

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JULY 10, 2017

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
SEAN NICHOLAS, SENIOR PLANNER

SUBJECT: CONDITIONAL USE PERMIT CUP17-0006 A REQUEST TO REPLACE A NON-CONFORMING ADMINISTRATIVE OFFICE USE (REAL ESTATE OFFICE) WITH AN ALTERNATIVE NON-CONFORMING ADMINISTRATIVE OFFICE USE (BANK) AT 24532 DEL PRADO AVENUE IN LANTERN DISTRICT/TOWN CENTER

RECOMMENDATION: That the Planning Commission adopt the attached draft resolution approving Conditional Use Permit CUP17-0006 (Action Document 1).

OWNER/APPLICANT: Muller Lighthouse, LLC. (Owner)

OWNER'S REPRESENTATIVE: Stan Andrade, Andrade Architects

REQUEST: A request to replace a non-conforming administrative office use (real estate office) with an alternative non-conforming administrative office use (bank) at 24532 Del Prado Avenue in Lantern District/Town Center.

LOCATION: 24532 Del Prado Avenue (APN: 682-191-03)

NOTICE: Public Hearing notices were mailed to property owners within 500 feet of the site on June 29, 2017. The same notice was published in the Dana Point Times on June 30, 2017 and notices were posted on June 30, 2017, at Dana Point City Hall, the Dana Point post office, the Capistrano Beach post office, and the Dana Point Library. The public hearing notices, drafts of the staff report and resolution, and plans were provided on the City of Dana Point's website two (2) weeks prior to the public hearing for public review.

ITEM #4

ENVIRONMENTAL: The project is Categorically Exempt from the provisions set forth in the California Environmental Quality Act (CEQA) per Section 15301 (Class 1 – Existing Facilities).

ISSUES:

1. Is the proposal consistent with the City's adopted General Plan/Local Coastal Program/Town Center Plan?
2. Is the proposal compatible with and an enhancement to the surrounding neighborhood and City?
3. Does the project satisfy all the findings required pursuant to the City's Zoning Code for approving a Conditional Use Permit?

BACKGROUND: The project site was developed as a multi-tenant commercial building in 1979. Originally, the first floor consisted of two suites which totaled 1,978 square feet, separated by a driveway providing access from Del Prado to the parking at the rear of the site. The second floor is 1,666 square feet and third floor is 525 square feet. City records and information provided by the property owner indicate the use of the site has been administrative office. In 2008, the Town Center Plan was adopted which prohibited administrative office uses at the street level within the first 40 feet of Del Prado and Pacific Coast Highway between Blue and Golden Lanterns. Consequently, administrative office use is a legal non-conforming use at the subject site. Additionally, the Town Center Plan prohibited driveways on Del Prado and Pacific Coast Highway when alley access is available. As a result of the streetscape improvements installed by the City, the driveway that previously existed was removed and the property can be accessed only via the alley.

On January 26, 2017, a Minor Site Development Permit and Minor Conditional Use Permit was approved to allow for an addition of 764 square feet to fill in the area that previously accommodated the driveway and establish a restaurant use. The property owners have since moved forward with the 764 square foot addition to create an updated commercial shell on the first floor. The property owners have decided not to move forward with a restaurant use and instead are requesting to continue the non-conforming administrative office use at the site.

DISCUSSION: Pursuant to Dana Point Zoning Code (DPZC) section 9.63.080, Substitution of a Non-Conforming Use, the Planning Commission can approve the replacement of a non-conforming use with another non-conforming use through the approval of a Conditional Use Permit, as long as the use is determined not to be detrimental to public welfare or surrounding properties. The current use of the facility is administrative office use, real estate

office, and is proposed to be a bank, which is also classified as administrative office in the Town Center Plan (both non-conforming uses).

CONDITIONAL USE PERMIT:

The applicant is in discussions with Union Bank, currently located at 34177 Pacific Coast Highway, to relocate to the subject property. The current Union Bank site is in the process of receiving building permits for demolition and development of a new mixed-use development, Vista Del Mar. As previously noted in this staff report, a non-conforming use can replace another non-conforming use through the approval of a Conditional Use Permit by the Planning Commission. Therefore, the applicant is requesting such consideration. The primary finding necessary for approval of a Conditional Use Permit to replace a non-conforming use is that it cannot be detrimental to the site or the surrounding area.

The existing Union Bank has hours of operation of Monday through Thursday 9:00 am to 5:00 pm, Friday 9:00 am to 6:00 pm, Saturday 9:00 am to 1:00 pm, and closed Sunday. Similar hours are anticipated for this new location. The required parking is calculated as follows:

Table 1: Parking Requirements

Use	Area in Square Feet	Parking Ratio	Required Parking Spaces
Bank	2,742	1 space/250 sq. ft.	11
Office	2,191	1 space/300 sq. ft.	7
Total Required Parking			18
Total Parking Provided			18

The applicant has provided 18 spaces onsite in a traditional parking configuration, (i.e. no tandem or shared parking utilized to meet the parking requirements). A new trash enclosure is proposed at the rear alley and is setback five (5) feet from the alley and does not impact the parking proposed onsite.

Staff also evaluated the project with the understanding that Mixed-Use Districts benefit from a mix of uses with various hours of operation that have alternating peak demands which enables an opportunity for shared parking. The hours of operation of the bank in the District will add daytime population during the day and early evening. Due to the early evening closure of the bank in the Lantern District, there is potential to work with the property owner to lease the parking during the hours of closure to add shared public parking in the District.

Condition of approval 19 has been added for the City and property owner to work together to potentially lease the parking lot during hours of closure for public use.

To ensure that the future bank tenant improvements do not negatively impact the residents across the alley way to the rear, a condition of approval has been added that any proposed ATM facilities shall be located on Del Prado or indoors. Additionally, any proposed signs at the rear of the building shall be halo or illuminated by externally down lit decorative fixtures to avoid light trespass. All illumination associated with signs for the bank use at the rear of the property shall be turned off at closing.

Sections 9.65.060 of the DPZC stipulates a minimum of three (3) findings to approve a Conditional Use Permit for the replacement of a non-conforming use for another non-conforming use:

- 1) That the proposed conditional use is consistent with the General Plan.
- 2) That the nature, condition, and development of adjacent uses, buildings, and structures have been considered, and the proposed conditional use will not adversely affect or be materially detrimental to the adjacent uses, buildings, or structures.
- 3) That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other land use development features prescribed in this Code and required by the Commission or Council in order to integrate the use with existing and planned uses in the vicinity.

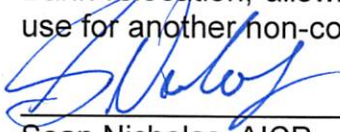
The required findings are articulated in the attached draft Resolution identified as Action Document 1.

CORRESPONDENCE:

Staff has not received any correspondence on the proposed project.

CONCLUSION: Based on the above analysis, staff has determined that the proposed project will not be detrimental to the surrounding neighborhood due to the fact that the non-conforming use is less intensive compared to some of the uses allowed by right. The additional conditions of approval associated with signage and ATMs will reduce light and noise impacts and the potential for shared parking may provide better utilization of the existing parking supply. As conditioned, staff believes that all of the findings can be made to support the proposed Conditional Use Permit. Staff recommends that the Planning

Commission adopt a resolution approving Conditional Use Permit CUP17-0006, Union Bank relocation, allowing for the replacement of a non-conforming administrative office use for another non-conforming administrative office use.



Sean Nicholas, AICP
Senior Planner



Ursula Luna-Reynosa
Director of Community Development

ACTION DOCUMENT:

1. Draft Planning Commission Resolution 17-07-10-XX

SUPPORTING DOCUMENTS:

2. Vicinity Map
3. Letter from the applicant
4. CEQA Exemption
5. Proposed plans

RESOLUTION NO. 17-07-10-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CUP17-0006 TO REPLACE A NON-CONFORMING USE WITH AN ALTERNATIVE NON-CONFORMING USE AT 24532 DEL PRADO AVENUE

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Muller Lighthouse, LLC (the "Owner"), owns the real property commonly referred to as 24532 Del Prado Avenue (APN: 682-191-03) (the "Property"); and

WHEREAS, the Owners caused to be filed a verified application for a Conditional Use Permit to replace an existing non-conforming use (real estate office) with another non-conforming use (bank); and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, the Planning Commission did, on the 10th day of July, 2017, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, the proposed project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA) in that the project involves locating a similar non-conforming use as the existing use on the first floor of an existing multi-tenant commercial building. No additional square footage is proposed except the construction of a small trash enclosure five feet from the alley; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Conditional Use Permit CUP17-0006.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A) That the above recitations are true and correct and incorporated herein by reference;

Findings:

- B) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves a Conditional Use Permit CUP17-0006, subject to conditions:

- 1) That the proposed conditional use is consistent with the General Plan in that, the project site is an existing multi-

tenant commercial building with a history of administrative office uses, and an administrative office use (bank) will help achieve Land Use Element Goal 6 to achieve the development of Town Center as a primary business district in the City. Additionally, Land Use Element Policy 6.1 requires a diversity of uses in the Town Center area.

- 2) That the nature, condition, and development of adjacent uses, buildings, and structures have been considered, and the proposed conditional use will not adversely affect or be materially detrimental to the adjacent uses, buildings, or structures in that, the proposed development will not be detrimental to the surrounding area because having a mix of uses is beneficial in a mixed-use district. The proposed administrative office use will have different operational hours from adjacent uses, and will add to the overall Town Center pedestrian environment. The proposed parking to accommodate the administrative office use (bank) is a traditional parking configuration and provides all of the required parking onsite. The project has been conditioned to ensure there will be no impacts from ATMs or signs on adjacent residential uses.
- 3) That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other land use development features prescribed in this Code and required by the Commission or Council in order to integrate the use with existing and planned uses in the vicinity. in that, the proposed project will result in a use that meets all applicable development standards including parking. The site has approval to utilize a tandem parking configuration, but with the mix of uses now proposed, a more traditional parking design will be utilized onsite.

C. General:

1. Approval of this application is to allow for the replacement of a non-conforming administrative office use (real estate office) with another non-conforming administrative office use (bank) to relocate Union Bank from its current location at the corner of Pacific Coast Highway and Golden Lantern to the subject project site at 24532 Del Prado Avenue. Subsequent submittals for this project shall be in substantial

compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan/Local Coastal Program, Town Center Plan, and the Dana Point Zoning Code.

2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, they may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Owner or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Owner's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Owner or any successor-in-interest shall further protect,

defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Owner or the Owner's agents, employees, or contractors. Owner's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Owner shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Owner, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

6. The Owner and Owner's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety and Engineering Division for plan check for Building and Grading Permits.
8. The Owner and Owner's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. The construction site shall be posted with signage indicating that construction shall not commence before 7 a.m. and must cease by 8 p.m., Monday through Saturday, and no construction activity is permitted on Sundays or Federal holidays.
10. The project shall meet all water quality requirements.
11. Any ATM facilities proposed associated with the bank shall be located either on Del Prado or inside the building. Any illumination from the ATM shall be screened to not negatively impact adjacent uses, including the residences beyond the rear alley.
12. Any future signs associated with the project that may be located on the rear of the building facing towards the alley shall be either halo

illuminated or externally illuminated with light directed towards the ground. No sign shall be internally illuminated to avoid light impacts on surrounding uses and sensitive receptors. Additionally, any illumination of signs facing the rear alley shall be turned off daily once the bank use ceases operation.

13. All curb, gutter, and sidewalk damaged during construction shall be removed and replaced along the entire frontage of the subject property per the City Engineer.
14. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
15. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
16. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
17. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
18. Prior to the commencement of any work within the public right-of-way, the applicant shall apply and be approved for an encroachment permit. As a part of the encroachment permit, an indemnity agreement may also be required for improvements left in the right-of-way.
19. Prior to certificate of occupancy, the property owner shall work with the City to participate in the City's Lantern District/Town Center Shared Parking Program by entering into a lease agreement with the City to allow the general public to park in the parking lot during hours that the bank use is not in operation.

D. Prior to Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:

20. Verification of all conditions of approval is required by all City Departments.
21. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
22. Public Works final approval will be required for all permits.
23. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
24. Building(s) shall comply with the 2016 editions of the Building Code and all local amendments.
25. Verification of all conditions of approval is required by all City Departments.
26. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 10th day of July, 2017, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

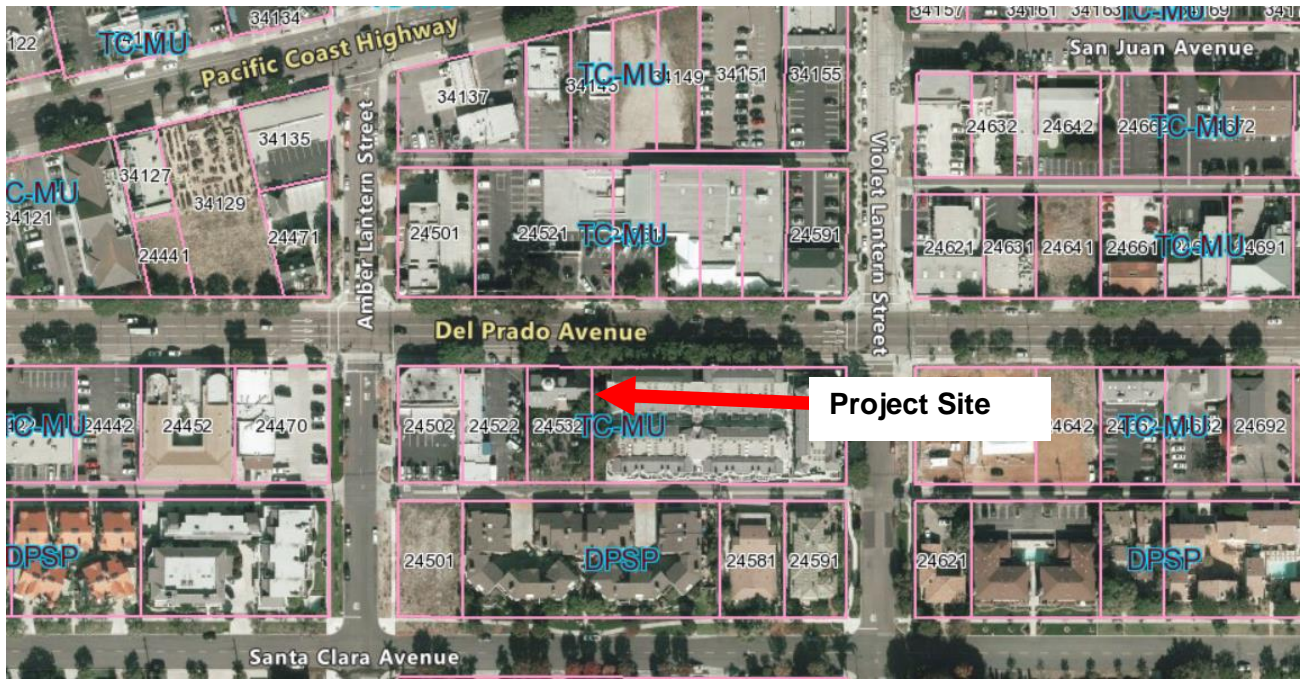
Eric Nelson, Chairman
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Director of Community Development

DRAFT

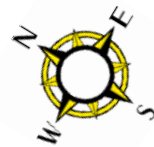
Vicinity Map



Project: Conditional Use Permit CUP17-0006

Applicant: Stan Andrade, Andrade Architects

Location: 24532 Del Prado Avenue



Supporting Document #2

BRANDON R. MULLER
MULLER-LIGHTHOUSE, LLC

April 27th, 2017

Attn: Sean Nicholas – City of Dana Point

RE: Use of 24532 Del Prado (“The Lighthouse Building”)

The “Lighthouse” has been used as an administrative office building for many years. The most recent tenant in the building that occupied the 1st and 2nd floors, which vacated the building just prior to our acquisition in November 2015, was The Armory Ad Agency & Production Company. Upon our purchase of the building, we continued to use the building for our own office use, which is that of a real estate investment company. We continue to hold business meetings in the building. We are now seeking to lease the ground floor of the building to Union Bank.

Please let me know if you have any questions regarding this matter.

Thank you,

A handwritten signature in black ink that reads "Brandon Muller". The signature is written in a cursive style and is followed by a long horizontal line that extends to the right.

Brandon Muller – Owner.

SUPPORTING DOCUMENT #3

**CITY OF DANA POINT
NOTICE OF EXEMPTION**

DATE: July10, 2017

TO: County of Orange
County Clerk/Recorder
12 Civic Center Plaza, Room 101
Santa Ana, California 92701
Attn: EIR Clerk

FROM: City of Dana Point
Community Development Department
33282 Golden Lantern, Suite 212
Dana Point, California 92629
Tel: (949) 248-3560

PROJECT TITLE: Conditional Use Permit CUP17-0006

PROJECT LOCATION: 24532 Del Prado Avenue (APN# 682-191-03)

DESCRIPTION OF NATURE, PURPOSE, AND BENEFICIARIES OF PROJECT: The proposed project is a request to replace a non-conforming administrative office use (real estate office) with an alternative non-conforming administrative office use (bank) to relocate the existing Union Bank (currently located at the corner of Pacific Coast Highway and Golden Lantern), to the first floor of an existing multi-tenant commercial building at 24532 Del Prado Avenue in Town Center.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of Dana Point

NAME OF APPLICANT: Stan Andrade, Andrade Architects, Inc., 2880 South Coast Highway, Laguna Beach, CA, 92651. (949) 715-7474

APPLICANT ADDRESS: 2880 South Coast Highway, Laguna Beach, CA, 92651

EXEMPT STATUS: (Check One)

Statutory Exemption:

- Section:
 Ministerial [Section 15073]:
 Declared Emergency [(Section 15071(a))]
 Emergency Project [Section 15071(b) and (c)]

Categorical Exemption:

Class: 1 Section: 15301

REASON WHY PROJECT IS EXEMPT: This project is a Section 15301 (Class 1 – Existing Facilities) categorically exempt from the provisions of the California Environmental Quality Act in that the project involves the like for like change out of non-conforming Administrative Office Use (real estate office to bank) to an existing multi-tenant commercial building, and the development meets all parking and development standard requirements.

Lead Agency Contact Person:

Sean Nicholas, AICP, Senior Planner
City of Dana Point
32282 Golden Lantern
Dana Point, CA, 92629

SUPPORTING DOCUMENT #4

Signature: _____ Date: _____ Title: _____
 Signed by Lead Agency Signed by Applicant

L I G H T H O U S E

24532 DEL PRADO AVENUE, DANA POINT, CA 92629

ANDRADE ARCHITECTS, INC.
 2880 SOUTH COAST HIGHWAY
 LAGUNA BEACH, CA 92651
 PHONE: 949.762.7474
 FAX: 949.762.7475
 ANDRADEARCHITECTS.COM

LIGHTHOUSE
 24532 DEL PRADO AVE.
 DANA POINT, CA. 92629

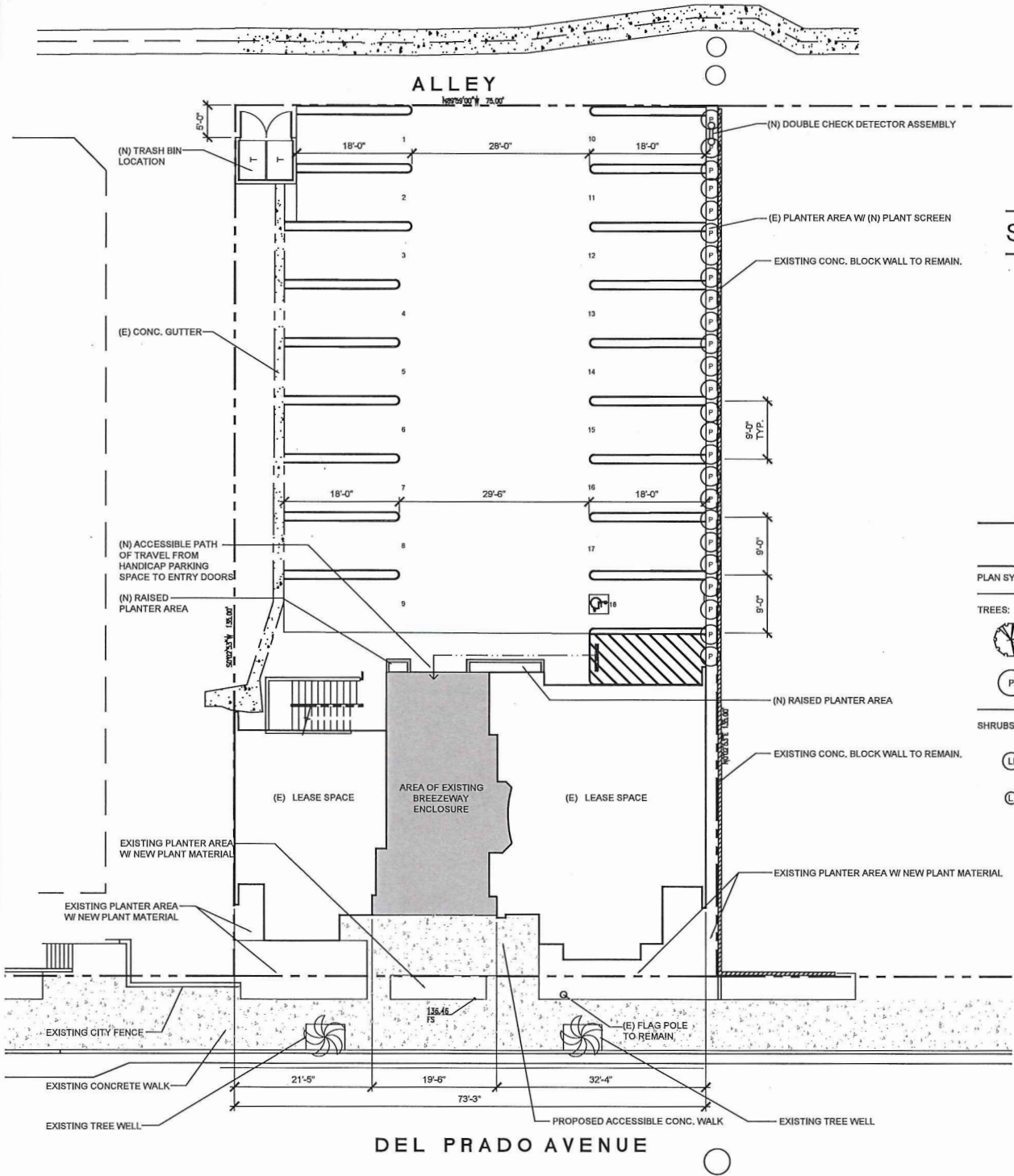
SITE PLAN
 PROJECT DATA

REVISIONS



DRAWN BY: MS/SV
 CHECKED BY: SA
 DATE: 08/08/17
 JOB #: 1604
 SHEET:

A.001



SITE PLAN NOTES

1. A MAINTENANCE AND REMOVAL AGREEMENT WITH THE CITY WILL BE REQUIRED FOR ALL PRIVATELY OWNED AND MAINTAINED ITEMS WITHIN THE PUBLIC RIGHT OF WAY.
2. OFF SITE DRAINAGE PATTERN TO BE CORRECTED WITH NEW PARKING ARRANGEMENT. - WILL BE DETERMINED IN CONSTRUCTION DOCUMENT PHASE.

PROJECT DIRECTORY

PROPERTY OWNER:
 STEPHEN MULLER
 24532 DEL PRADO AVE.
 DANA POINT CA 92629

ARCHITECT:
 ANDRADE ARCHITECTS, INC.
 2880 SOUTH COAST HIGHWAY
 LAGUNA BEACH, CA 92651
 P: (949) 715-7474
 F: (949) 715-7475
 PLANS SIGNED BY:
 STANLEY ANDRADE

PROJECT DESCRIPTION

CONDITIONAL USE PERMIT TO RE-LOCATE UNION BANK TO 1ST FLOOR OF EXISTING COMMERCIAL BUILDING.

SOUTH COAST WATER DISTRICT NOTES

1. ALL NEW SEWER HOUSE CONNECTIONS AND FACILITIES, WATER MAINS, SERVICES, METERS, BACKFLOW DEVICES, LATERALS, FIRE HYDRANTS, AND APPURTENANCES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SCWD STANDARD SPECIFICATIONS.
2. THE OWNER/DEVELOPER MUST USE A SCWD PRE-QUALIFIED CONTRACTOR FOR THE CONSTRUCTION OF ALL SEWER AND WATER FACILITIES
3. IF A LARGE METER (GREATER THAN 2-INCH DIAMETER) IS REQUIRED TO SERVE THE DOMESTIC DEMAND, IT SHALL BE INSTALLED ABOVE GROUND ON PRIVATE PROPERTY. ACCESS MUST BE PROVIDED TO THE METER AND SERVICE LATERAL FOR MAINTENANCE AND REPAIRS. THE OWNER SHALL DEDICATE AN EASEMENT TO SCWD, PER SCWD'S STANDARDS, FOR THE METER AND SERVICE LATERAL.
4. ANY UNUSED EXISTING SERVICE CONNECTIONS MUST BE CAPPED AND ABANDONED AT THE MAIN PER SCWD STANDARDS.

CODE COMPLIANCE

ALL WORK SHALL CONFORM TO THE:
 2016 CALIFORNIA BUILDING CODE (CBC)
 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
 2016 CALIFORNIA MECHANICAL CODE (CMC)
 2016 CALIFORNIA ELECTRICAL CODE (CEC)
 2016 CALIFORNIA PLUMBING CODE (CPC)
 2016 CALIFORNIA GREEN BUILDING STANDARDS (CGBS)
 2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES)

PROJECT DATA

APN: 882-191-03
 LOT: 3
 TRACT: 13626
 ZONING: TOWN CENTER MIXED USE (TC-MU)
 OCCUPANCY: A2/B
 CONSTRUCTION TYPE: VB NON-SPRINKLERED

SQUARE FOOTAGES

	EXISTING	PROPOSED	TOTAL
FIRST FLOOR PLAN:	1,978 S.F.	764 S.F.	2,742 S.F.
SECOND FLOOR PLAN:	1,655 S.F.	0 S.F.	1,655 S.F.
THIRD FLOOR PLAN:	525 S.F.	0 S.F.	525 S.F.
TOTAL:	4,158 S.F.	764 S.F.	4,922 S.F.

LOT AREA:	10,120 S.F.	0 S.F.	10,120 S.F.
BUILDING AREA:	1,978 S.F.	764 S.F.	2,742 S.F.
BUILDING LOT COVERAGE:	20%	8%	28%
LANDSCAPE AREA:	1855 S.F.	0 S.F.	1855 S.F.
LANDSCAPE LOT COVERAGE:	18%	0%	18%

TYPICAL PLANTING LEGEND

PLAN SYMBOL:	BOTANICAL NAME:	COMMON NAME:	CONTAINER:	HEIGHT/WIDTH:
TREES:				
(T)	ACER PALMATUM 'BLOODGOOD'	JAPANESE MAPLE 'CRIMSON QUEEN'	24" BOX	8' H X 5' W
(P)	PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN'	SILVER SHEEN KOHUHU	5 GAL	10' H X 4' W
SHRUBS:				
(U)	LIGUSTRUM OVALIFOLIUM	CALIFORNIA PRIVET	1 GAL	3' H X 3' W
(C)	LIRIOPE MUSCARI 'SAMANTHA'	LILY TURF	1 GAL	18" H X 18" W

GENERAL NOTES

1. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
2. FINISH GRADE WITHIN 10' OF THE NEW STRUCTURE/ ADDITION SHALL BE SLOPED A MINIMUM OF 5% FOR FINISH GRADE AND 2% FOR FINISHED SURFACE AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.

PARKING ANALYSIS

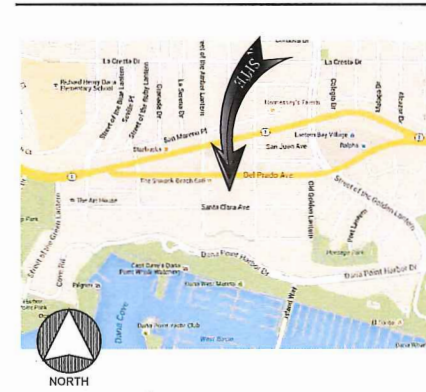
EXISTING	4,169 S.F. / 300 S.F. PER SPACE = 13.89
PROPOSED	
1ST FLOOR (BANK)	2,742 S.F. / 250 S.F. PER SPACE = 10.96
2ND & 3RD FLOOR (GENERAL OFFICE)	2,191 S.F. / 300 S.F. PER SPACE = 7.30
TOTAL REQUIRED	= 18.26 = 18 SPACES
TOTAL PROVIDED	= 17 SPACES
1 ACCESSIBILITY	= 1 SPACES
TOTAL	= 18 SPACES

SHEET INDEX

ARCHITECTURAL:

A.001	PROJECT DATA SITE PLAN
A.100	EXISTING FLOOR PLANS & ELEVATIONS
A.101	DEMO/PROPOSED FIRST FLOOR PLAN
A.102	DEMO/PROPOSED SECOND FLOOR PLAN
A.103	DEMO/PROPOSED THIRD FLOOR PLAN
A.104	PROPOSED ROOF PLAN
A.201	EXTERIOR ELEVATIONS
A.202	EXTERIOR ELEVATIONS
A.401	FIRST FLOOR DEMOLITION CALCULATIONS
A.402	SECOND FLOOR DEMOLITION CALCULATIONS
A.403	THIRD FLOOR DEMOLITION CALCULATIONS

VICINITY MAP



SITE PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

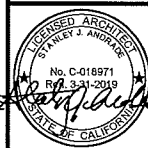
ANDRADE ARCHITECTS, INC.
 280 SOUTH COAST HIGHWAY
 LAGUNA BEACH, CA 92651
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LIGHTHOUSE
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 DANA POINT, CA. 92629

DEMOLITION / PROPOSED
 FIRST FLOOR PLAN

REVISIONS

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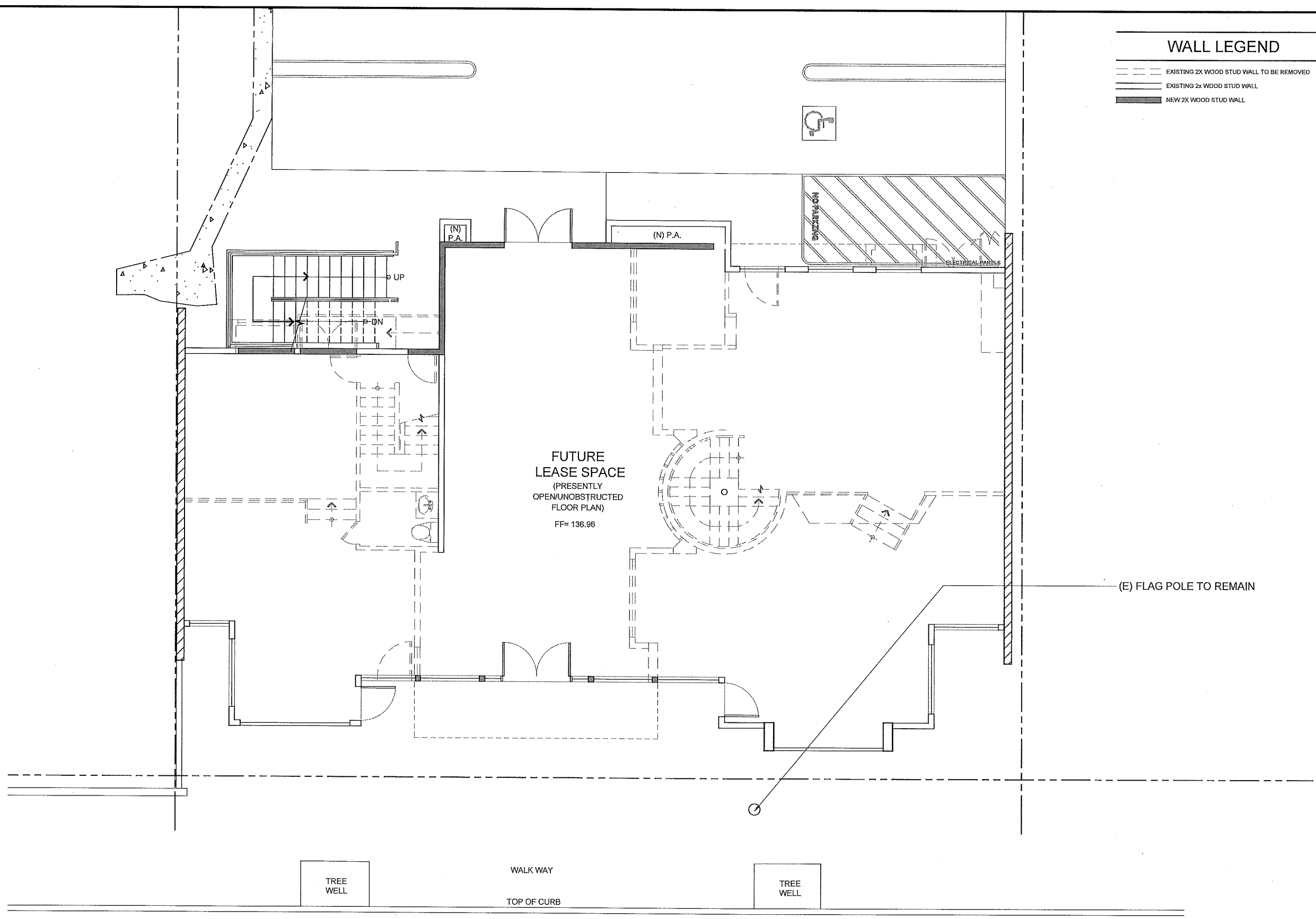


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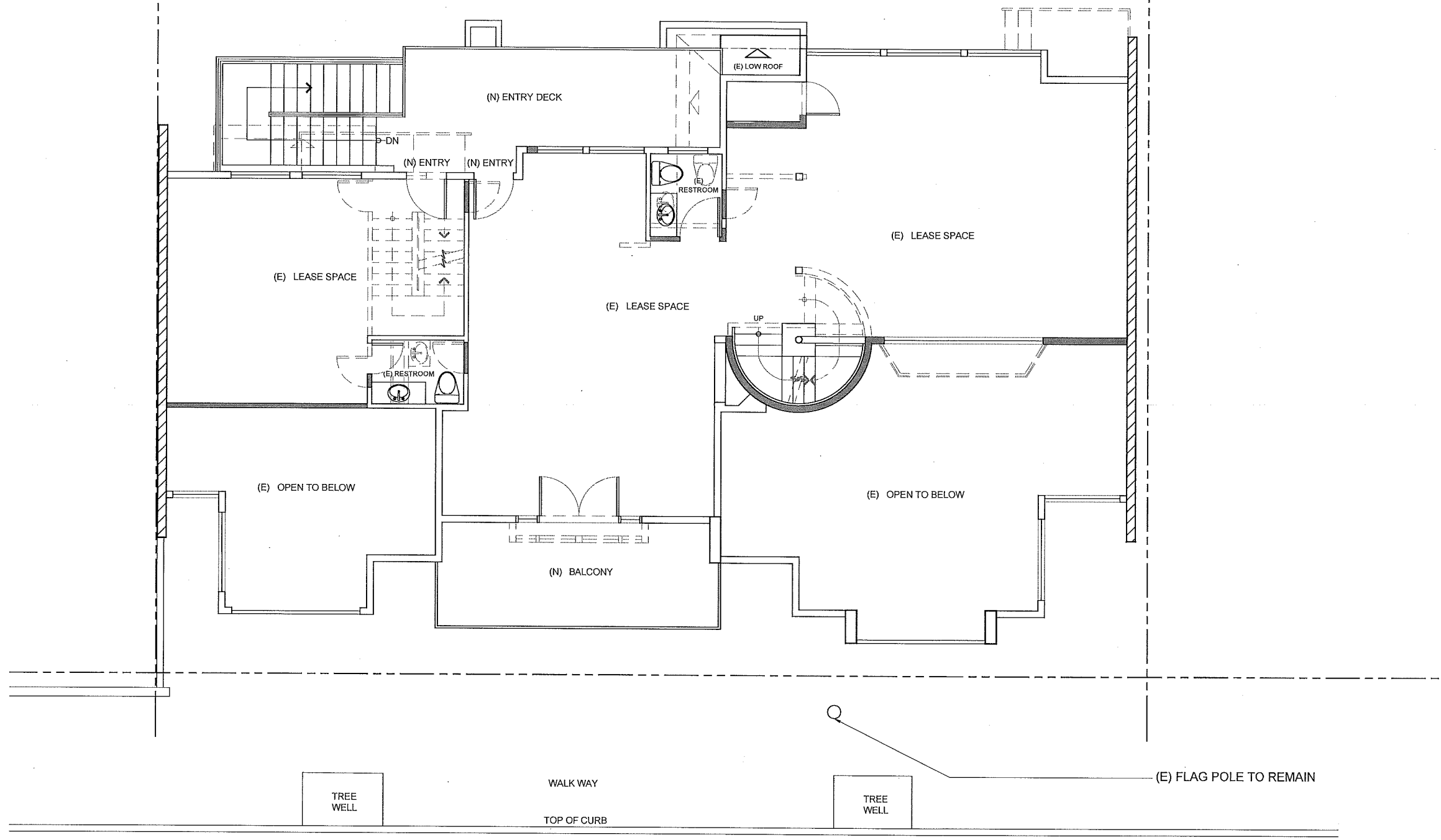
WALL LEGEND

	EXISTING 2x WOOD STUD WALL TO BE REMOVED
	EXISTING 2x WOOD STUD WALL
	NEW 2x WOOD STUD WALL



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

WALL LEGEND	
	EXISTING 2x WOOD STUD WALL TO BE REMOVED
	EXISTING 2x WOOD STUD WALL
	NEW 2x WOOD STUD WALL



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



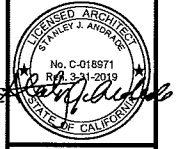
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SECOND FLOOR PLAN

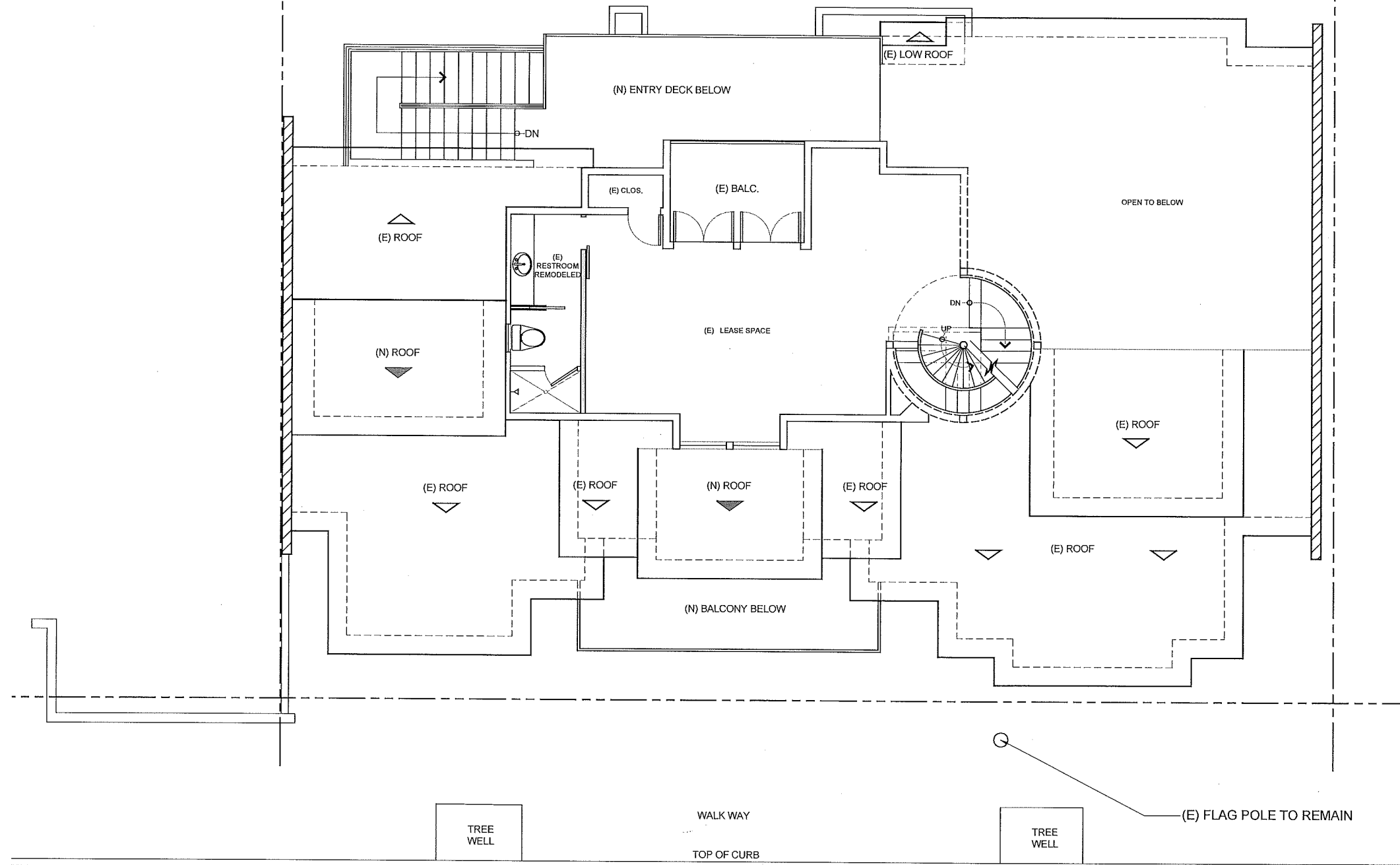
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WALL LEGEND

-  EXISTING 2x WOOD STUD WALL TO BE REMOVED
-  EXISTING 2x WOOD STUD WALL
-  NEW 2x WOOD STUD WALL



PROPOSED THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



NORTH

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DEMOLITION / PROPOSED
 THIRD FLOOR PLAN

REVISIONS
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<div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; border: 1px solid black; margin-right: 5px;"></div> <div style="flex-grow: 1;"></div> </div>
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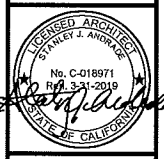
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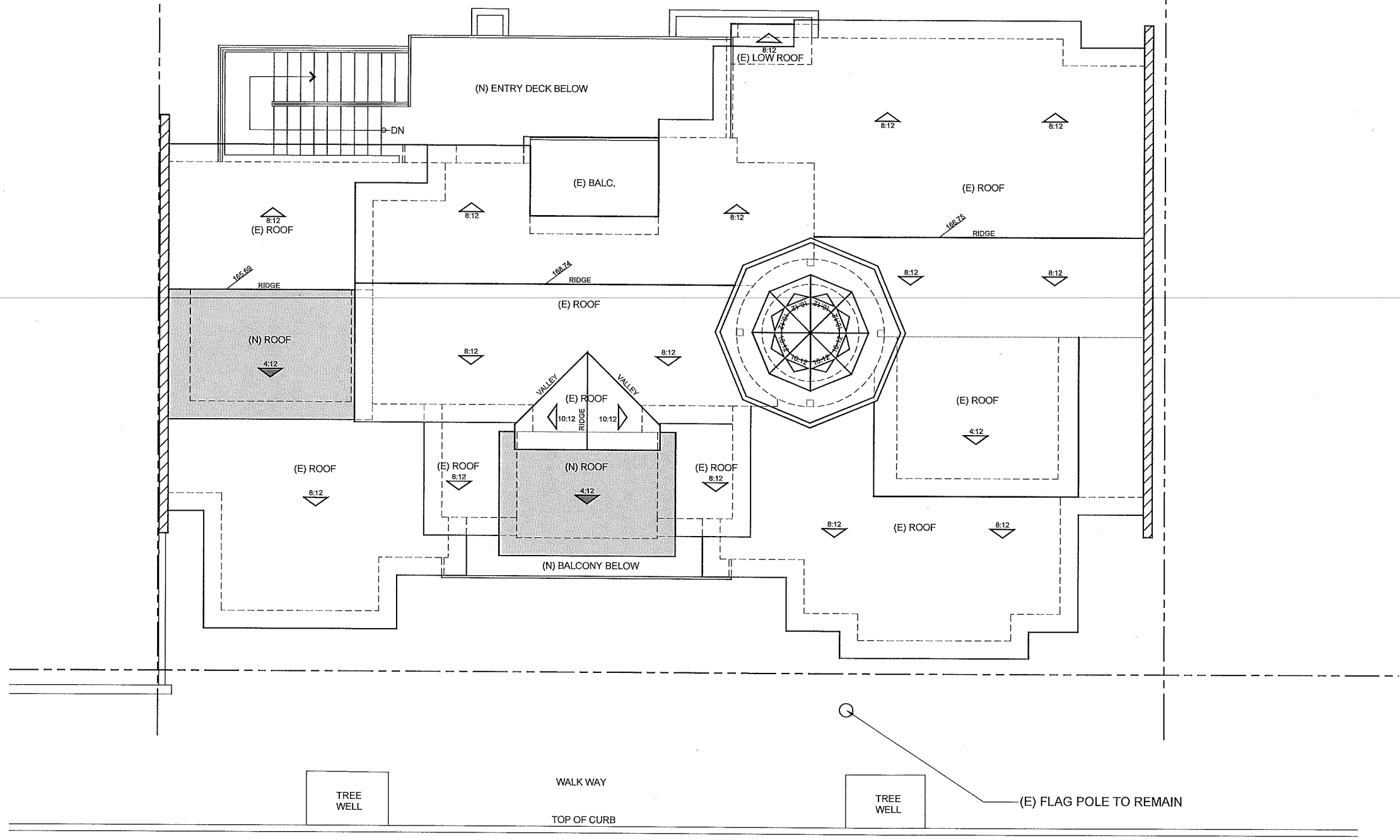
PROPOSED ROOF R PLAN

REVISIONS	
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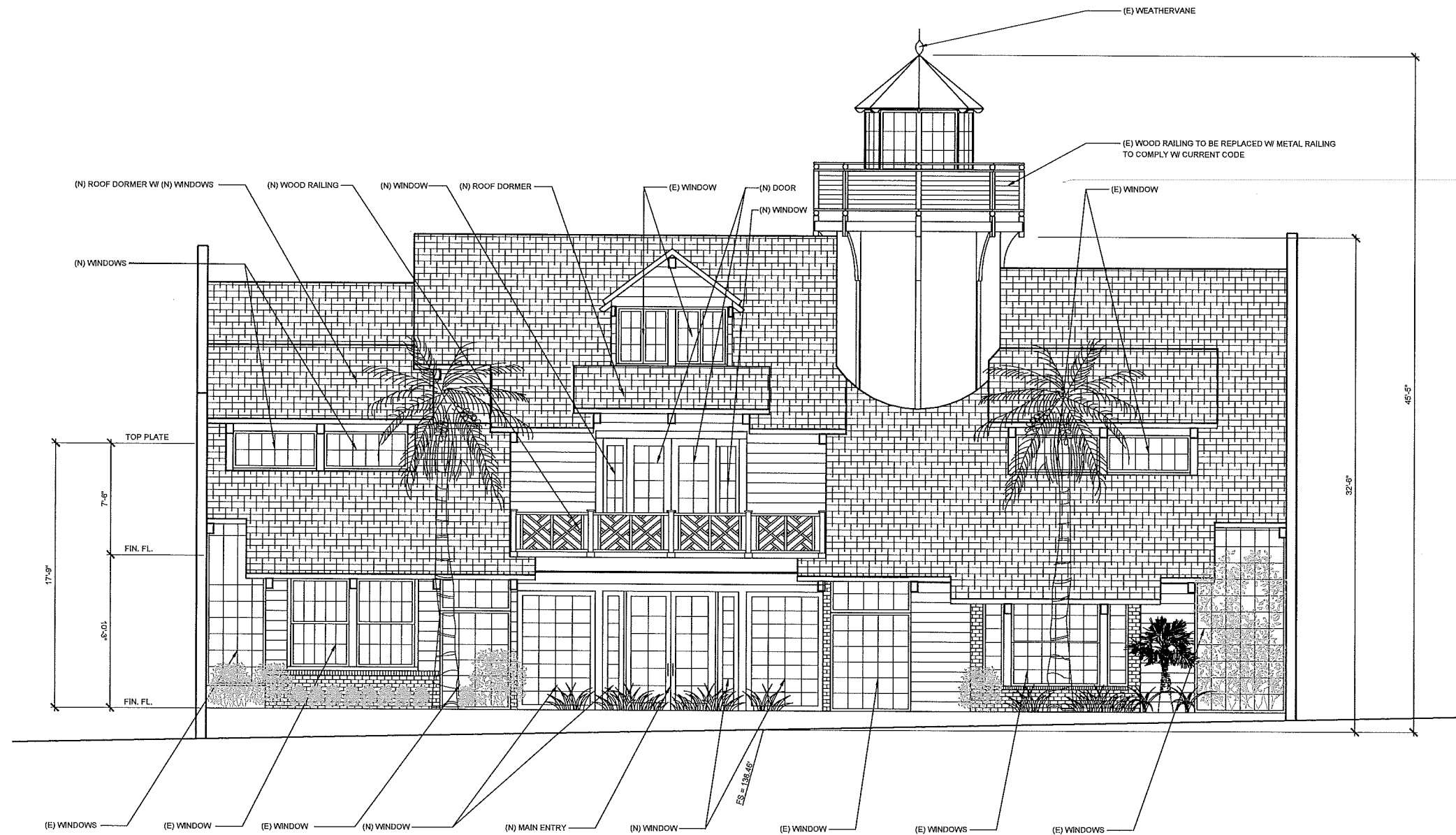


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PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



**PROPOSED
FRONT (NORTH) ELEVATION**

SCALE: 1/4" = 1'-0"

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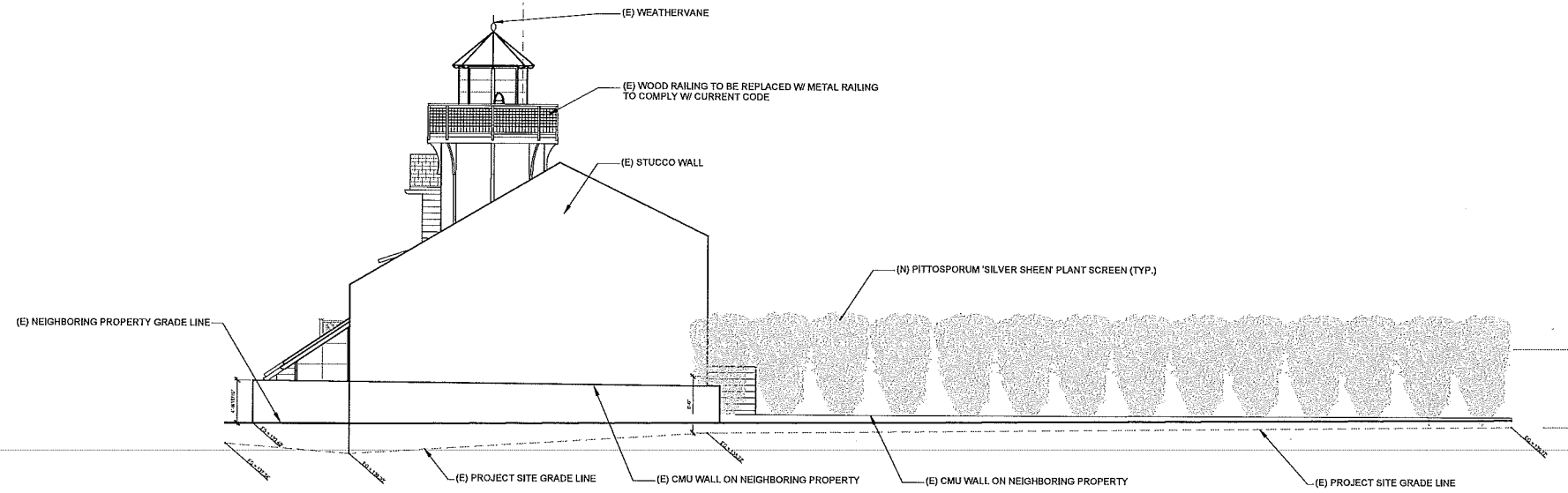
EXTERIOR ELEVATIONS

REVISIONS

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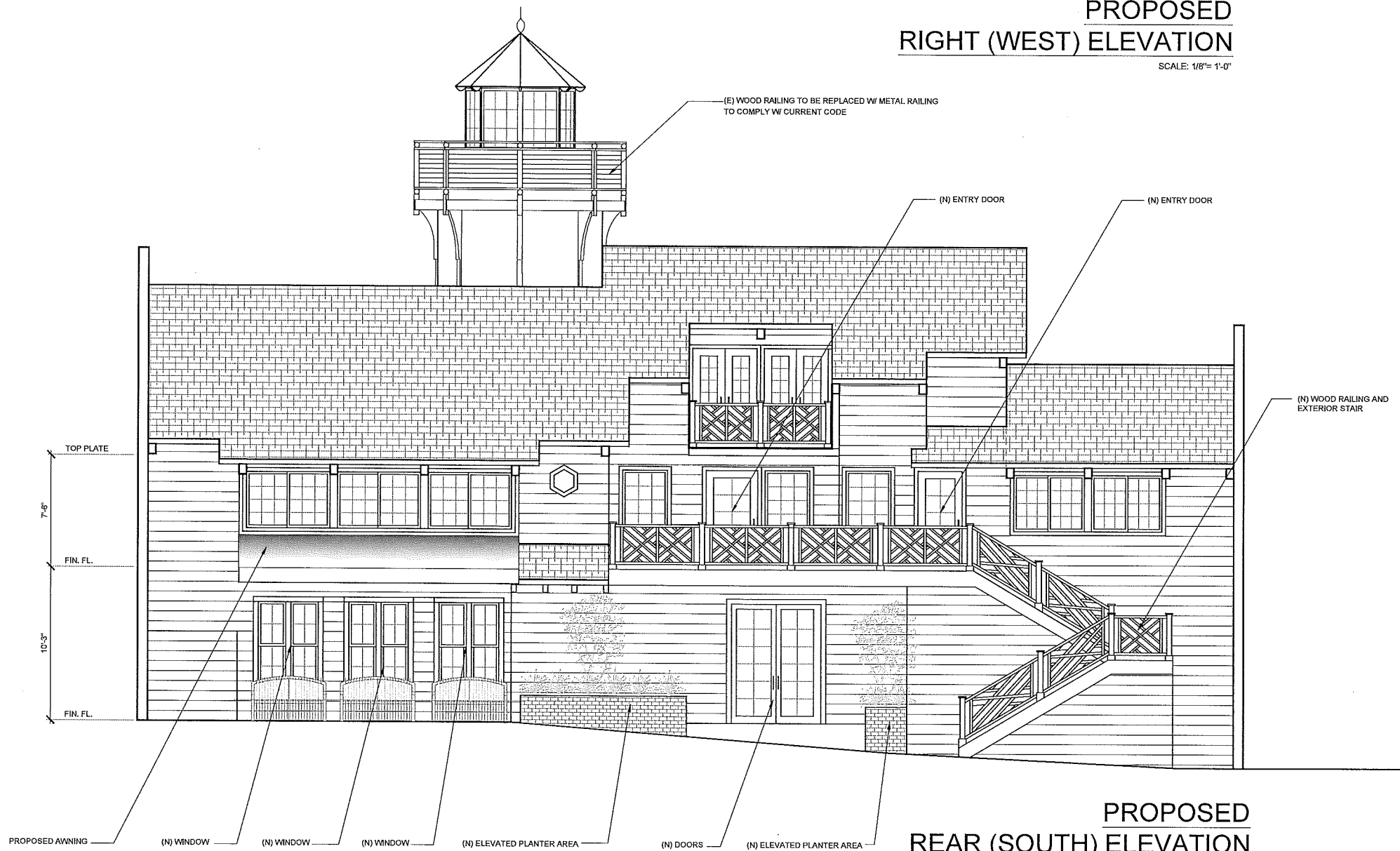
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**PROPOSED
 RIGHT (WEST) ELEVATION**

SCALE: 1/8"= 1'-0"



**PROPOSED
 REAR (SOUTH) ELEVATION**

SCALE: 1/4"= 1'-0"

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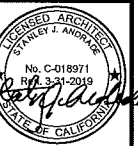
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EXTERIOR ELEVATIONS

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