

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: FEBRUARY 27, 2017

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
SEAN NICHOLAS, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP16-0017 AND MINOR SITE DEVELOPMENT PERMIT SDP17-0001(M) FOR AN ADDITION AND REMODEL GREATER THAN 10% OF THE EXISTING SQUARE FOOTAGE FOR A LEGAL NON-CONFORMING SINGLE-FAMILY RESIDENCE LOCATED AT 34791 DOHENY PLACE WITHIN THE COASTAL ZONE

RECOMMENDATION: That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP16-0017 and Minor Site Development Permit SDP17-0001(M) (Action Document 1).

OWNER/APPLICANT: Paul and Lynn Heckler

OWNER'S REPRESENTATIVE: Rob Williams, Studio 6 Architects

REQUEST: A request to add 474 square feet of living space and exterior improvements associated with the remodel of existing 1,812 square foot single-story, legal non-conforming single family residence within the coastal zone.

LOCATION: 34791 Doheny Place (APN: 123-233-07)

NOTICE: Public Hearing notices were mailed to property owners within 500 feet, and to occupants within 100 feet of the site on February 16, 2017. The same notice was published in the Dana Point News on February 16, 2017, and notices were posted on February 16, 2017, at Dana Point City Hall, the Dana Point post office, the Capistrano Beach post office, and the Dana Point Library.

ENVIRONMENTAL: This project is categorically exempt (Class 3 - Section 15301 – Existing Facilities) from the provisions of the California Environmental Quality Act (CEQA) since the project involves a minor addition that meets all applicable setbacks, including from the bluff edge, and internal remodel for an existing legal non-conforming single-family residence in a residential zone.

ISSUES:

1. Is the proposal consistent with the City's adopted General Plan/Local Coastal Program?
2. Is the proposal compatible with and an enhancement to the surrounding neighborhood and City?
3. Does the project satisfy all the findings required pursuant to the City's Zoning Code for approving a Coastal Development Permit and Minor Site Development Permit?

BACKGROUND: The subject site is a 14,284 square foot coastal bluff lot developed in 1955. The residence is one-story with 1,812 square feet of living area and a 1,216 square foot attached three car garage. The site is bordered by similar single family residences to the north, south, and east, and Palisades Drive to the west. The site is zoned Residential Single Family 3 (RSF 3), is in the appeals area of the Coastal Overlay, and is designated Residential 0-3.5 D.U./AC in the City's General Plan Land Use Map.

In 1997, the current owners received approval of a Variance for the garage to encroach into the side yard setback. The basis for the approval was to address accessibility issues. No modifications are proposed for the garage.

The proposed project will result in a 474 square foot addition, 231 square foot covered loggia and patio expansion, and small roof overhang expansion. The proposed addition and exterior improvements meet all setback requirements, is single-story, and will not be visible from Doheny Place or Palisades Drive. The property owner is proposing an internal remodel to incorporate the new addition into the home.

DISCUSSION: The proposed project requires a Coastal Development Permit due to its location in the coastal zone and a Minor Site Development Permit because the project is more than a 10% addition to a legal non-conforming structure. All components of the proposed project meets setback, lot coverage, and heights (it will remain a one-story home). The home will not change in appearance as viewed from Doheny Place or Palisades Drive.

COASTAL DEVELOPMENT PERMIT:

The applicant's proposal is primarily for an addition of 474 square feet of living space, and remodel of the existing residence. The proposed improvements will result in a reconfigured floor plan expanding and moving the kitchen adjacent to the new loggia and part of a larger great room. There will also be an expanded pantry, laundry room, and master bathroom. After the project is completed, the living space square footage will be 2,286 square feet. Plans have been provided as Supporting Document 5.

The exterior improvements include a covered loggia and expanded patio at the rear of the property, and small roof overhang addition. All exterior improvements meet the 25 foot bluff edge setback and side yard setbacks. The applicant is also removing the existing sod and irrigation system that is in the coastal bluff setback and installing drought tolerant native vegetation Pursuant to Zoning Code Section 9.27.030(C)(3)(B). This will make the home more compliant with the Dana Point Zoning Code.

The addition will match the existing architecture (Cape Cod design) utilizing matching siding and colors on the house. The loggia will have a standing seam metal roof and tie into the existing roof system.

Table 1 summarizes applicable Residential Single Family 3 (RSF3) zoning designation development standards and the project's conformance with those requirements:

Table 1: Compliance with RSF3 Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Front Setback	10 feet minimum	10 feet	Yes
Side Setbacks	8 feet minimum	8 feet (addition and north side yard) 5 feet and 7.5 feet (garage) 6.4 feet (south side yard)	Yes Yes and No* No**
Rear Setback	25 feet minimum from edge of bluff	25 feet from edge of bluff	Yes
Height	26 feet maximum 3/12 to 6/12 roof pitch	16 feet 5/12 roof pitch	Yes
Lot Coverage	35% maximum	26%	Yes
Landscape Coverage	25% minimum	46%	Yes
Parking Required	2 parking spaces	3 parking spaces	Yes

*The 5 foot setback was approved with a Variance in 1997, and the 7.5 foot setback is legal non-conforming from 1955. No modifications are proposed to the garage.

**The 6.4 foot setback is legal non-conforming from 1955.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter*

- 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
- 2. If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
 - 3. Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
 - 4. Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
 - 5. Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
 - 6. Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
 - 7. Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The required findings are articulated in the attached draft Resolution identified as Action Document 1.

MINOR SITE DEVELOPMENT PERMIT:

The proposed 474 square foot addition represents a 26% increase in the living area. Due to the legal non-conforming setbacks of the home, any addition larger than 10% requires approval of a Minor Site Development Permit. The applicant is maintaining 61% of the existing walls, and the non-conforming setbacks are not being modified by the project. The proposed addition and exterior improvements meet all applicable development standards, including setbacks and heights.

Section 9.71.050 of the DPZC stipulates a minimum of four (4) findings to approve a Site Development Permit:

- 1. Compliance of the site design with development standards of this Code.*
- 2. Suitability of the site for the proposed use and development.*

3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which is appropriate for the site and function of the proposed use(s), without requiring a particular style or type of architecture.*

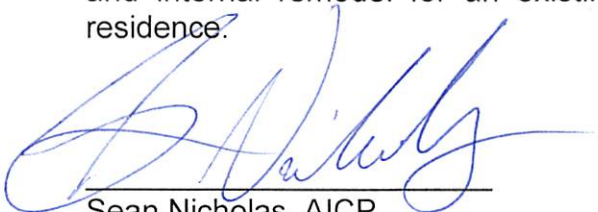
The required findings are articulated in the attached draft Resolution identified as Action Document A.

CORRESPONDENCE:

Staff has not received any correspondence on the proposed project.

CONCLUSION:

Based on the above analysis, Staff determines that the required findings can be made and recommends that the Planning Commission adopt a resolution approving Coastal Development Permit CDP16-0017 and Minor Site Development Permit SDP17-0001(M) allowing for a 474 square foot addition and various exterior improvements be constructed and internal remodel for an existing single-story, legal non-conforming single family residence.



Sean Nicholas, AICP
Senior Planner



Ursula Luna-Reynosa
Director of Community Development

ACTION DOCUMENT:

1. Draft Planning Commission Resolution 17-02-27-XX

SUPPORTING DOCUMENTS:

2. Vicinity Map
3. Site Photo
4. CEQA Exemption
5. Proposed plans

RESOLUTION NO. 17-02-27-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP16-0017 FOR AN ADDITION AND INTERNAL REMODEL FOR A SINGLE FAMILY RESIDENCE LOCATED ON A COASTAL BLUFF LOT AND MINOR SITE DEVELOPMENT PERMIT SDP17-0001(M) TO ALLOW FOR AN ADDITION GREATER THAN 10% TO A LEGAL NON-CONFORMING STRUCTURE LOCATED AT 34791 DOHENY PLACE

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Paul and Lynn Heckler (collectively, the "Owners"), own the real property commonly referred to as 34791 Doheny Place (APN: 123-233-07) (the "Property"); and

WHEREAS, the Owners caused to be filed a verified application for a Coastal Development Permit and Minor Site Development Permit for an addition, exterior improvements, and internal remodel for a legal non-conforming structure; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, the Planning Commission did, on the 27th day of February, 2017, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, the proposed project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA) in that the project involves an addition and remodel that meets all applicable development standards for an existing legal non-conforming single family residence in a residential zone; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP16-0017 and Minor Site Development Permit SDP17-0001(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A) That the above recitations are true and correct and incorporated herein by reference;

Findings:

- B) Based on the evidence presented at the public hearing, the Planning

Commission adopts the following findings and approves a Coastal Development Permit CDP16-0017, subject to conditions:

- 1) That the proposed project is consistent with the Dana Point General Plan and Local Coastal Program **in that, the project is consistent with all goals and policies of the Residential 0-3.5 land use designation, and the proposed addition is consistent with all applicable development standards. The home will remain a single-story, single family residence.**
- 2) That the proposed development is not located between the nearest public roadway and the sea or shoreline of any body of water, and is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that, the proposed development does not alter existing public access and public recreation areas in the vicinity.**
- 3) That the proposed development conforms to Public Resources Code Section 21000 (the California Environmental Quality Act) **in that, the project qualifies for a Categorical Exemption Type 1 since the project involves a minor addition and remodel of an existing single-story, single family residence. The proposed project meets all applicable development standards, and the residence will remain single-story.**
- 4) That the proposed development will not encroach upon any existing physical access way legally utilized by the public or any proposed public access way identified in an adopted Local Coastal Program Land Use Plan, nor will it obstruct any existing public views to and along the coast from any public road or from a recreational area **in that, the proposed improvements are located on private property that has been developed with a single family residence since 1955 and will continue to be a single family residence after the project is completed, will not impact any public views to and along the coast, and there are no existing physical access ways legally utilized by the public or proposed in an adopted Coastal Program.**
- 5) That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation

areas, and will provide adequate buffer areas to protect such resources **in that, the proposed development is not immediately adjacent to any such resources and the proposed development is proposed in compliance with required setbacks and height limitations.**

6) That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that, the subject site is developed with a single family residence located within an established residential subdivision, and the proposed project is setback the required distance from the coastal bluff edge to ensure no impact on the resource. No grading or other alterations are proposed in the coastal bluff setback except for the removal of sod and irrigation and the planting of native drought tolerant landscaping consistent with the requirements of the Dana Point Zoning Code. The proposed addition will be constructed in conformance with applicable regulations for flood and fire hazards, minimizing undue risks from flood, fire or other hazards.**

7) That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that, the proposed project will add to and enhance the existing residence and will not be visible from the public right-of-ways. All proposed materials are consistent with the existing structure and the residence will remain a single-story, single family residence after the project is completed.**

8) That the proposed development will conform with the General Plan, Zoning Code, Local Coastal Program, or other applicable adopted plans and programs **in that, the proposed addition and remodel conforms with the City's regulations regarding development of single-family dwelling within the coastal zone and the development standards of the Residential Single Family 3 (RSF 3) Zoning District, and the Residential 0-3.5 DU/AC designation in the City's General Plan.**

C) Based on the evidence presented at the public hearing, the Planning

Commission adopts the following findings and approves Minor Site Development Permit SDP17-0001(M), subject to conditions:

- 1) That the site design is in compliance with the development standards of the Dana Point Zoning Code (DPZC) **in that, Pursuant to Section 9.63.030(a) of the Dana Point Zoning Code (DPZC), additions larger than 10% of the existing area require a Minor Site Development Permit. The project proposes to add 26% of the existing living area, and the addition and remodel meet all applicable development standards. The project will maintain 61% of the existing walls, and will maintain the legal non-conforming status.**
- 2) That the site is suitable for the proposed use and development **in that, the addition will maintain the single-story, single family residence, and will be consistent with the surrounding neighborhood. The addition will not be visible from the right-of-ways, and the proposed addition meets all applicable development standards including setback, lot coverage, and height.**
- 3) That the project is in compliance with all elements of the General Plan and all applicable provision of the Urban Design Guidelines **in that, the applicant's proposal is consistent with the City's General Plan and all applicable provisions of the Urban Design Guidelines in that the proposed improvements are not in conflict with any goals or policies of the General Plan.**
- 4) That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture, **in that, the proposed addition will match the existing residence and be compatible with the surrounding neighborhood. Due to the location of the addition and exterior improvements onsite, it will not be visible from Doheny Place or Palisades Drive.**

A. General:

1. Approval of this application is to allow for an addition of 474 square

feet, exterior improvements, and internal remodel of a legal non-conforming single-story, single family residence at 34791 Doheny Place. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan/Local Coastal Program, and the Dana Point Zoning Code.

2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, they may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Owner or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Owner's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and

expenses incurred concerning the claim, action, or proceeding.

The Owner or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Owner or the Owner's agents, employees, or contractors. Owner's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Owner shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Owner, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

6. The Owner and Owner's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety and Engineering Division for plan check for Building and Grading Permits.
8. The Owner and Owner's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. The construction site shall be posted with signage indicating that construction shall not commence before 7 a.m. and must cease by 8 p.m., Monday through Saturday, and no construction activity is permitted on Sundays or Federal holidays.
10. The project shall meet all water quality requirements.
11. An Encroachment Permit shall be obtained prior to any work within the City Right-of-Way.
12. All curb, gutter, and sidewalk damaged during construction shall be

removed and replaced along the entire frontage of the subject property per the City Engineer.

13. The applicant shall limit all construction activities within the coastal bluff-top setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity.
14. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
15. The applicant, property owner or successor in interest shall sign a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance per the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling.
16. The bluff edge setback, per the zoning code, shall be clearly shown on all plans submitted for review and approval.
17. Per Municipal Code Section 9.27.030, no new permitted foundations will be allowed within the 25-foot bluff edge setback.
18. The submitted and reviewed geotechnical reports prepared by Geo-Etka, Inc. dated August 22, 2016, October 11, 2016, December 15, 2016, and January 18, 2017, have been found sufficient specifically for the limited scope of work and 25-foot bluff edge setback proposed at this time. Any revisions, additional scope of work, or additional demolition (including full demolition) will require additional review and geotechnical approval from the city. The additional geotechnical approval may require additional geotechnical investigation, analyses, and reports by the applicant's geotechnical professionals. This may include the preparation of a new and complete geotechnical report (investigation, analyses, etc.) for the subject property.
19. Should the existing foundations and/or slab be found not suitable for any proposed improvements during construction, all new foundations for habitable space will be required to be outside the 25-foot bluff edge setback.

20. Separate review, approval, and permits are required for:
- Separate Structures
 - Retaining walls
 - Shoring walls
 - Fire sprinklers
 - Demolition of Structures
 - Swimming Pool/Spa
 - Site Walls over 3'

B. Prior to the issuance of a grading permit the applicant shall meet the following conditions:

21. The application for a building permit shall include a grading and drainage plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal in conformance with Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
22. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
23. Any revisions to the scope of work that is presented in the current CDP application will require geotechnical and City of Dana Point review and approval. Revisions to the scope of work may require additional field investigation, additional geotechnical analysis, report preparation, etc., by the applicants geotechnical professionals. The additional geotechnical investigation, analysis, report preparation, etc., shall be submitted for review and approval by the City of Dana Point.
24. The applicant shall submit an Erosion and Sediment Control plan in compliance with all State of California and the City of Dana Point standards for review and approval.
25. The applicant shall submit a Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works. The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer

Systems (MS4s) Permit requirements.

26. Building plan check submittal shall include the following construction documents:
- Building Plans (4 sets)
 - Electrical/Plumbing/Mechanical plans by a Registered Design Professional
 - Energy Calculations (2 sets)
 - Structural Calculations (2 sets)
 - Soils/Geology Report (3 sets)
 - Drainage Plan

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

27. Fire Department review is required. Submittals shall go directly to the Orange County Fire Authority for their review and approval.
28. Undergrounding of all onsite utilities is required. An **Approved SDG&E Work Order** and **Undergrounding Plan** is required prior to permit issuance.
29. Minimum roofing classification is Class "A".
30. Fire sprinkler system is required.
31. **Soils Report** (1803): Submittal of a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5 is required. The report shall comply with CBC Section 1803.6.
32. Foundation system will provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.
33. **Green Building:** Plans shall show compliance & indicate method of verification of compliance with all CALGreen requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.

- C. **Prior to Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:**

34. Verification of all conditions of approval is required by all City Departments.
35. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.
36. "***Rough Grade/Pad Certification***" or "***Grading Release Form***" is required from City Engineer.
37. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
38. An as graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all deepened foundation observations, field density testing, depth of reprocessing and re-compaction, as well as any shoring or temporary slopes required during the grading operation. A map depicting the limits of grading, locations of all density testing, deepened foundations, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
39. Building(s) shall comply with the 2016 editions of the Building Code and all local amendments.
40. Separate review, approval, and permits are required for:
 - Separate Structures
 - Retaining Walls
 - Site Walls over 3 ft.
 - Fire Sprinklers
 - Demolition of Structures
41. Provide building code analysis showing conformance to CBC Chapter 3 and 5. Specify occupancy group(s), type(s) of construction, including fire sprinklers, location on property, actual and allowable floor area, building height, number of stories, and conforming exiting.

42. Fire sprinklers are required unless it can be justified that they are not required. Fire Department review is required. Submit plans directly to the Orange County Fire Authority for their review and approval.
43. Undergrounding of all onsite utilities is required (unless the remodeling, alteration, or addition to an existing main building does not exceeds fifty (50) percent of the value and/or area of the existing building.).
44. Minimum roofing classification is Class "A".
45. **Soils Report** (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.
46. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.
47. **Green Building:** Plans shall show compliance & indicate method of verification of compliance with all CALGreen requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.
48. Verification of all conditions of approval is required by all City Departments.
49. All approvals from outside Departments and Agencies (Fire Department.) is required unless waived.
50. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
51. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
52. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for

Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.

53. Prior to commencement of framing, the applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP16-0018 and SDP16-0038 (M). The City's standard "Line & Grade Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
54. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP16-0018 and SDP16-0038(M). The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

D. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:

55. The automatic fire sprinkler system shall be operational in a manner meeting the approval of the Fire Chief.
56. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.
57. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.

58. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
59. A written approval by the professionals of record approving the grading as being in conformance with the approved grading plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.
60. All work in the right-of-way shall be completed in conformance with the Encroachment Permit conditions to the satisfaction of the City Engineer.
61. All permanent BMP's and/or landscaping shall be installed and approved by either the project Landscape Architect or the Engineer of Record.
62. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 27th day of February, 2017, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Eric Nelson, Chairman
Planning Commission

ATTEST:

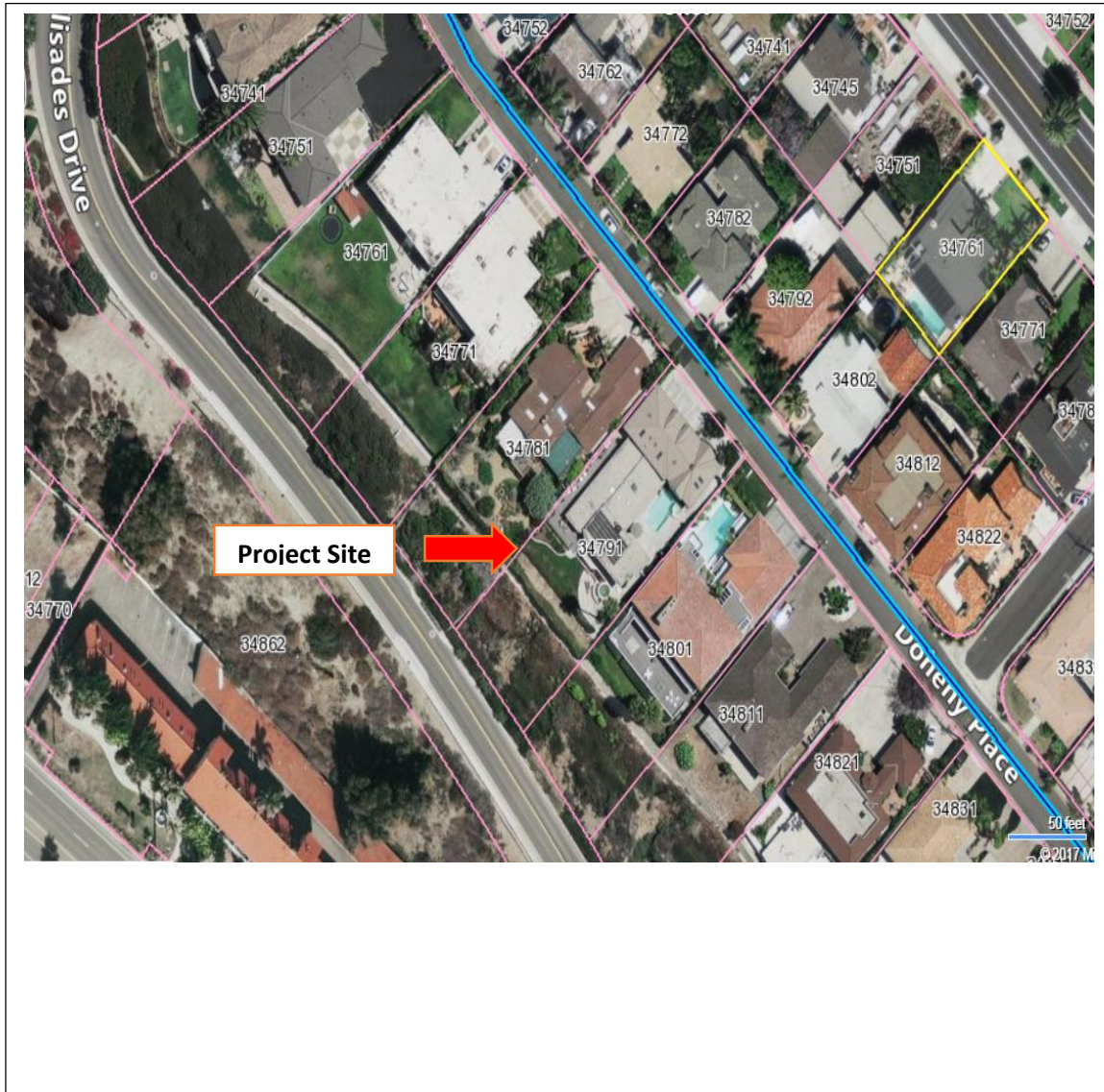
Ursula Luna-Reynosa, Director
Director of Community Development

DRAFT



Vicinity Map

34791 Doheny Place, CDP 16-0017/SDP17-0001(M)



SUPPORTING DOCUMENT #2



Studio 6 ARCHITECTS
2753 Camino Capistrano, Suite 82
949.388.5300
studio6architects.com

34791

SUPPORTING DOCUMENT #3



**CITY OF DANA POINT
NOTICE OF EXEMPTION**

Date: February 27, 2017

To: County Clerk-Recorder
County of Orange
12 Civic Center Plaza, Room 106
P.O. Box 238
Santa Ana, CA 92702
Attn: EIR Clerk

From: City of Dana Point
Community Development Department
33282 Golden Lantern, Suite No. 209
Dana Point, California 92629

Project Title: Coastal Development Permit CDP16-0017/Minor Site Development Permit SDP17-0001(M)

Project Location:

The project is located at 34791 Doheny Place within the Residential Single Family 3 (RSF3) zoning designation. Legal description being Lot 7, of Block 3, of Tract 920, Assessor's Parcel Number 123-233-07.

Description of Nature, Purpose, and Beneficiaries of Project:

A request for an addition and internal remodel that meets all applicable development standards for a legal non-conforming single family residence located at 34791 Doheny Place in the RSF3 zoning designation within the Coastal Zone.

Name of Public Agency Approving Project: City of Dana Point

Project Applicant: Rob Williams, Studio 6 Architects

Exempt Status: (Check One)

Statutory Exemption

Section:

Ministerial (Sec. 21080(b)(1); 15268):

Declared Emergency (Sec. 21080(b)(3); 15269(a))

Emergency Project (Sec. 21080(b)(4); 15269(b)(c))

Categorical Exemption: Class: 1 Section: 15301

Exempt: Sections:

Reason Why Project is Exempt:

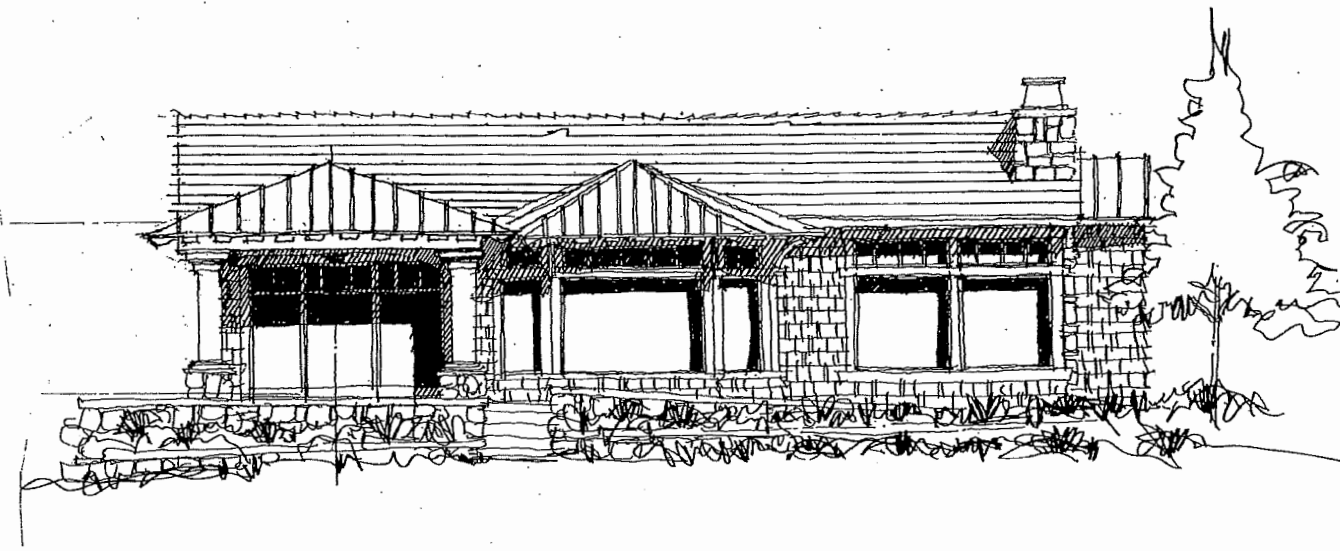
The project includes a minor addition to an existing single-story, single family residence. The proposed addition meets all applicable development standards including lot coverage, setbacks, and heights. The residence will remain a single-story, single family residence following the proposed improvements.

Lead Agency Contact Person:

Sean Nicholas, AICP, Senior Planner
City of Dana Point
32282 Golden Lantern
Dana Point, CA, 92629

Signature: _____ Date: _____ Title: _____

Signed by Lead Agency Signed by Applicant



PROJECT SCOPE:

ADDITION TO EXISTING SINGLE FAMILY RESIDENCE TO INCLUDE THE FOLLOWING:
 NEW SQUARE FOOTAGE 474.00 S.F.
 NEW LOGGIA 231.00
 MATCH THE ARCHITECTURE TO THE EXISTING RESIDENCE WHICH IS CAPE COD DESIGN
 ADD A NEW GLASS GUARDRAIL AND EXTEND THE EXISTING PATIO 6'-0" EXISTING LANDSCAPING TO REMAIN...NO CHANGE
 EXISTING GRADING TO REMAIN...THE ADDITION ISN'T CHANGING THE PATTERN OF DRAINAGE
 THE ADDITION EXCEPT FOR THE PATIO EXTENSION ISN'T ENCRoACHING INTO THE REAR (THE PATIO ENCRoACHMENT IS BEHIND THE EXISTING PATIO PLANTER)
 THIS IS A MINOR EXPANSION...THE EXISTING RESIDENCE INCLUDING THE GARAGE IS 3,028.00 S.F.
 THE ADDITION WHICH IS 474.00 S.F. IS ONLY EXPANDING THE EXISTING STRUCTURE BY 15%
 TOTAL LANDSCAPE COVERAGE IS 6,000 S.F. TO EXISTING NO CHANGE

LEGAL DESCRIPTION:

TRACT: 420
 LOT: 7
 CITY: DANA POINT
 COUNTY: ORANGE
 APN NUMBER 123-233-01

SQUARE FOOTAGE CALCULATIONS:

GROSS LOT AREA:	14,284.59 S.F.
LVABLE (EXISTING)	1,812.00 S.F.
GARAGE (EXISTING)	1,218.00 S.F.
LVABLE (NEW)	474.00 S.F.
LOGGIA (NEW)	231.00 S.F.
TOTAL LVABLE (NEW/EXISTING)	2,286.00 S.F.
LOT COVERAGE	26%

Any development within the bluff edge setback zone shall conform to Section 9.27.030(c)(5) of the City of Dana Point Municipal Code. Please note that Municipal Code Section 9.27.030 states, "Permitted Development within the Coastal Bluff Edge Setback... is limited to structures that may include retaining and non-retaining walls, fences, and drought tolerant landscaping which conform to the setback requirements of this Chapter."

THE HECKLER RESIDENCE
 84791 DOHENY PLACE, DANA POINT, CA.

PROJECT TEAM:

OWNER: PAUL AND LYNN HECKLER
 84791 DOHENY PLACE
 DANA POINT, CA 92629
ARCHITECT: STUDIO 6 ARCHITECTS, INC.
 2783 GAMINO CAPISTRANO, A-100
 SAN CLEMENTE, CA 92672
 PHONE: (949) 368-5300
 FAX: (949) 368-5300
 CONTACT: ROBERT WILLIAMS
 EMAIL: RW@STUDIO6ARCHITECTS.COM
GEOLOGIST: GEO-ETKA, INC.
 1801 EAST HEM AVENUE, SUITE 202
 ORANGE, CA 92665
 PHONE: (714) 771-6411
 CONTACT: AHMED ALI
 EMAIL: aali@geonet.com

SHEET INDEX

- ARCHITECTURE**
 A-1 TITLE/NOTES
 A-1.1 CIVIL SITE/SURVEY/ARCHITECTURAL
 A-2 AS-BUILT FLOOR PLAN
 A-3 AS-BUILT ROOF PLAN
 A-4 AS-BUILT EXTERIOR ELEVATIONS
 A-4.1 SITE SECTION
 A-5 NEW FLOOR PLAN
 A-5.1 DEMOLITION CALCULATION PLAN
 A-6 NEW EXTERIOR ELEVATIONS
 A-7 NEW ROOF PLAN
 A-8 LANDSCAPE PLAN
 T-1 EXISTING TOPOGRAPHIC SURVEY



STUDIO 6 ARCHITECTS, INC.
 ARCHITECTURE + PLANNING
 2783 GAMINO CAPISTRANO, SUITE B2
 SAN CLEMENTE, CA 92672
 (949) 368-5300 PHONE
 (949) 368-5300 FAX
 STUDIO6ARCHITECTS.COM

A-1

PROJECT NUMBER:
 2016007.00

HECKLER RESIDENCE
34791 DOHENY PLACE
DANA POINT, CALIFORNIA

PROJECT NUMBER:
2016007

MILESTONES / REVISIONS

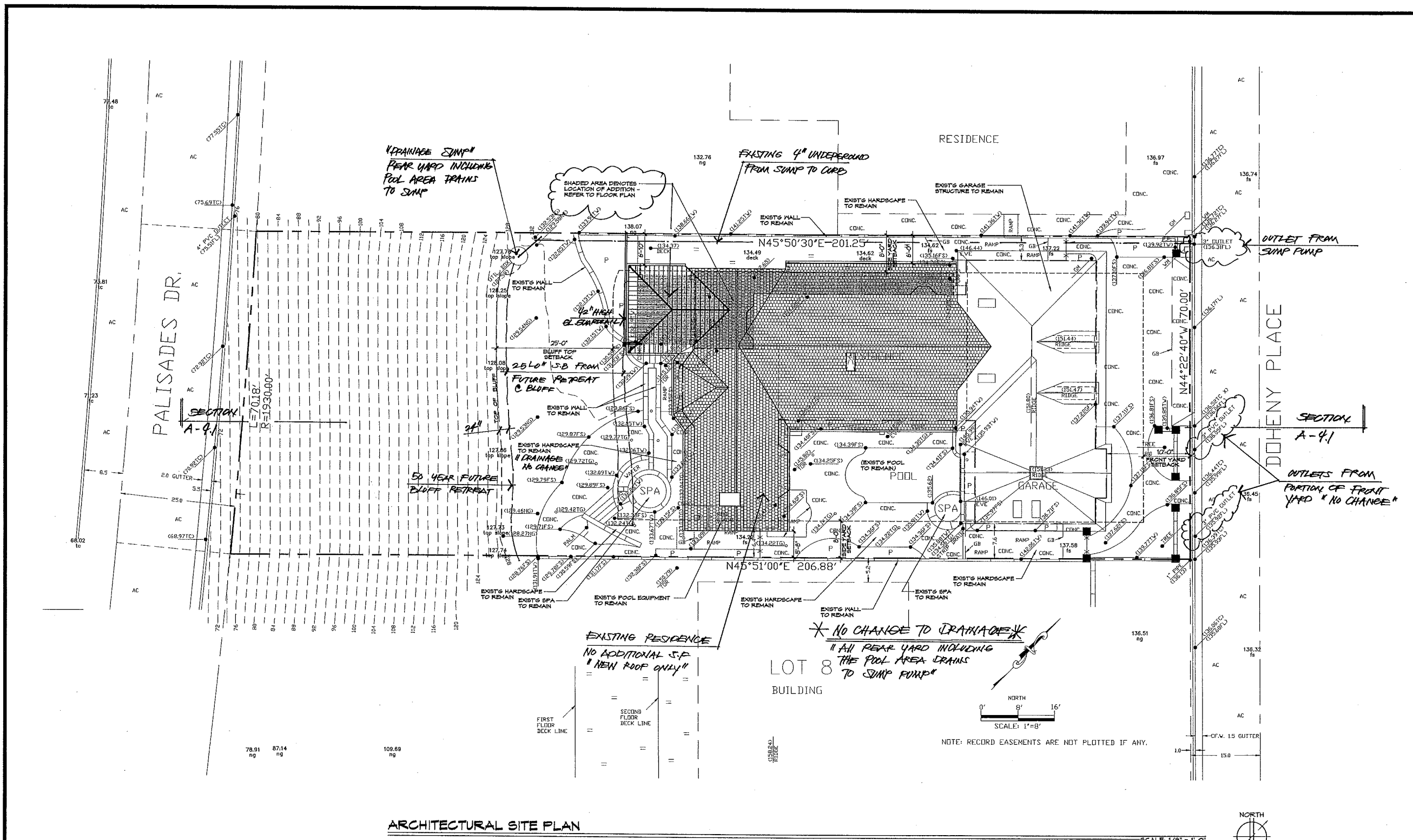
NO.	DATE	DESCRIPTION
12.23.16	BLDG DEPT SUB	
12.28.16	PRELIM BID SET	
1.26.17	OWNER CHANGES	

LICENSE STAMP:



SHEET TITLE:
**ARCHITECTURAL
SITE PLAN**

SHEET NUMBER:
A-1



ARCHITECTURAL SITE PLAN

SITE PLAN NOTES:

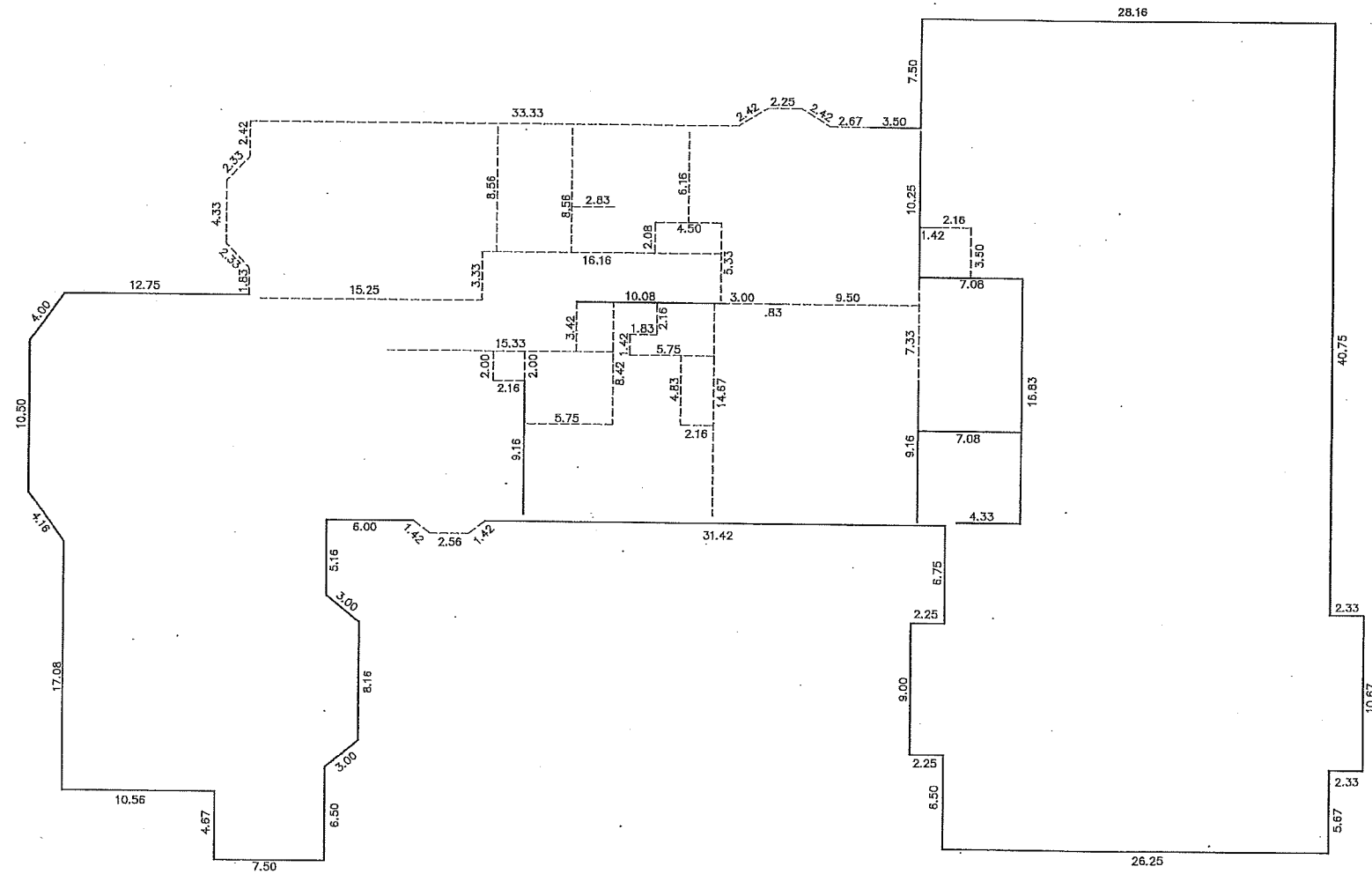
- DO NOT SCALE DRAWINGS.
- THIS SITE PLAN IS INTENDED FOR BUILDING SETBACK PURPOSES AND LOCATION OF UTILITIES ONLY. SEPARATE DRAWING SUBMITTAL(S) AND PERMIT(S) IS/ARE REQUIRED FOR LANDSCAPE PLAN, SWIMMING POOL, AND SPA, POOL AND SPA MECHANICAL EQUIPMENT, SITE RETAINING WALLS, FENCES, GATES, ANY BLOCK WALLS OVER 8 FEET, ... ETC.
- REFER TO THE ARCHITECTURAL FLOOR PLANS AND GENERAL NOTES FOR ADDITIONAL ARCHITECTURAL INFORMATION.
- REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY PRIOR TO ANY WORK.
- AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY L-6.
- A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE ARE DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY / STREET PAVEMENT WILL BE REQUIRED AND 100% PAID BY THE OWNER. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
- ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.
- OBTAIN PERMIT FROM CAL/OSHA FOR EXCAVATIONS 5 FEET OR DEEPER AND / OR CONSTRUCTION OF BUILDING OR SCAFFOLDING MORE THAN 8 STORIES (24 FEET) HIGH. (CAL/OSHA COR TITLE 8 DIV. 1, CHAPTER 9.2, SUBCHAPTER 2, SECTION 941)
- CONTRACTOR TO FIELD INSPECT EXISTING WATER METER TO DETERMINE IF SIZE AND CONDITION ARE ADEQUATE TO ACCOMMODATE THE REQUIREMENTS WITHIN THESE DOCUMENTS. REPLACE AS NEEDED.
- PRIOR TO THE RELEASE OF THE FOOTING INSPECTION, THE APPLICANT SHALL SUBMIT CERTIFICATION, BY SURVEY OR OTHER APPROPRIATE METHOD, THAT THE STRUCTURES WILL BE CONSTRUCTED IN COMPLIANCE WITH THE DIMENSIONS SHOWN AND IN COMPLIANCE WITH THE SETBACKS OF THE APPLICABLE COMMUNITY ASSOCIATION GUIDELINES (IF ANY) AND LOCAL ZONING CODE.
- THE DISCHARGE OF POLLUTANTS TO STORM DRAINAGE SYSTEM (IF ANY) IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM (IF ANY).
- FINISHED GRADE AROUND THE NEW STRUCTURE SHALL SLOPE AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES. (CRC R409.1.7.3)
- CONTRACTOR TO SCOPE AND INSPECT EXISTING SEWER LINE FROM HOUSE TO SEWER MAIN. AUGER, REPAIR OR REPLACE AS NEEDED.
- REFER TO BMP NOTES ON SHEET GN-2 FOR ADDITIONAL INFORMATION.

CONSTRUCTION WASTE:

A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED FROM LANDFILLS FOR RECYCLE OR SALVAGE. WASTE MANAGEMENT PLAN (S.C.M.C. CHAPTER 8.64) SHALL BE PRE-APPROVED BY CITY ENVIRONMENTAL SERVICES DIVISION. APPLICANTS ARE REQUIRED TO HAVE ONE OF THE FOLLOWING:
- AN APPROVED WASTE MANAGEMENT PLAN (WMP); OR
- ELECT TO USE A C 4 D RECYCLING BIN PROVIDED BY THE CITY'S FRANCHISE WASTE HAULER.

DEMOLITION NOTES:

- SITE IS TO BE FENCED.
- ALL DEBRIS SHALL BE MET AT TIME OF HANDLING TO PREVENT DUST.
- STREETS AND SIDEWALKS ARE TO REMAIN CLEAR AND CLEAN.



DEMOLITION CALCULATION PLAN

SCALE: 1/4" = 1'-0"



DEMOLITION CALCULATIONS:

EXTERIOR WALLS:
 TOTAL WALL LENGTH = 350.16 L.F.
 WALLS TO REMAIN = 288.42 L.F.
 PERCENTAGE WALLS REMAINING = 82.4%

INTERIOR WALLS:
 TOTAL WALL LENGTH = 246.37 L.F.
 WALLS TO REMAIN = 76.22 L.F.
 PERCENTAGE WALLS REMAINING = 31%

TOTAL WALLS:
 TOTAL WALL LENGTH = 596.53 L.F.
 WALLS TO REMAIN = 364.64 L.F.
 PERCENTAGE WALLS REMAINING = 61.1%

PLAN LEGEND:

——— WALLS TO REMAIN
 - - - - - WALLS TO BE REMOVED

NOTE:
 INTERIOR WALLS ARE SHOWN FROM
 CENTERLINE OF WALL.



STUDIO 6 ARCHITECTS, INC.
 ARCHITECTURE + PLANNING
 3720 CALING CHRISTIANO, SUITE A-100
 SAN Geronimo, CA 92672
 (949) 388-5100 PHONE
 (949) 388-3333 FAX
 STUDIO6ARCHITECTS.COM

PROJECT CONTACT:

BRIAN MUEHLBAUER
 PHONE: (949) 388-5300
 FAX: (949) 388-3330
 bma@studio6architects.com

PROJECT TEAM:

PRINCIPAL ARCHITECT: BRIAN MUEHLBAUER
 DESIGN ARCHITECT: ROBERT WILLIAMS

CLIENT:
 PAUL & LYNN HECKLER
 34791 DOHENY PLACE
 DANA POINT, CA 92624

PROJECT MANAGER:

PHONE NUMBER:
 FAX NUMBER:
 EMAIL:

HECKLER RESIDENCE
 34791 DOHENY PLACE
 DANA POINT, CALIFORNIA

PROJECT NUMBER:

2016007

MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION
12.23.16		BLDG DEPT SUB
12.28.16		PRELIM BID SET
1.28.17		OWNER CHANGES

LICENSE STAMP:



SHEET TITLE:

DEMOLITION
 CALCULATIONS

SHEET NUMBER:

A-5.1

PROJECT CONTACT:

BRIAN MUEHLBAUER
PHONE: (949) 368-5300
FAX: (949) 368-3330
bma@studio6architects.com

PROJECT TEAM:

PRINCIPAL ARCHITECT: BRIAN MUEHLBAUER
DESIGN ARCHITECT: ROBERT WILLIAMS

CLIENT:

PAUL & LYNN HECKLER
34791 DOHENY PLACE
DANA POINT, CA 92624

PROJECT MANAGER:

PHONE NUMBER:
FAX NUMBER:
EMAIL:

HECKLER RESIDENCE
34791 DOHENY PLACE
DANA POINT, CALIFORNIA

PROJECT NUMBER:

2016007

MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION
12.23.16		BLDG DEPT SUB

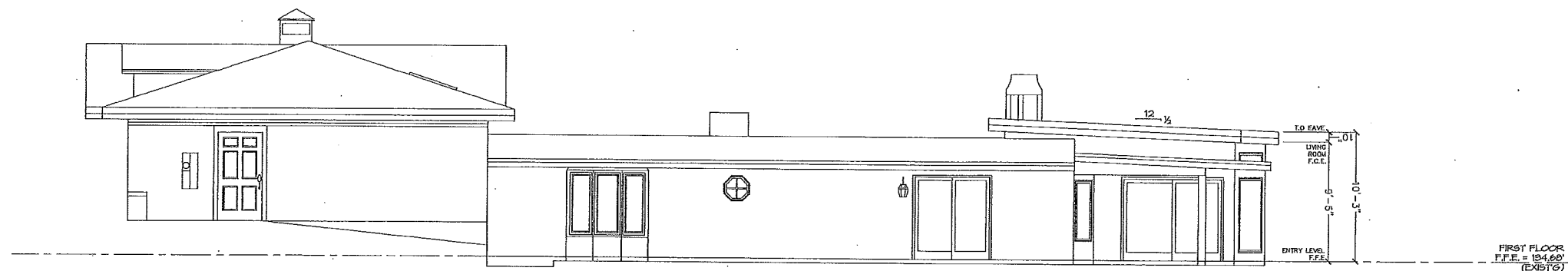
LICENSE STAMP:



SHEET TITLE:
A.B. EXTERIOR
ELEVATIONS

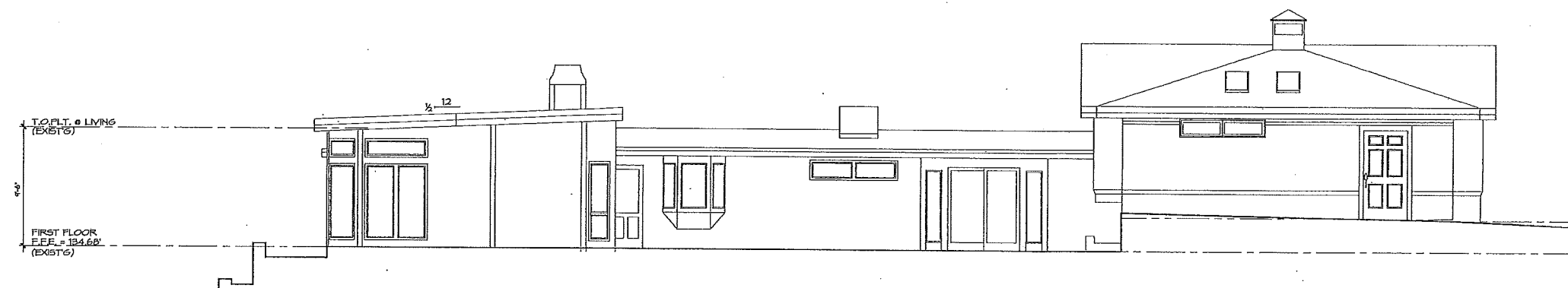
SHEET NUMBER:

A-4



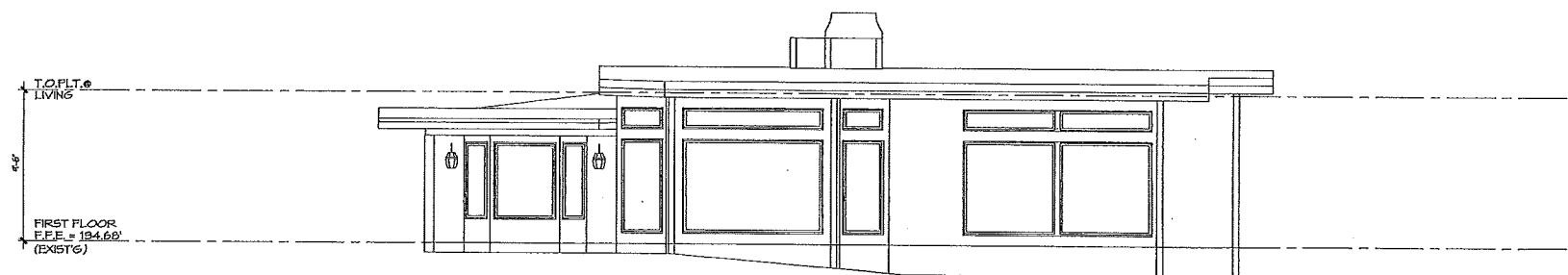
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



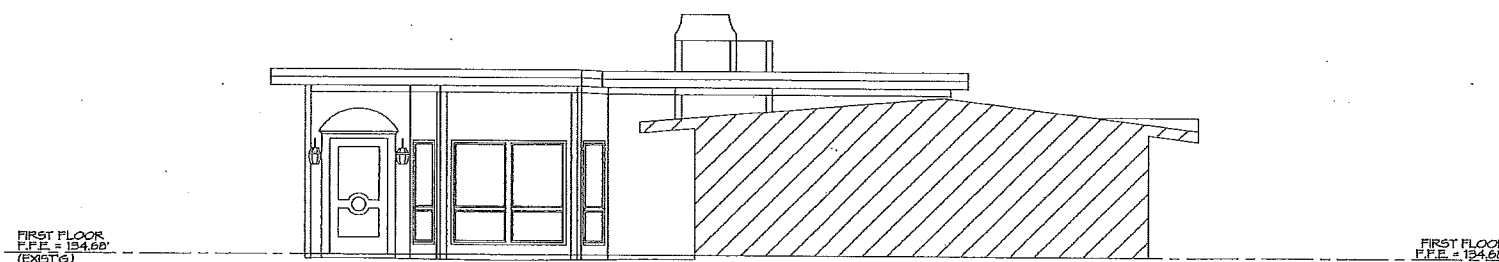
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

MILESTONES / REVISIONS	
NO.	DATE DESCRIPTION
12.23.16	BLDG DEPT SUB.
12.28.16	PRELIM BID SET
1.28.17	OWNER CHANGES

LICENSE STAMP:



SHEET TITLE:
NEW FLOOR PLAN

SHEET NUMBER:
A-2

FLOOR PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & CLEARANCES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- REFER TO FINISH SCHEDULE FOR ALL PLUMBING FIXTURES, APPLIANCE, CABINETS, AND INTERIOR FINISH SCHEDULES OF ALL PLUMBING FIXTURES AND APPLIANCES WITH MANUFACTURER SPECIFICATIONS AND COORDINATE WITH CABINET INSTALLER.
- REFER TO OWNER FOR LOCATION(S) AND HEIGHT(S) OF ALL BATHROOM ACCESSORIES (IE TOWEL BARS, TOILET PAPER DISPENSERS, MIRRORS, ETC). PROVIDE 2 x 10" BLOCKING FOR REQUIRED SUPPORT.
- PLUMBING FIXTURE REQUIREMENTS AND FLOW RATES:
 - WATER CLOSETS:** THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.25 GALLONS PER FLUSH. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERWISE SPECIFICATION FOR TANK-TYPE TOILETS. PROVIDE A MINIMUM CLEAR FLOOR SPACE OF 30" WIDE X 24" DEEP CLEAR IN FRONT AND CENTER OF WATER CLOSET PER 2015 C.F.C.
 - URINALS:** THE EFFECTIVE FLUSH VOLUME OF URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH. SINGLE SHOWERHEADS.
 - SHOWERHEADS:** SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 P.S.I. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERWISE SPECIFICATION FOR SHOWERHEADS. PROVIDE A MINIMUM CLEAR FLOOR SPACE OF 30" WIDE X 24" DEEP CLEAR IN FRONT AND CENTER OF WATER CLOSET PER 2015 C.F.C.
 - MULTIPLE SHOWERHEADS SERVING ONE SHOWER:** WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 P.S.I. OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCED/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALD AND THERMAL SHOCK PROTECTION.
 - RESIDENTIAL LAVATORY FAUCETS:** THE MAXIMUM RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 80 P.S.I. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.5 GALLONS PER MINUTE AT 20 P.S.I.
 - KITCHEN FAUCETS:** THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 P.S.I. THE MINIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT BE LESS THAN 0.5 GALLONS PER MINUTE AT 20 P.S.I.
- SHOWER ENCLOSURES AND WALLS ABOVE BATHVATHS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 7'6" ABOVE THE FINISH FLOOR. SHOWER RECEIVERS SHALL COMPLY WITH INFO 10 4-2006 & 2010 CFC SECTION 403.7.
- REFER TO THE DOOR AND WINDOW SCHEDULE ON SHEET SGH-1 FOR ALL DOOR AND WINDOW TYPES AND SIZES.
- ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION HAS TAKEN PLACE TO SHOW THE GLAZING FOR AIR LEAKAGE AND VISIBLE TRANSMITTANCE. REFER TO SHEET SGH-1 FOR GLAZING VALUES.
- SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. FULL HEIGHT WINDOW OR EXTERIOR DOOR SHALL BE AT LEAST 20" ABOVE THE FINISH FLOOR AREA OF AT LEAST 5.7 SQ. FT. WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 20". THE WINDOW OR EXTERIOR DOOR SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS, PER 2015 C.F.C. SECTION 705.2.1.
- WINDOWS (GLAZING) SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED ANODIZED ALUMINUM GLAZING PER 2015 C.F.C. SECTION 705.2.1.
 - GLAZING IN ALL FIXED & OPERABLE PANELS OF SPINNING, SLIDING & BIFOLD DOORS.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS MORE THAN 36" INCHES ABOVE THE FLOOR.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WHERE THE BOTTOM EXPOSED EDGE OF THE DOOR IS LESS THAN 60" ABOVE THE FINISH FLOOR SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 4 S.F.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36" INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36" INCHES, MEASURED HORIZONTALLY, AND IN A STRAIGHT LINE, OF THE GLAZING.
 - GLAZING IN GUARDING STRUCTURAL BALUSTER PANELS & NONSTRUCTURAL INFILL PANELS, AND REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
 - GLAZING IN HALL, BATHROOM, OR KITCHEN CONTAINING OR FACING HOT TUBS, SPAS, POOLS, HOT TUBS, SAUNAS, STEAM ROOMS, BATHVATS, SHOWERS & INDOOR OR OUTDOOR SPINNING VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. THIS SHALL APPLY TO SINGLE GLAZING & ALL PANE IN MULTIPLE GLAZING.
 - GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE FINISH FLOOR SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE FINISH FLOOR AND WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD. EXCEPTIONS ARE AS STATED IN THE CALIFORNIA RESIDENTIAL CODE AS AMENDED BY LOCAL AMENDMENTS.
 - SHOWER ENCLOSURES MUST BE OF APPROVED TEMPERED OR SAFETY GLAZING AND DOOR MUST SWING OUT OF SHOWER.
 - THE OPENING OF THE HALL PORTION OF AN OPERABLE WINDOW LOCATED MORE THAN 24" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. GLAZING BETWEEN THE FINISH FLOOR AND THE BOTTOM OF THE WINDOW SHALL BE FINISHED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS, PER 2015 C.F.C. SECTION 703.2.2; OR BE PROVIDED WITH A WINDOW GUARD THAT COMPLETS THE WINDOW GUARDING REQUIREMENTS.
 - INSPECTION OF NAILING IS REQUIRED FOR ALL DRYWALL AND LATH WHEN IN PLACE. CORNER BEADS ARE TO BE NAILING.
 - A MINIMUM OF TWO LAYERS OF GRADE 'D' BUILDING PAPER SHALL BE APPLIED OVER ALL FLOOR BASE SHEATHING.
 - PRODUCT MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION. (CHAPTER 1, DIVISION 11, SECTION R101.12 OF THE CFC) WALL AND FLOOR FRAMING SHALL NOT BE ENGAGED WHEN THE FRAMING MEMBER EXCEEDS 10% MOISTURE CONTENT. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE INSTALLATION.
 - AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR THE OWNER AT THE TIME OF FINAL INSPECTION.
 - DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT MATERIALS HAVE BEEN USED. THIS APPLIES TO ADHESIVES, SEALANTS, PAINT, STAIN, CARPET, RESIN, FINISHES, ETC.
 - INSTALLATION CERTIFICATES (CFC 809.5.1, CFC 809.5.2, CFC 809.5.3) MUST BE PROVIDED TO THE BUILDING INSPECTOR DURING CONSTRUCTION.
 - INSTALLATION CERTIFICATES, OPERATING INFORMATION, MAINTENANCE INFORMATION AND VENTILATION INFORMATION MUST BE PROVIDED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.
 - BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8" AT THE CENTER OF THE 21" MINIMUM REQUIRED CLEARANCE AREA IN FRONT OF THE FIXTURES. THE CEILING HEIGHT ABOVE FIXTURES SHALL BE EQUAL TO THE CEILING HEIGHT OF THE FINISH FLOOR. THE CEILING HEIGHT ABOVE FIXTURES SHALL BE EQUAL TO THE CEILING HEIGHT OF THE FINISH FLOOR. THE CEILING HEIGHT ABOVE FIXTURES SHALL BE EQUAL TO THE CEILING HEIGHT OF THE FINISH FLOOR. THE CEILING HEIGHT ABOVE FIXTURES SHALL BE EQUAL TO THE CEILING HEIGHT OF THE FINISH FLOOR.
 - DOMESTIC KITCHEN RANGE VENTILATION SYSTEM SHALL BE INSTALLED OVER COOKING RANGES AND EXHAUSTED OUTSIDE OF THE BUILDING. AN APPROVED DOWNDRAFT GRILL-RANGE VENTILATION SYSTEM MAY BE USED. (CFC 809.5.1, CFC 809.5.2, CFC 809.5.3)
 - EQUIPMENT LOCATED IN A GARAGE THAT GENERATES A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE LIQUIDS SHALL BE INSTALLED WITH THE FIXTURES, BURNERS, HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE THE GARAGE FLOOR. (CFC 809.1 & CFC 809.1.1)
 - REFER TO THE REFLECTED CEILING PLANS FOR CEILING AND BOFFIT HEIGHTS.
 - REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND FRAMING REQUIREMENTS ALONG WITH ANY CITY REQUIRED STRUCTURAL OBSERVATIONS, SPECIAL INSPECTION CERTIFICATION(S), AND/OR TESTING FORMS.
 - REFER TO SHEET (T24.1) FOR THE TITLE-24 ENERGY CALCULATION FORMS AND MANDATORY REQUIREMENTS FOR ENERGY COMPLIANCE.
 - APPLIANCES INSTALLED IN GARAGE SHALL BE LOCATED OR PROTECTED SO THEY ARE NOT SUBJECT TO PHYSICAL DAMAGE BY MOVING VEHICLES. (CFC 809.1 & CFC 809.1.1)
 - ALL HOSE BIBBS MUST HAVE AN APPROVED ANTI-BIFLOW BACKFLOW PREVENTION DEVICE. (CFC 809.3, 809.3.1 & 809.4.7)
 - A SEDIMENT TRAP SHALL BE INSTALLED ON THE GAS LINE DOWNSTREAM OF THE GAS APPLIANCE SHUTOFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL. THE SEDIMENT TRAP SHALL BE INSTALLED WITH A CAPPED NIPPLE IN THE BOTTOM OUTLET OR OTHER RECOGNIZED DEVICE. (CFC 121.2)
 - GAS FIREPLACES SHALL BE DIRECT VENT SEALED COMBUSTION TYPE AND NOCOTESTIVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE I EMISSION LIMITS AS WELL AS SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULES.
 - DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
 - ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN PLASTER OR EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF ROYENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENGINEERING AGENT.
 - WHEN A WATER HEATER IS LOCATED IN THE ATTIC, ATTIC - CEILING ASSEMBLY FLOOR - CEILING ASSEMBLY FLOOR - ROOF ASSEMBLY, FIRE DANGER MAY RESULT FROM A LEAKING WATER HEATER. A WATER TIGHT FAN OF GORROUCH RESISTANT MATERIALS SHALL BE INSTALLED BENEATH THE WATER HEATER WITH A MINIMUM 1/4" DIA. DRAIN TO AN APPROVED LOCATION. (CFC 809.4)
 - WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. (CFC 809.2) STRAP CONNECTION: TANK-TYPE WATER HEATER PER DETAIL WD-2. ANCHOR TANKLESS TYPE WATER HEATER PER MANUFACTURER'S RECOMMENDATIONS.
 - THE MINIMUM SIZE CAPACITY FOR WATER HEATERS SHALL BE IN ACCORDANCE WITH THE FIRST HOUR RATING LISTED IN CFC TABLE 8.1.
 - PERICULOUS MATERIALS ARE PROHIBITED FOR WATER PIPE AND FITTINGS WHEN INSTALLED IN THE GARAGE UNLESS A RISK ANALYSIS IS PROVIDED SHOWING THAT SUCH CONDITIONS WILL NOT BE DAMAGING TO THE PIPING MATERIAL. (S.C.M.C. 15.20.020 & CFC 604.1)
 - CAST IRON SHALL NOT BE USED FOR DRAINAGE AND WASTE PIPING WHEN INSTALLED IN THE GARAGE UNLESS A RISK ANALYSIS IS PROVIDED SHOWING THAT SUCH CONDITIONS WILL NOT BE DAMAGING TO THE PIPING MATERIAL. (S.C.M.C. 15.20.020 & CFC 701.1.1)

FIREPLACE NOTES:

- FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY - BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY - BUILT CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- DIRECT VENT GAS APPLIANCE FIREPLACE MUST COMPLY WITH THE CALIFORNIA CODE REQUIREMENTS AND MUST COMPLY WITH ANSI Z21.50.

FIREPLACE #1:

MANUFACTURER: ISOKERN
SERIES: MAXIMUS
MODEL: 46
OPENING SIZE: 45" x 38"
FUEL: NATURAL GAS
VENTING: DIRECT VENT
APPROVAL: PFS-US REPORT# F14-100

FIREPLACE #2:

MANUFACTURER: FMI
SERIES: SENTINEL
MODEL: DV-FE8NH
OPENING SIZE: 35" x 31"
FUEL: NATURAL GAS
VENTING: DIRECT VENT
APPROVAL: PFS-US REPORT# 09-99

AS-BUILT / DEMOLITION PLAN NOTES:

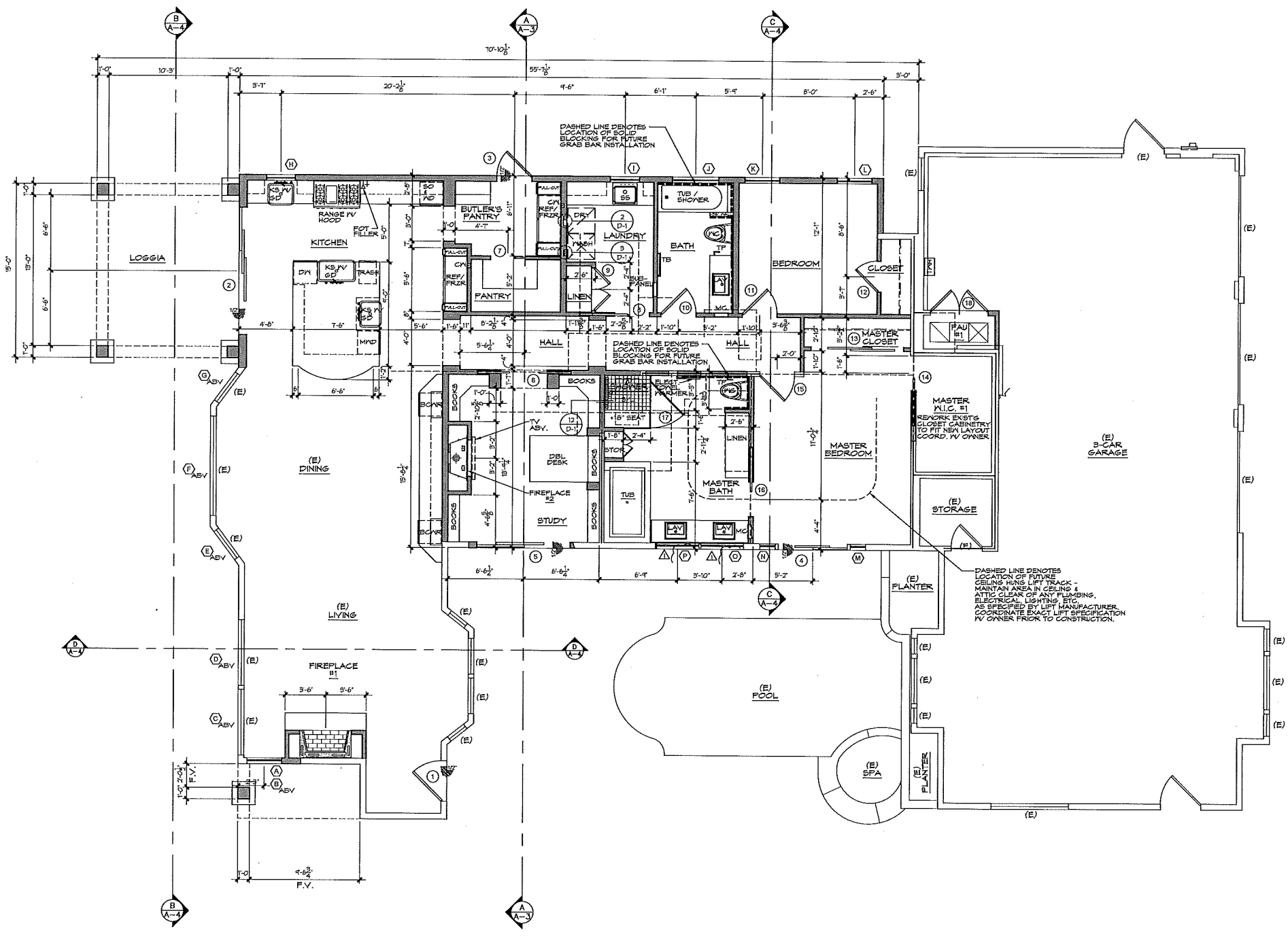
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO FIELD VERIFY EXISTING STRUCTURAL POSTS, BEAMS, INTERIOR & EXTERIOR BEARING WALLS SUPPORTING EXISTING FLOOR, ROOF & CEILING PRIOR TO DEMOLITION. SHORE & BRACE EXISTING STRUCTURE AS REQUIRED.

POST-TENSION SLAB:

CONTRACTOR TO FIELD VERIFY IF EXISTING CONCRETE SLAB IS POST-TENSION PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR REPAIR WORKING TO THE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A POST-TENSION ENGINEER AND / OR CONTRACTOR TO GIVE GUIDANCE AND CRITERIA AND TO PERFORM ALL MODIFICATIONS REQUIRED, AS SHOWN IN THESE DOCUMENTS. WITHOUT CONFIRMING THE STRUCTURAL INTEGRITY OF THE POST-TENSION SYSTEM, THE ARCHITECT OR RECORD IS NOT RESPONSIBLE FOR DETERMINING ANY CONSTRUCTION METHODS OR PROCEDURES AND ASSUMES NO LIABILITY FOR DAMAGE DUE TO ANY MODIFICATIONS MADE TO THE EXISTING SLAB OR STRUCTURE.

PLAN LEGEND:

- DENOTES EXIST'G WALL TO REMAIN
- - - - DENOTES EXIST'G WALL TO BE REMOVED
- DENOTES NEW WALL



NEW FLOOR PLAN



SCALE: 1/4" = 1'-0"

PROJECT CONTACT:

BRIAN MUEHLBAUER
PHONE: (949) 388-5300
FAX: (949) 388-3330
brian@studio6architects.com

PROJECT TEAM:

PRINCIPAL ARCHITECT: BRIAN MUEHLBAUER
DESIGN ARCHITECT: ROBERT WILLIAMS

CLIENT:

PAUL & LYNN HECKLER
34791 DOHENY PLACE
DANA POINT, CA 92624

PROJECT MANAGER:

PHONE NUMBER:
FAX NUMBER:
EMAIL:

HECKLER RESIDENCE
34791 DOHENY PLACE
DANA POINT, CALIFORNIA

PROJECT NUMBER:

2016007

MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION
12.23.16		BLDG DEPT SUB.
12.28.16		PRELIM BID SET
1.26.17		OWNER CHANGES

LICENSE STAMP:



SHEET TITLE:
**NEW ROOF
ROOF PLAN**

SHEET NUMBER:

A-5

ROOFING SPECIFICATIONS:

TILE ROOF:	MANUFACTURER:	GAF
	COLLECTION:	TRUSLATE
	WEIGHT:	MATCH EXISTING
	RATING:	550#/SQ. FT.
	COMPLIANCE REPORT:	UL CLASS A
	UNDERLAYMENT:	ICC-ES-ESR-XXXX
		FIRE-RESISTANT ROOF DECK PROTECTION
METAL ROOF:	MANUFACTURER:	OC METALS
	PANEL TYPE:	STANDING SEAM
	MATERIAL:	COPPER
	PANEL WIDTH:	12"
	PANEL SEAM:	SNAPLOCK
	SEAM HEIGHT:	1"
	SURFACE:	SMOOTH
	FIRE RATING:	UL CLASS A
	APPROVAL:	UL 790
	UNDERLAYMENT:	GRACE ICE & WATER SHIELD HT

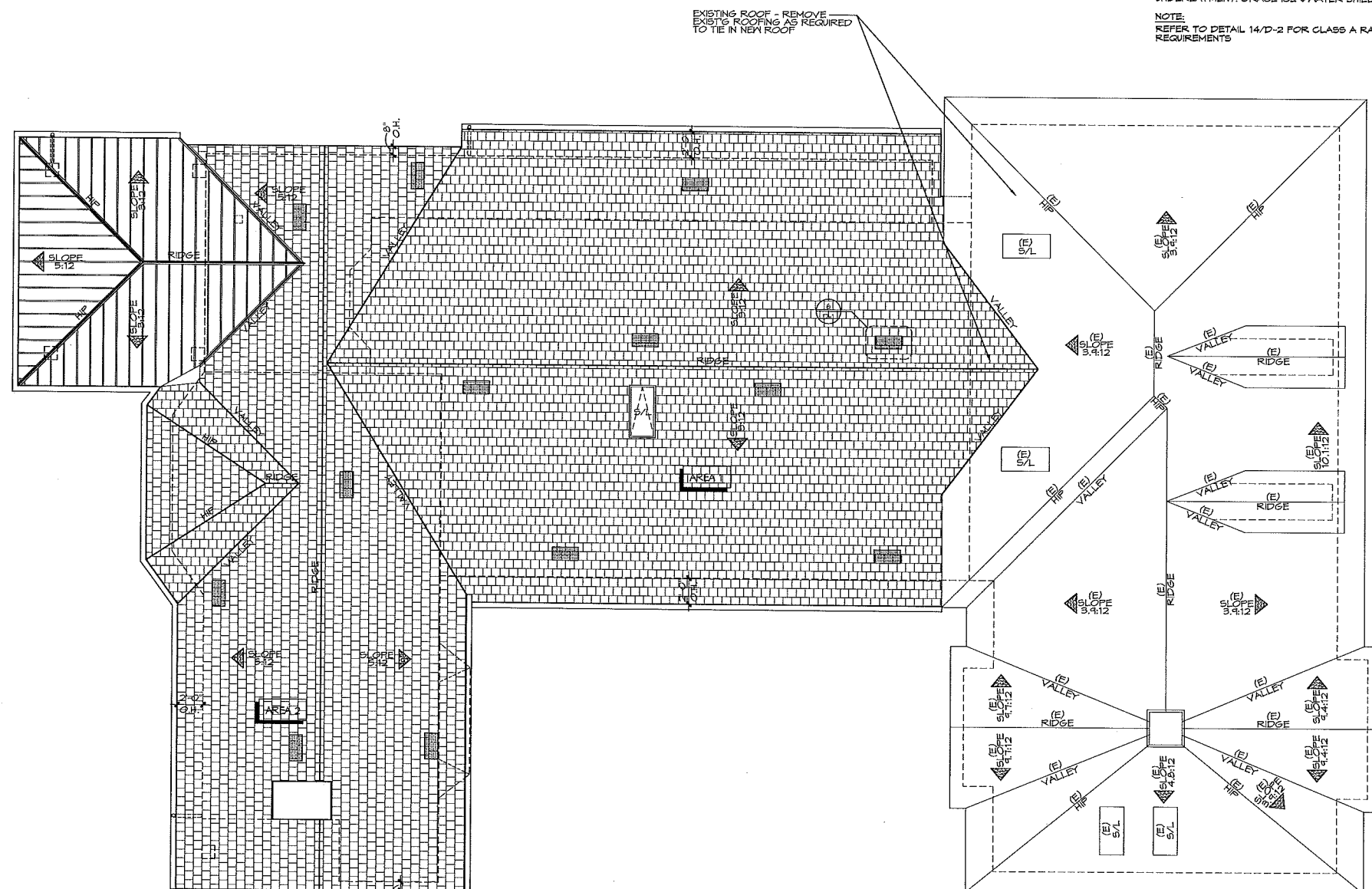
NOTE:
REFER TO DETAIL 14/D-2 FOR CLASS A RATING REQUIREMENTS

ROOF PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- ▲ INDICATES ROOF FITCH AS NOTED ON THE ROOF PLAN.
- ALL PLUMBING AND EQUIPMENT VENTS MUST BE CONSOLIDATED AND LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE.
- ALL FLASHING, SHEET METAL, VENT STACKS AND PIPES SHALL BE COPPER.
- PROVIDE COPPER FLASHING AT ALL VALLEYS AND ROOF TO WALL CONDITIONS. REFER TO DETAILS.
- IN "CALIFORNIA" DOUBLE FRAME AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION.
- IF "CALIFORNIA" DOUBLE FRAME AREA HAS MORE THAN 80" HEADROOM PROVIDE A 20" x 30" MIN. ACCESS THROUGH MAIN ROOF SHEATHING, VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND "POP-OUTS" SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
- AT ALL AREAS WITHIN THE ROOF ATTIC WITH 80" MIN. CLEAR HEADROOM, PROVIDE A 20" x 30" MIN. ATTIC ACCESS TO THOSE AREAS. ATTICS WITH APPLIANCES OR F.A.U. UNITS INSTALLED IN THEM, PROVIDE A 30" x 30" MIN. ATTIC ACCESS, (PROVIDED F.A.U. MAY PASS THROUGH) WITH 30" MIN. CLEAR HEADROOM. PROVIDE WEATHER STRIPS AT PANEL TO PREVENT BACK DRAFT.
- PRIOR TO THE RELEASE OF THE ROOF SHEATHING INSPECTION, THE APPLICANT SHALL SUBMIT CERTIFICATION, BY A SURVEY OR OTHER APPROPRIATE METHOD, THAT THE HEIGHT OF THE STRUCTURES IS IN COMPLIANCE WITH THE ADOPTED APPROVAL RESOLUTION, AND THE HEIGHT LIMITATIONS (IF ANY) OF THE APPLICABLE ZONING DISTRICT.
- ALL ROOF EAVE GUTTERS SHALL BE 6" HALF-ROUND, NON-EXTRUDED, CONTINUOUS COPPER WITH NO SEAMS. ALL DOWNSPOUTS SHALL BE COPPER, 4" DIA. ROUND WITH WELDED BEAMS. REFER TO ROOF PLAN AND EXTERIOR ELEVATIONS FOR LOCATIONS.
- COORDINATE CONNECTION OF CONTINUOUS ROOF EAVE GUTTERS AND DOWNSPOUTS TO ALLOW WATER TO FLOW AWAY FROM THE STRUCTURE. DOWNSPOUTS SHOULD BE CONNECTED TO CLOSED PIPES THAT DISCHARGE INTO SITE STORM DRAIN SYSTEM OR ONTO PAVED SURFACES THAT CARRY THE WATER AWAY AT LEAST 5'-0" FROM THE BUILDING'S FOUNDATION.
- ANY FORCED AIR UNITS LOCATED IN THE ATTIC MUST BE POSITIONED IN SUCH A MANNER THAT THE REQUIRED DISTANCE FROM THE VENT OUTLET TO THE TOP OF THE FLUE CAP IS WITHIN THE ATTIC, ALLOWING THE EXTERIOR HEIGHT OF THE FLUE CAP ABOVE THE FINISHED ROOFING TO BE THE MINIMUM ALLOWED BY CODE.
- VENTING SHALL EXTEND ABOVE THE ROOF AND SHALL TERMINATE IN VENT CAP. TERMINATION POINTS SHALL BE AT LEAST 4 FEET BELOW OR HORIZONTALLY FROM AND 1 FOOT ABOVE ANY OPENING INTO THE BUILDING, BE AT LEAST 3 FEET ABOVE ANY FORCED AIR INLET INTO THE BUILDING LOCATED WITHIN 10 FEET, AND SHALL BE 4 FEET AWAY FROM THE PROPERTY LINE, PER 2010 C.M.C. AND 2010 C.F.C.
- ROOF ELEVATIONS ARE TO TOP OF FINISHED MATERIAL. TYP. U.N.C.
- DS - DENOTES DOWNSPOUT LOCATION.

ATTIC VENTILATION NOTES:

- PER 2015 C.R.C. SECTION R806 - ENCLOSED ATTICS AND ENCLOSED SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/8" INCH MINIMUM AND 1/2" INCH MAXIMUM. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION LARGER THAN 1/2" INCH SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16" MINIMUM AND 1/4" MAXIMUM. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R802.1. MINIMUM VENT AREA: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/80 OF THE AREA OF VENTED SPACE.
EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/500 OF THE AREA OF VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
1. IN CLIMATE ZONES 14 & 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
2. AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 9 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 9 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.



NEW ROOF PLAN

SCALE: 1/4" = 1'-0"

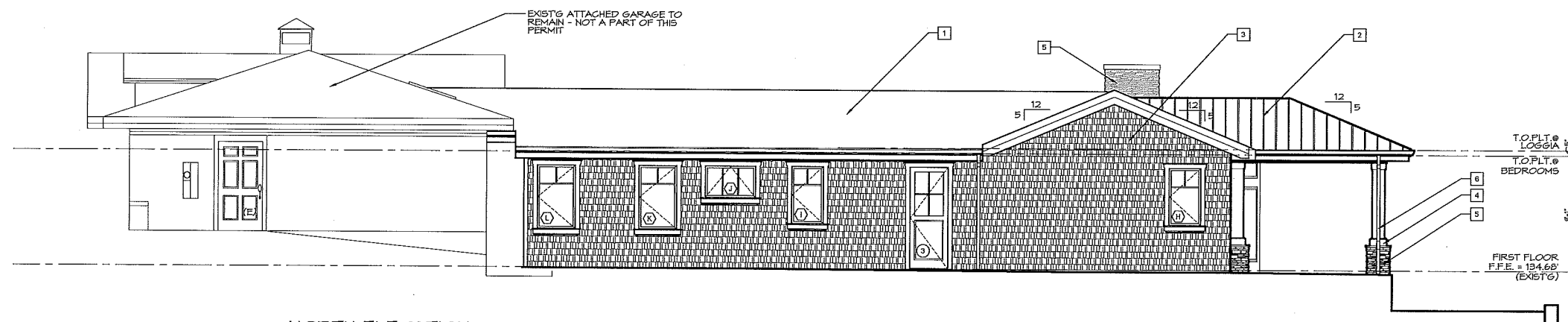


ATTIC VENTING CALCULATIONS:

AREA 1	ATTIC SQUARE FOOTAGE =	1284 S.F.
	1284 SQ. FT. X 1/500	4.28 S.F.
	4.28 SQ. FT. X 144 SQ. IN. (REQUIRED)	616.32 S.I.
	HIGH ROOF VENTILATION:	
	(4) FLAT MODEL X 98.75 S.I. =	395.00 S.I.
	LOW ROOF VENTILATION:	
	(3) FLAT MODEL X 98.75 S.I. =	296.25 S.I.
	TOTAL PROVIDED:	691.25 S.I.

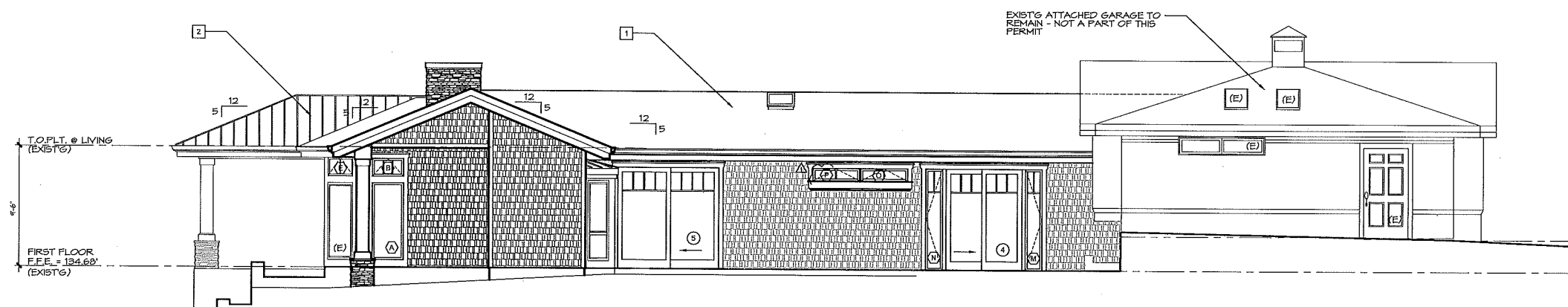
ATTIC VENTING CALCULATIONS:

AREA 2	ATTIC SQUARE FOOTAGE =	1068 S.F.
	1068 SQ. FT. X 1/500	3.54 S.F.
	3.54 SQ. FT. X 144 SQ. IN. (REQUIRED)	510.24 S.I.
	HIGH ROOF VENTILATION:	
	(3) FLAT MODEL X 98.75 S.I. =	296.25 S.I.
	LOW ROOF VENTILATION:	
	(3) FLAT MODEL X 98.75 S.I. =	296.25 S.I.
	TOTAL PROVIDED:	592.50 S.I.



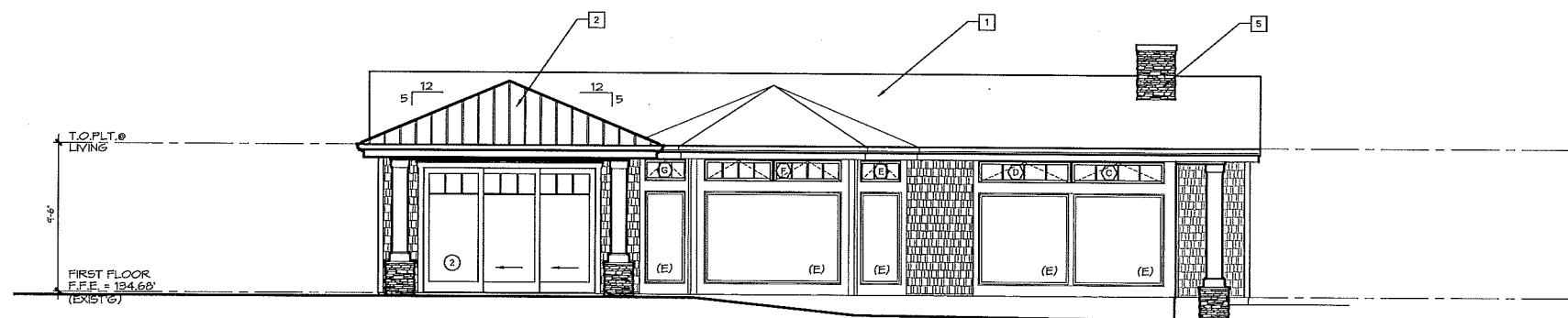
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



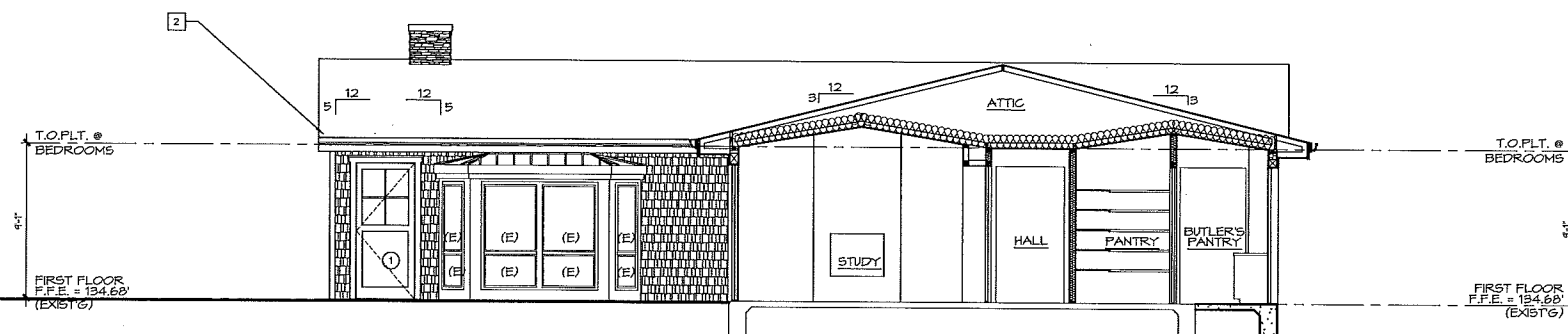
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION / SECTION A

SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO REMOVE ALL EXISTING ROOFING, WATERPROOFING, FLASHING & EXTERIOR FINISH MATERIAL, REPLACE PER NEW SPECIFICATIONS.
- CONTRACTOR TO REMOVE ALL EXISTING DOORS & WINDOWS, U.N.O. REPLACE PER NEW SPECIFICATIONS.
- CONTRACTOR TO REMOVE ALL EXISTING ROOF & WALL INSULATION, REPLACE PER ENERGY CALCULATION REQUIREMENTS.
- DO NOT SCALE DRAWINGS.

ELEVATION KEYNOTES:

- ROOFING: (TILE)**
MANUFACTURER: xxx
COLLECTION: xxxxx
STYLE: xxxxx
COLOR: MATCH EXISTING
RATING: UL CLASS A
APPROVAL: xxxxx
NOTE: REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION.
- ROOFING: (METAL)**
MANUFACTURER: CC METALS
STANDING SEAM
MATERIAL: COPPER
PANEL WIDTH: 12"
PANEL SEAM: SNAP LOCK
SEAM HEIGHT: 1"
SURFACE: SMOOTH
RATING: UL CLASS A
APPROVAL: UL T90
NOTE: REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION.
- SHINGLE SIDING:**
MANUFACTURER: JAMESHARDIE
PRODUCT: HARDIESHINGLE SIDING
STYLE: STRAIGHT EDGE
EXPOSURE: 5"
THICKNESS: 1/4"
FINISH: FIELD PAINTED (DELIVER PRIMED)
COLOR: TBD
COMPLIANCE REPORT: ICC-ES-E8R-2240
- TRIM BOARD:**
MANUFACTURER: JAMESHARDIE
PRODUCT: HARDIETRIM
STYLE: 5/4 SMOOTH
SIZE: VARIES - SEE DETAILS
THICKNESS: 1"
FINISH: FIELD PAINTED (DELIVER PRIMED)
COLOR: TBD
COMPLIANCE REPORT: ICC-ES-E8R-1844
- STONE VENEER:**
MATCH EXISTING
- GUTTER & DOWNSPOUT:**
MATERIAL: COPPER
THICKNESS: 16 OZ.

PROJECT CONTACT:

BRIAN MUEHLBAUER
PHONE: (949) 388-5300
FAX: (949) 388-3330
brian@studio6architects.com

PROJECT TEAM:

PRINCIPAL ARCHITECT: BRIAN MUEHLBAUER
DESIGN ARCHITECT: ROBERT WILLIAMS

CLIENT:
PAUL & LYNN HECKLER
34791 DOHENY PLACE
DANA POINT, CA 92624

PROJECT MANAGER:
PHONE NUMBER:
FAX NUMBER:
EMAIL:

HECKLER RESIDENCE
34791 DOHENY PLACE
DANA POINT, CALIFORNIA

PROJECT NUMBER:

2016007

MILESTONES / REVISIONS

NO.	DATE	DESCRIPTION
12.23.16		BLDG DEPT SUB
12.28.16		PRELIM BID SET
1.26.17		OWNER CHANGES

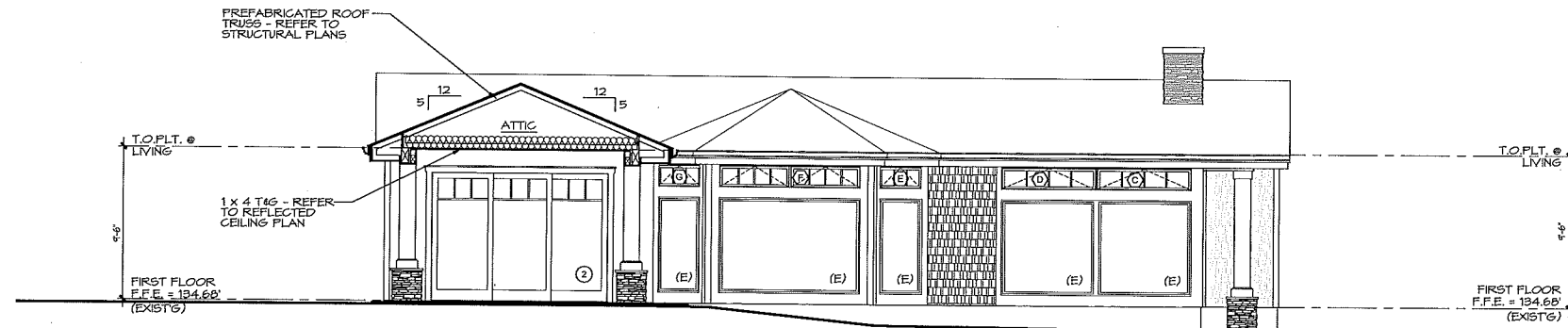
LICENSE STAMP:



SHEET TITLE:
SECTIONS
A & B

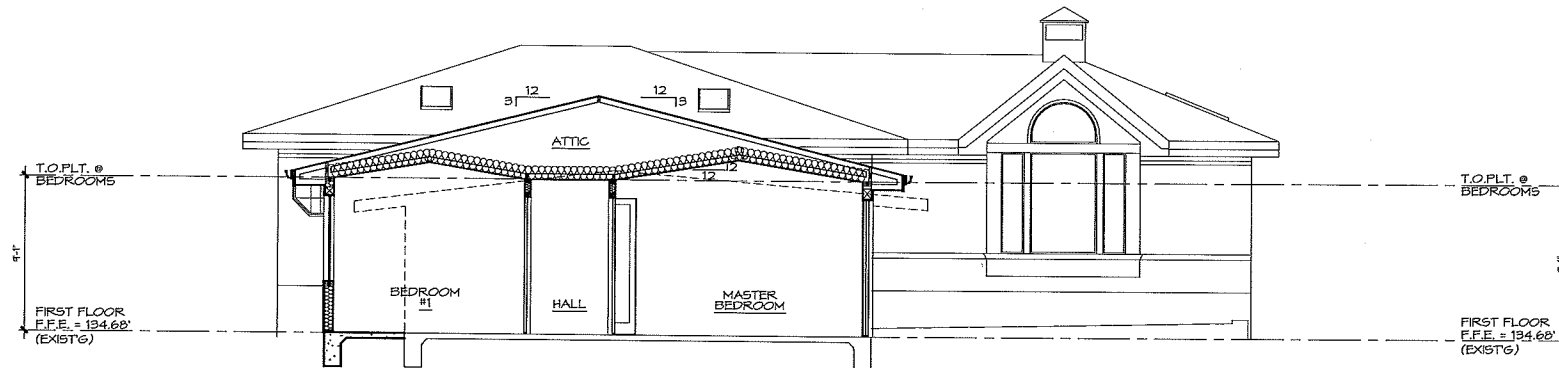
SHEET NUMBER:

A-4



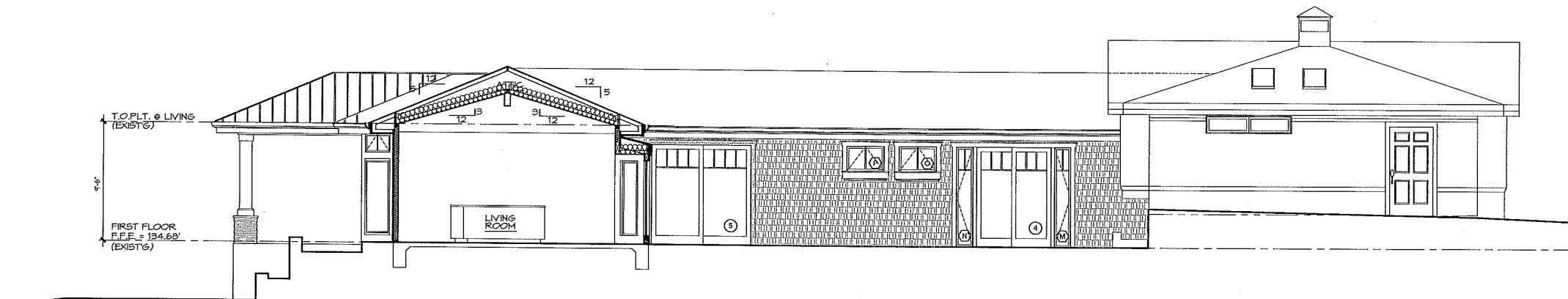
SECTION B

SCALE: 1/8" = 1'-0"



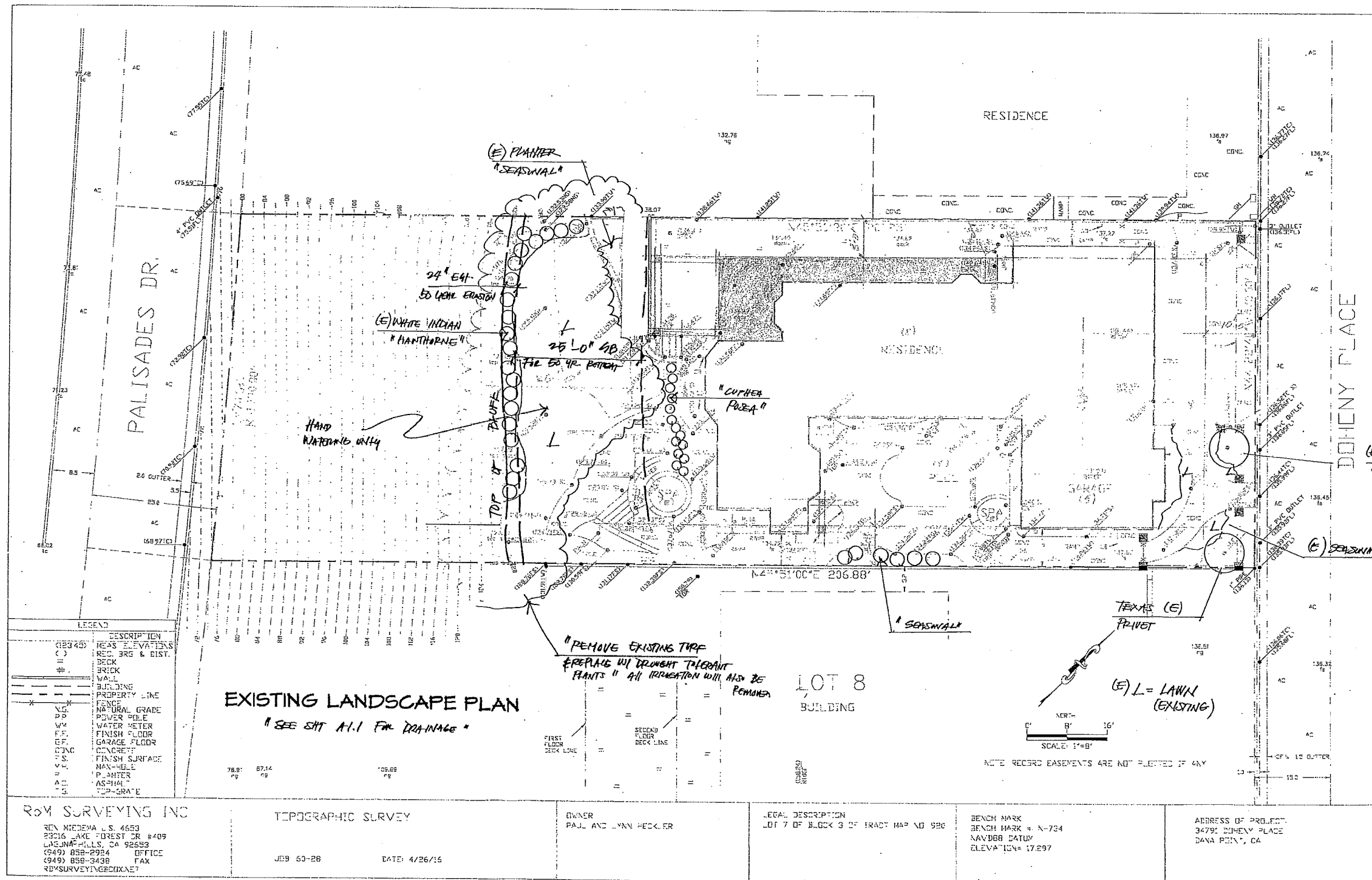
SECTION C

SCALE: 1/8" = 1'-0"



SECTION D

SCALE: 1/8" = 1'-0"



THE HECKLER RESIDENCE
 34791 DOHENY PLACE, DANA POINT, CA.

PROJECT NUMBER:
 2016007.00

Studio 6
 ARCHITECTS

STUDIO 6 ARCHITECTS, INC.
 ARCHITECTURE + PLANNING
 2753 CAMINO CHRISTIANO, SUITE 202
 SAN Geronimo, CA 92672
 (949) 368-5300 PHONE
 (949) 368-5300 FAX
 STUDIO6ARCHITECTS.COM

A-8