIL'	SKY PENCIL HOLLY	15 GAL	1 PER POT	3
	CAMPANULA PORTENSILAGIANA	BELL FLOWER	1 GAL	2 PER POT	6
	DIACHONDRA A. 'SILVER FALLS'	SILVER FALLS DICHONDRA	1 GAL	2 PER POT	6
**POT ROMAN POND (28" DIA. X 32" H) SEE POT IRRIGATION AND DRAINAGE DETAIL SHEET					
E	GARDENIA VETCHI - TREE FORM	GARDENIA TREE	5 GAL	1 PER POT	4
	SUCCULENT VARIETY PER LANDSCAPE ARCHITECT				
F	**POT BOLLER PLANTER (28" DIA. X 28 1/2" H) SEE POT IRRIGATION AND DRAINAGE DETAIL SHEET				4
	BUXUS SEMPERVIRENS	BOXWOOD BALL TOPIARY	5 GAL	1 PER POT	2
G	**POT BOLLER PLANTER (28" DIA. X 28 1/2" H) SEE POT IRRIGATION AND DRAINAGE DETAIL SHEET				2
	ASPIDISTRA E. VARIETATA	VARIETATED CAST-IRON PLANT	X GAL	1 PER POT	1
**POT ROMAN POND (28" DIA. X 32" H) SEE POT IRRIGATION AND DRAINAGE DETAIL SHEET					

** AUTHENTIC PROVENANCE, WWW.AUTHENTICPROVENANCE.COM
 * STONE YARD INC., WWW.STONEYARDINC.COM



Zucker Design Associates expressly reserves its common law copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party, without first obtaining the written permission and consent of Zucker Design Associates. In the event of unauthorized use of these plans by any third party, the client agrees to hold harmless, indemnify and defend Zucker Design Associates from any claims arising from such unauthorized reuse.

PLANTING PLAN

Michael's Residence

32561 Sea Island Drive
Dana Point, California

ZUCKER DESIGN ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE

2691 Paseo Drive
Dana Point, CA 92629
Phone: 949.445.2691
Fax: 949.445.2692
email: zuckerdesign@zuckerdesign.com
website: www.zuckerdesign.com

DATE	01/12/2017
SCALE	1/8" = 1'-0"
JOB NO.	17.06
SHEET	P-1.0

1 OF 1 SHEETS