

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JUNE 13, 2016

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
LIANE SCHULLER, PLANNER

SUBJECT: SITE DEVELOPMENT PERMITS SDP16-0001 AND SDP16-0002 TO ALLOW THE CONSTRUCTION OF TWO DETACHED DWELLING UNITS ON EACH OF TWO CONTIGUOUS SITES IN THE RESIDENTIAL DUPLEX (RD-14) ZONING DISTRICT AT 34466 AND 34468 VIA VERDE

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Site Development Permits SDP16-0001 and SDP16-0002.

APPLICANT: Haitham A. Hafeez

OWNER: Yaqout Investments, LLC

REQUEST: Approval of Site Development Permits 16-0001 and 16-0002 to allow the demolition of an existing single-family residence and the construction of two detached dwelling units on each of two contiguous sites in the Residential Duplex (RD-14) Zoning District.

LOCATION: 34466 and 34468 Via Verde (APN 691-401-10, 11)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on June 2, 2016, published within a newspaper of general circulation on June 2, 2016, and posted on June 2, 2016 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorical Exempt per Section 15303 (b) (Class 3 – New Construction or Conversion of Small Structures) in that the application proposes the construction of less than six dwelling units.

ITEM #8

ISSUES:

- Project consistency with the development standards of the Dana Point General Plan and Zoning Code (DPZC).
- Project satisfaction of all findings required pursuant to the DPZC for approval of a Site Development Permit (SDP).
- Project compatibility with and enhancement of the site, surrounding neighborhood.

BACKGROUND: The 19,050 square-foot project site is comprised of two adjacent residential lots, Lots 29 and 30, measuring 9,484 square feet and 9,566 square feet, respectively. Lot 30 currently contains an existing single-family residence. Lot 29 is effectively vacant, although a small portion of exterior hardscape on Lot 30 extends onto Lot 29.

The project site is zoned as "Residential Duplex 14" (RD-14) which allows one residential dwelling unit for each 2,500 square feet of land area and has a General Plan designation of Residential 7-14 du/acre.

The project site is not located within the City's Coastal Overlay District (the California Coastal Zone).

DISCUSSION: The proposed scope of work includes the removal of all existing site improvements and the construction of two new, detached duplexes, one on each lot (for a total of four dwelling units). A common access driveway is proposed down the center of the project site, straddling the common property line. The common access driveway will require the recordation of an easement between the two lots, which is included as a condition of approval in the Draft Resolution (Attachment 1).

The general development standards for this property are set forth in Zoning Code Chapter 9.09 (Residential Development Standards). New development on this site is required to observe a 20'-0" front setback, 4'-0" side setbacks, and a 15'-0" rear setback. The proposed development complies with these setback requirements, as well as the specified height limit, parking, lot coverage, and open space requirements.

The proposed residential structures each feature an attached two-car garage and private backyard area. Each two-story dwelling unit has five bedrooms, and five and one-half bathrooms. The 2,800 square-foot units at the front of each lot (Units A-1 and B-1) are mirror images of one another. The rear units on each site (Unit A-2 and B-2) are also mirror-images of each other and are slightly larger at 3,303 square-feet each.

A two-car, attached garage is provided for each proposed dwelling unit, which complies with the parking standards set forth in Zoning Code Chapter 9.35 (two-car garage

required for detached homes with five bedrooms or less).

The project complies with the maximum allowed height limit of 28'-0", which is based upon the 6/12 roof slope proposed for each residential structure. Proposed exterior finishes include textured stucco and concrete roof tile. Decorative shutters and stone cladding are proposed to add architectural interest to the entry elevation of each structure. A color and materials sheet is attached for review (Attachment 4).

The proposed development is required to provide open space equal to 20% of the project site area. The project as designed provides 2,784 square feet of open space on Lot 29 and 2,818 square feet on Lot 30, for an overall open space area of 5,602 square feet. This exceeds the minimum requirement of 3,810 square feet, and meets the intent of the code to provide sufficient open areas for the use and enjoyment of the residents of the residential units. The provided open space includes landscaped areas within the side and rear yards, ground level patios and upper level deck areas.

The project is found to comply with all applicable development standards of the Dana Point Zoning Code and no variances or other deviations are requested.

Site Development Permits SDP16-0001 and 16-0002

The subject application proposes the construction of two detached dwelling units on each of two contiguous sites and pursuant to DPZC Section 9.71.020 approval of a Site Development Permit is required. Section 9.71.050 of the DPZC stipulates a minimum of four findings for approval of a Site Development Permit:

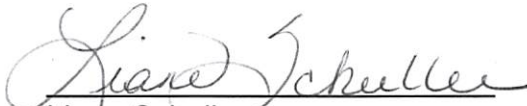
- 1. Compliance of the site design with development standards of this Code.*
- 2. Suitability of the site for the proposed use and development.*
- 3. Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
- 4. Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

Staff's recommended findings to approve Site Development Permits 16-0001 and 16-0002 are set forth in the attached Draft Resolution.

CORRESPONDENCE: No correspondence related to the proposed project has been received to-date.

CONCLUSION: Staff finds the proposed project consistent with the policies and provisions of the Dana Point General Plan and Zoning Code. As the project has been found to comply with all standards of development and findings can be made for

approval of the request, staff recommends the Planning Commission adopt the attached resolution, approving Site Development Permits SDP16-0001 and 16-0002.


Liane Schuller
Planner


Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 16-06-13-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Color and Materials
5. Architectural Plans

RESOLUTION NO. 16-06-13-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMITS SDP16-0001 AND 16-0002 TO ALLOW THE CONSTRUCTION OF TWO DETACHED DWELLING UNITS ON EACH OF TWO CONTIGUOUS SITES IN THE RESIDENTIAL DUPLEX (RD-14) ZONING DISTRICT AT 34466 AND 34468 VIA VERDE

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, Haitham A. Hafeez (the "Applicant") has filed applications on behalf of Yaqout Investments, LLC ("Owner"), the Owner of real property commonly referred to as 34466 and 34468 Via Verde (APN's: 691-401-10 and 11) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Site Development Permit to allow the construction of two new, detached dwelling units on each of two contiguous sites; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act ("CEQA"), the project is Categorically Exempt per Section 15303 (b) (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of less than six dwelling units; and

WHEREAS, the Planning Commission did, on the 13th day of June, 2016 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Site Development Permits SDP16-0001 and 16-0002.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves SDP16-0001 and SDP16-0002 subject to conditions:

1. That the site design is in compliance with the standards of the Dana Point Zoning Code in that **all proposed development is permitted in the property's Residential Duplex 14 (RD-14) Zoning District, subject to approval of a SDP. The subject project has been reviewed by Planning and Building/Safety Divisions as well as the Public Works/Engineering Department and found to conform to all standards of development.**
2. That the site is suitable for the proposed use and development in **that the proposed project is a medium density residential development that complies with the intended use and density standard established by the property's RD-14 Zoning District.**
3. That the project complies with all elements of the General Plan as well as applicable provisions of the City's Urban Design Guidelines in that the proposal ***"achieves design excellence in site planning, architecture, landscape architecture and signage in new development and modifications to existing development."*** The proposed residential development has been designed to complement existing residential development in the vicinity in both form and mass, and coupled with new or additional site landscaping, constitutes an overall enhancement of the subject property.
4. That the site and structural design are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture, **in that the proposed development conforms to the standards of the property's RD-14 Zoning District and is consistent with existing surrounding development in terms of size, mass and scale.**

Conditions:

A. **General:**

1. Approval of this application allows the construction of two, new detached dwelling units on each of two contiguous sites at 34466 and 34468 Via Verde. Subsequent submittals shall be in substantial compliance with the plans presented to the Planning Commission and in compliance with applicable provisions of the Dana Point Zoning Code.
2. Approval of this application is valid for a period of 24 months (two

years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.

3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other

related documentation.

7. The Applicant and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The applicant shall be responsible for coordination with SDG&E, AT&T California and Cox Communication Services for the provision of electric, telephone and cable television services, including any existing or proposed easements.
9. The use of the public right of way for construction purposes shall not be allowed. An encroachment permit is required for all use of the public right-of-way.
10. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion control measures. The applicant shall maintain the erosion control devices until the final approval of all permits.
11. During the construction phase, all construction materials, wastes, grading or demolition debris, and stockpiles shall be properly managed to prevent transport into the streets, gutters, storm drains.

B. Prior to Issuance of a Grading Permit:

12. The applicant shall submit grading plans, in compliance with City standards, for review and approval by the City Engineer and/or Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
13. Any damaged to City owned street or property by the applicant's work shall be repaired per City Standards and as directed by the City Engineer.
14. Surety to guarantee the completion of the project grading and drainage improvements, including erosion control, up to 100% of the approved Engineer's cost estimate shall be posted to the satisfaction of the City Engineer and the City Attorney.

15. The applicant shall submit a geotechnical report in accordance with City standards. The applicant shall prepare a detailed geotechnical report for review and approval by the City Engineer.
16. The grading plans shall depict the size and location of existing and proposed gas, sewer and water and electrical conduit from the point of connection in the Public Right-of-Way to the building.
17. The easement agreement for the proposed shared driveway and any other shared uses will be evaluated prior to permit issuance by the City Engineer. All agreements and/or easements shall be submitted for review and approval.
18. The applicant shall maintain the proposed minimal amount of impervious area for compliance with the City's MS4 permit. Additional impervious area or revisions during the construction process may require the submittal of a Water Quality Management Plan (WQMP) for review and approval.

C. Prior to Issuance of a Building Permit:

19. The applicant shall apply for any Building Permits required to facilitate the grading activities, such as shoring or retaining wall construction. The review and approval of these applications shall be processed through the Building Department. All permits required to facilitate grading activities will be issued concurrently with the grading permit.
20. The applicant shall obtain a grading permit and complete rough grading (establishment of building pad) in accordance with the approved grading plans and reports.
21. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (per the City's standard Civil Engineer's Certification Template for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
22. An as-graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report

should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

23. The applicant shall submit a rough grade certification from the geotechnical professional for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical professional (per the City's standard Geotechnical Engineer's Certification Template for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plans and report.

D. Prior to Issuance of a Certificate of Use and Occupancy:

24. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
25. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
26. All work in the right-of-way shall be completed in conformance with the Improvement and Encroachment Permit conditions to the satisfaction of the City Engineer.
27. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
28. Any and all outstanding fees associated with any part of the entire project shall be paid.
29. All permanent BMP's and/or landscaping shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 13th day of June, 2016, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

April O'Connor, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department

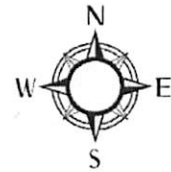
VICINITY MAP



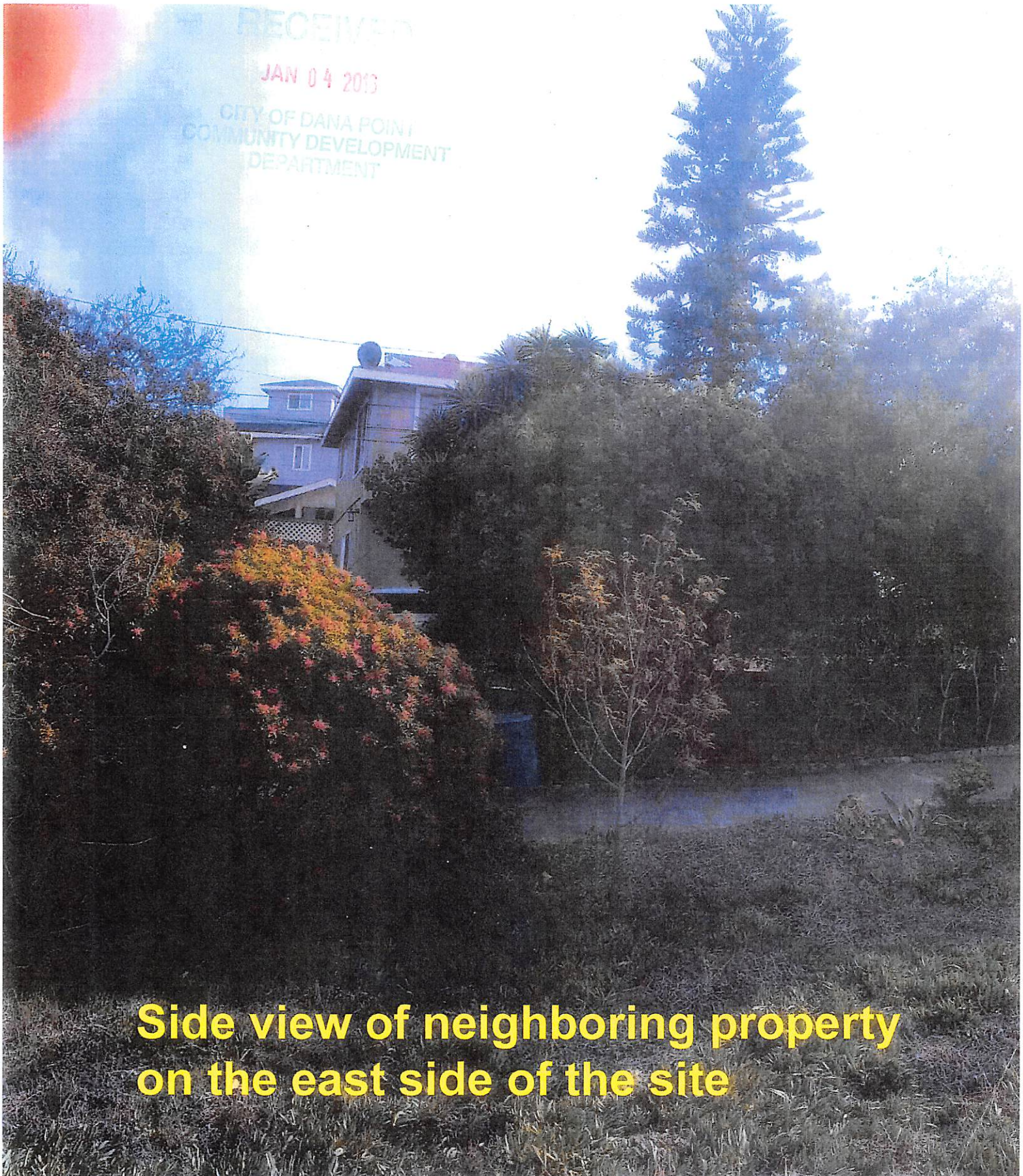
Project : SDP16-0001 and SDP16-0002

Project Applicant: Haitham Hafeez

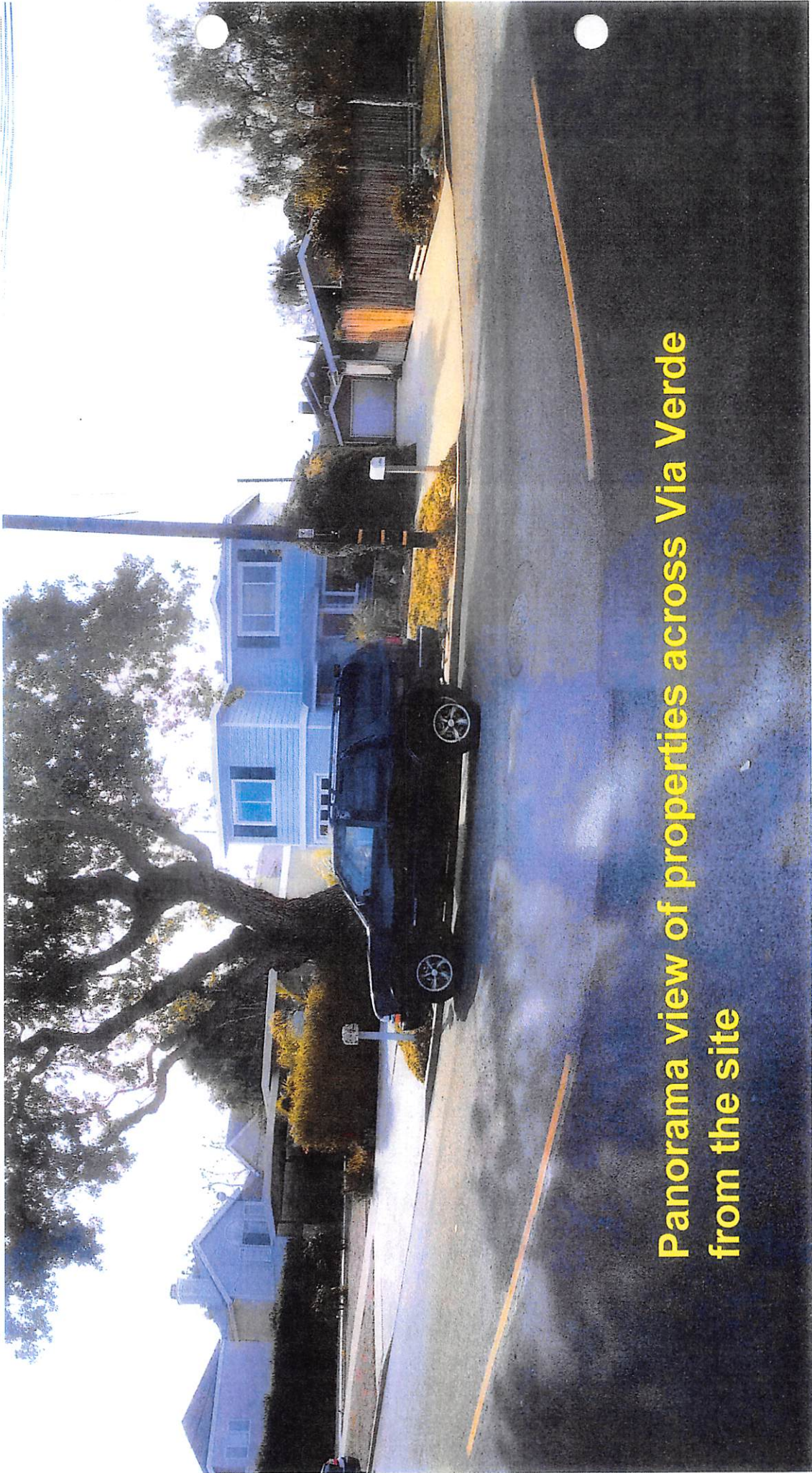
Location: 34466 and 34468 Via Verde



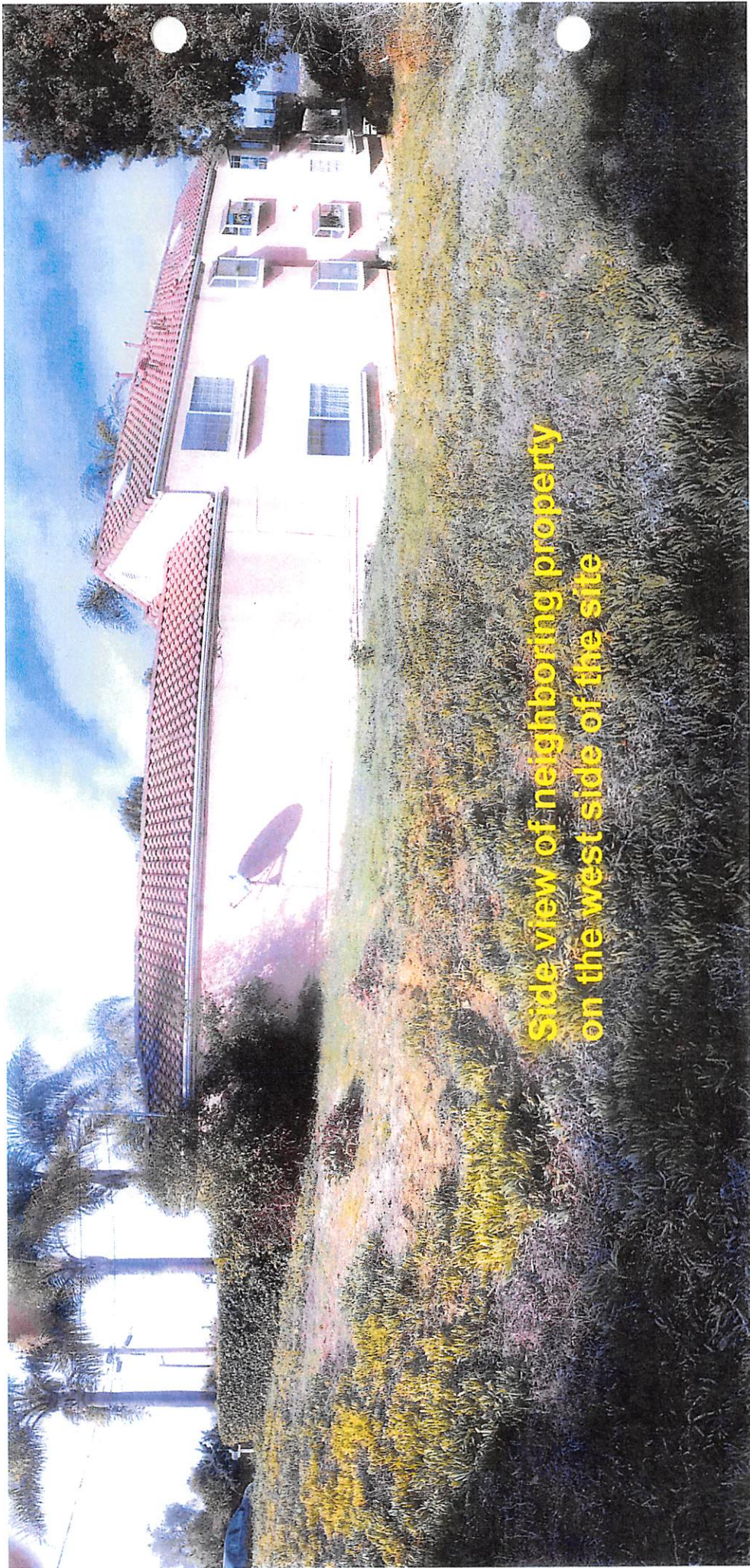
RECEIVED
JAN 04 2013
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



Side view of neighboring property on the east side of the site



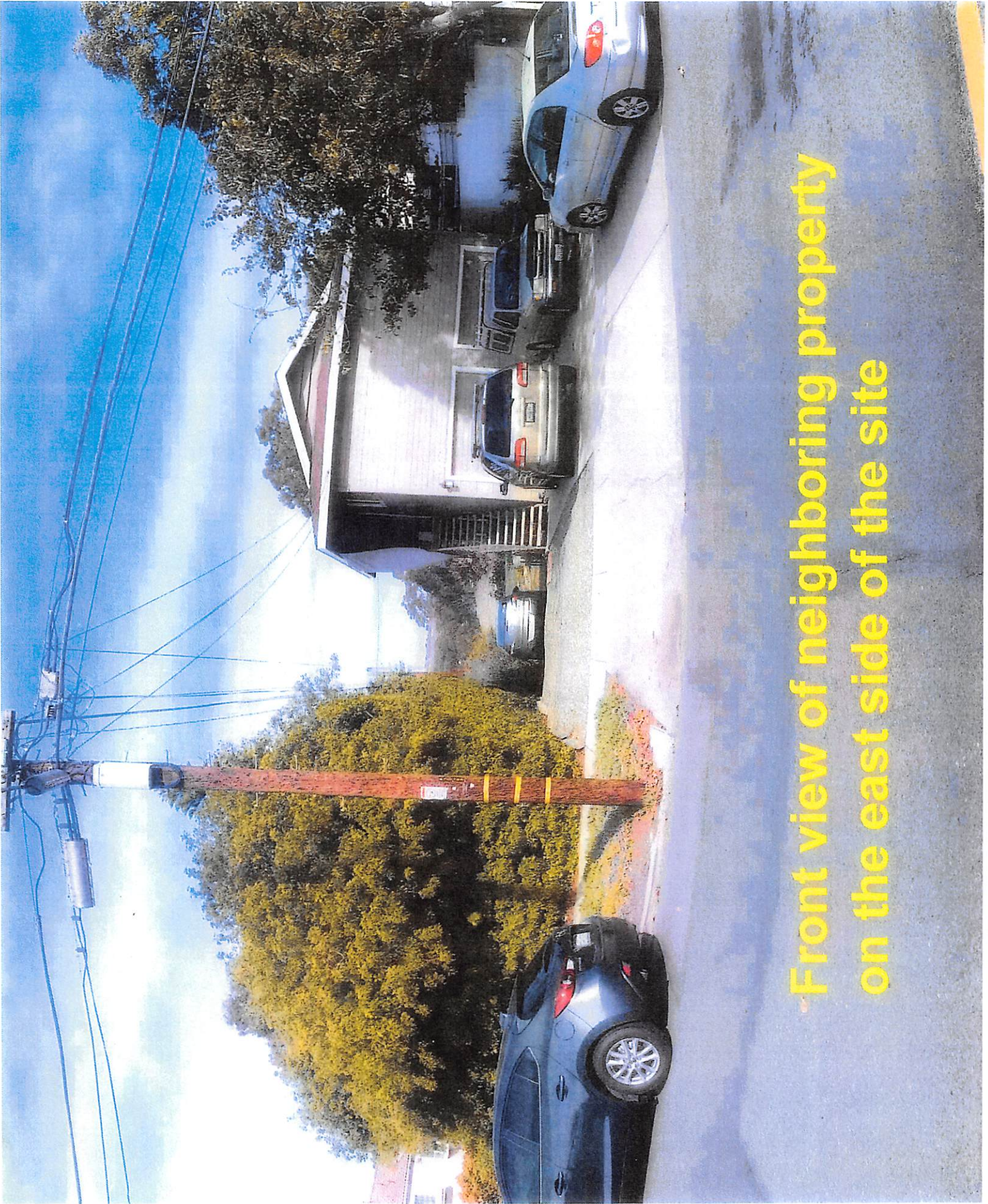
**Panorama view of properties across Via Verde
from the site**



**Side view of neighboring property
on the west side of the site**



**Front view of the neighboring property
on the west side of the site**



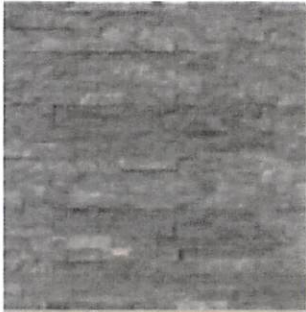
**Front view of neighboring property
on the east side of the site**



Color/ Material Sheet

34466 & 34468 Via Verde

Stone Veneer



Glacial Black



Canyon Creek



Cordoba Noche



Durango Cream

Stucco



16/20 Float Finish
Sponge Float, Light Grit Sand

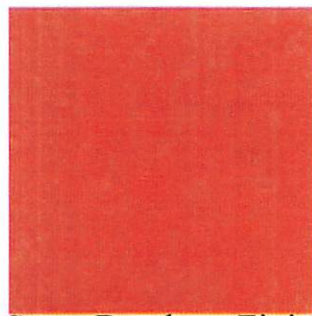


20-30 Float Finish
Sponge Float, Light Grit Sand



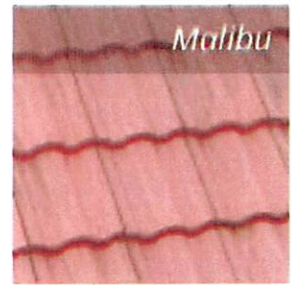
Exterior
Walls
&
Retaining
Walls

Santa Barbara Catface Finish
Steel Trowel,
Double Application in various areas



Santa Barbara Finish
Steel Trowel, Single Application

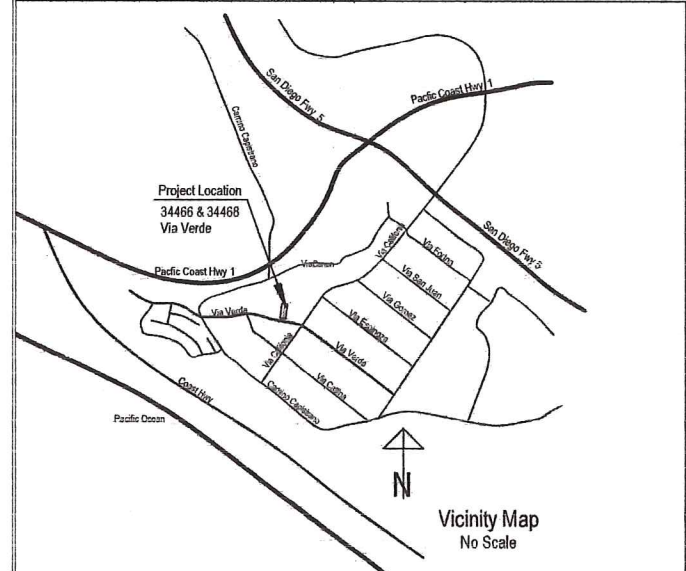
Roof Tiles



All Roof Tile are
Light Weight Concrete
by
Eagle Roofing

Proposed Construction of Detached Two-Story Duplex

at
 34466 Via Verde, Dana Point, APN 691-401-10
 &
 34468 Via Verde, Dana Point, APN 691-401-11



Sheet Index:

A-01.01	Site Plan and Cover Sheet
A-01.02	Topographic Survey
A-02.01	South Elevation Plans-All units
A-02.02	North Elevation Plans-All units
A-02.03	East Elevation Plans-Units A-1, A-2
A-02.04	East Elevation Plans-Units B-1, B-2
A-02.05	West Elevation Plans-Units A-1, A-2
A-02.06	West Elevation Plans-Units B-1, B-2
A-03.01	Floor Plans-Unit A-1
A-03.02	Floor Plans-Unit A-2
A-03.03	Floor Plans-Unit B-1
A-03.04	Floor Plans-Unit B-2
A-04.01	Site Sections
A-04.02	Site Sections
A-04.03	Site Sections
A-05.01	Roof Plan
A-06.01	Open Space Plan
G-01.0	Grading Plan
G-02.0	Site Profile Plan
L-1, L-2	Landscape Plan
L-3, L-4	Irrigation Plan

Site Analysis

	34466 Via Verde, Lot 29	34468 Via Verde, Lot 30
Zone	RD14	Zone RD14
Occupancy Type	R3/U	Occupancy Type R3/U
Construction Type	V-B	Construction Type V-B
Fire Sprinklered	Yes	Fire Sprinklered Yes
Total dwelling Units	2	Total dwelling Units 2
APN	691-401-10	APN 691-401-11
Lot area	9484 sq ft	Lot area 9568 sq ft
Building footprint Unit A-1	1741 sq ft	Building footprint Unit A-1 1741 sq ft
Building footprint Unit A-2	1996 sq ft	Building footprint Unit A-2 1996 sq ft
Total Building footprint	3737 sq ft	Total Building footprint 3737 sq ft
Lot Coverage %	39.4%	Lot Coverage % 39.0%
Max Allowable Lot Coverage %	50%	Max Allowable Lot Coverage % 50%
Total landscape area	5747 sq ft	Total landscape area 5829 sq ft
Landscape %	60.6%	Landscape % 60.9%
Total pervious pavement area	2110 sq ft	Total pervious pavement area 2110 sq ft
Total pervious pavement area %	22.2%	Total pervious pavement area % 22.1%
Total impervious area	3737 sq ft	Total impervious area 3737 sq ft

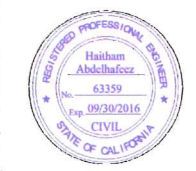
Scope of Work:
Lot 29:
 - Construction of New Detached Two-Story Residential Duplex
Lot 30:
 - Demolition of existing one-story single family house
 - Removal of existing driveway
 - Construction of New Detached Two-Story Residential Duplex

Legal Description:
 Lots 29 and 30 in Block 7 of Tract no. 735, in the City of Dana Point, County of Orange, State of California, as per map thereof, recorded in Book 22, Pages 21 to 28 inclusive of miscellaneous maps, records of Orange County

All work shall conform to the:
 2013 California Building Code (CBC)
 2013 California Residential Code (CRC)
 2013 California Mechanical Code (CMC)
 2013 California Electrical Code (CEC)
 2013 California Plumbing Code (CPC)
 2013 California Green Building Standards (CGBS)
 2013 California Energy Efficiency Standards (CEES)
 City of Dana Point Municipal Code

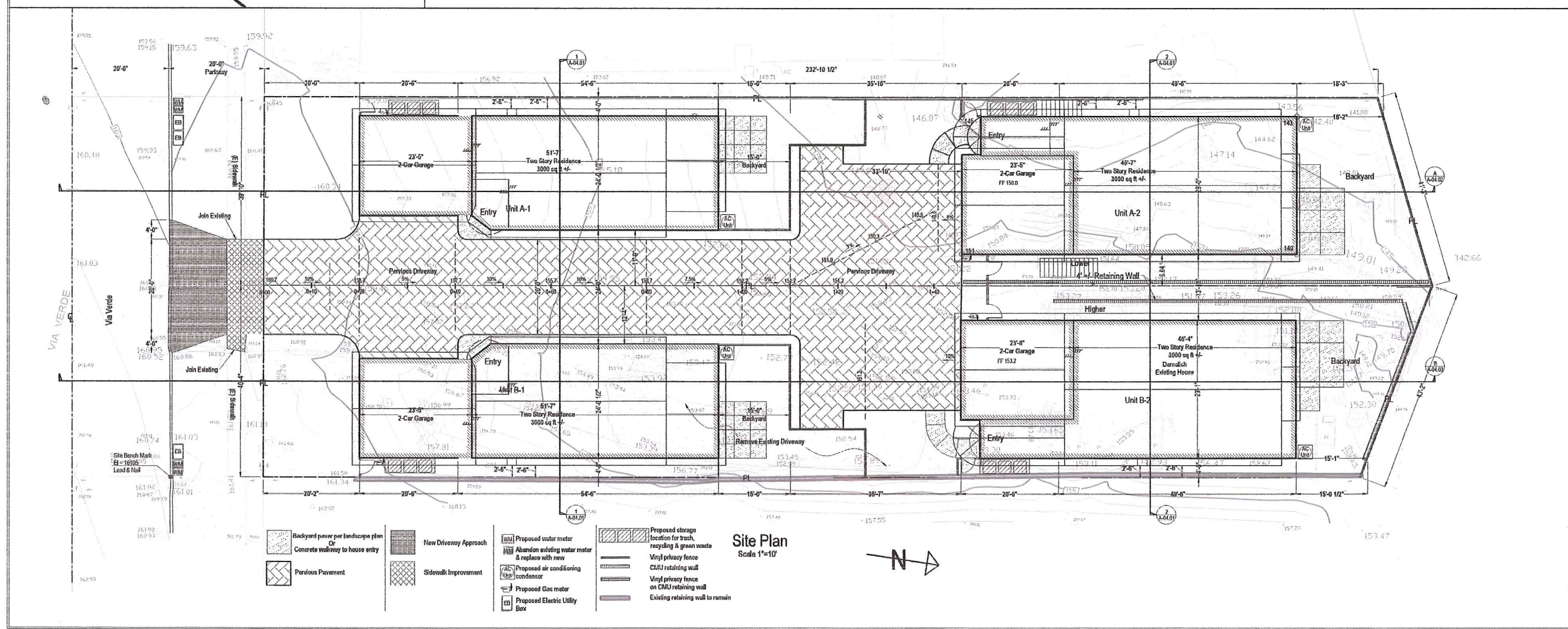
New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



Haltham A. Hafeez

www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haltham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com



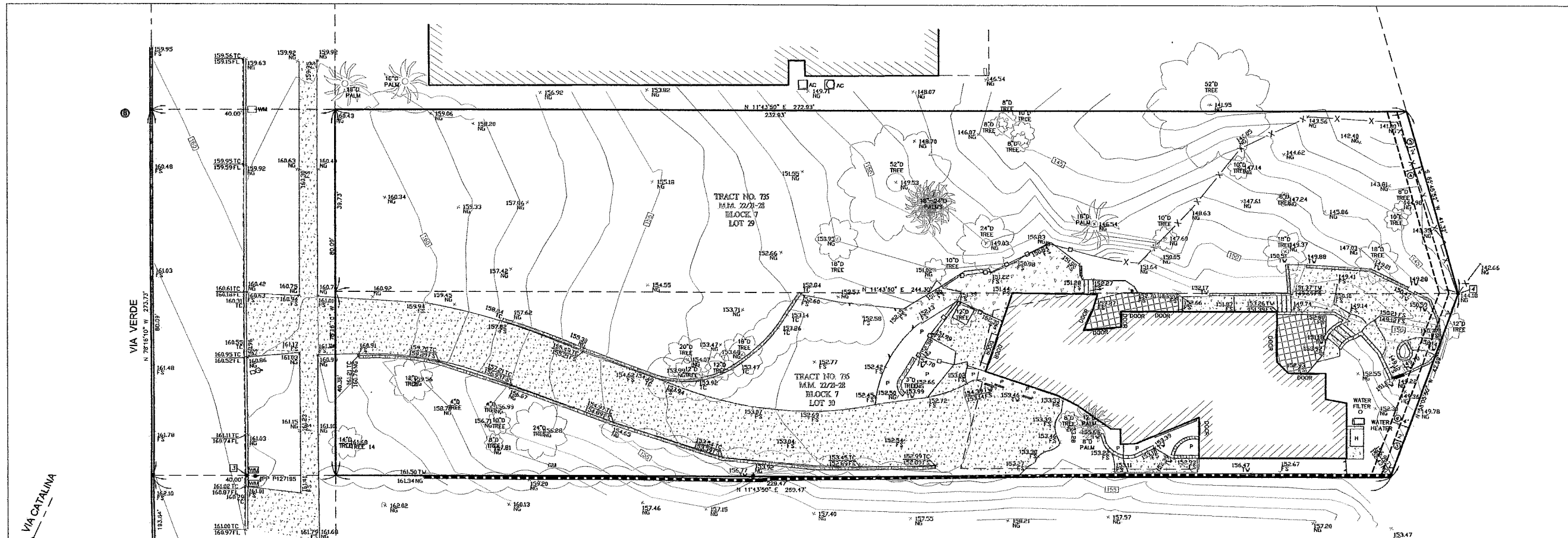
Revisions

1	03/04/16	Per Site Development Review
2	04/09/16	Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No.

A-01.01

Site Plan & Cover Sheet



VIA VERDE
N 281°15'00" W 232.37'

VIA CATALINA
N 35°29'17" E 305.59'

CALIFORNIA STREET

LEGEND	
AC	AC UNIT
[Symbol]	BLOCK WALL
[Symbol]	BRICK PLANTER
[Symbol]	BUILDING
[Symbol]	CHAIN LINK FENCE
[Symbol]	COLUMN
[Symbol]	CONCRETE
[Symbol]	CONCRETE WALL
[Symbol]	CONTOUR
[Symbol]	EDGE OF PAVEMENT
[Symbol]	FINISHED SURFACE
[Symbol]	FLOW LINE
[Symbol]	GAS METER
[Symbol]	OH
[Symbol]	GATE
[Symbol]	HEATER
[Symbol]	HEDGE
[Symbol]	HOSEBIB
[Symbol]	MAILBOX
[Symbol]	NATURAL GROUND
[Symbol]	PALM
[Symbol]	PLANTER
[Symbol]	POWER POLE
[Symbol]	ROCK PLANTER
[Symbol]	SEWER MANHOLE
[Symbol]	TILE
[Symbol]	TC
[Symbol]	TOP OF WALL
[Symbol]	TV
[Symbol]	TREE
[Symbol]	WATER METER
[Symbol]	WOOD FENCE
[Symbol]	WROUGHT IRON FENCE

EQUITY TITLE COMPANY

PER EQUITY TITLE COMPANY ORDER NO. 011412209
DATED: DECEMBER 17, 2014

LEGAL DESCRIPTION:

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
LOTS 29 AND 30 IN BLOCK 7 OF TRACT NO. 735, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP THEREOF, RECORDED IN BOOK 22, PAGES 21 TO 28 INCLUSIVE OF MAPS, RECORDS OF ORANGE COUNTY.

ASSESSOR'S PARCEL NO: 691-401-10 & 11
AREA: 19,040.02 S.F. (0.437 ACRES)

SCHEDULE B EXCEPTION ITEMS:

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS. (NOT ABLE TO PLOT)
2. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INWALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, SOURCE OF INCOME OR DISABILITY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES OR SECTION 12955 OF THE CALIFORNIA GOVERNMENT CODE. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSIDERED AS RESTRICTIONS BASED ON FAMILIAL STATUS. RECORDED: DECEMBER 11, 1932 IN BOOK 68A, PAGE 849, OF OFFICIAL RECORDS. AFFECTS: LOT 30 (NOT ABLE TO PLOT)
3. AN EASEMENT FOR PURPOSES STATED AND INCIDENTAL RIGHTS. FOR: POLE LINES GRANTED TO: SAN DIEGO CONSOLIDATED GAS & ELECTRIC COMPANY RECORDED: OCTOBER 1, 1928 IN BOOK 203, PAGE 272, OF OFFICIAL RECORDS. AFFECTS: THE REAR 2 FEET OF SAID LAND (PLOTTED ON THE SURVEY)
4. AN EASEMENT FOR PURPOSES STATED AND INCIDENTAL RIGHTS. FOR: POLE LINES AND CONDUITS GRANTED TO: PACIFIC TELEPHONE AND TELEGRAPH COMPANY RECORDED: JUNE 14, 1931 IN BOOK 22D1, PAGE 170, OF OFFICIAL RECORDS. AFFECTS: THE NORTHEASTERLY 4 FEET OF SAID LAND (PLOTTED ON THE SURVEY)
5. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INWALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, SOURCE OF INCOME OR DISABILITY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES OR SECTION 12955 OF THE CALIFORNIA GOVERNMENT CODE. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSIDERED AS RESTRICTIONS BASED ON FAMILIAL STATUS. RECORDED: FEBRUARY 11, 1937 IN BOOK 378B, PAGE 279, OF OFFICIAL RECORDS. AFFECTS: LOT 30 (NOT ABLE TO PLOT)

BASIS OF BEARINGS:

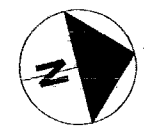
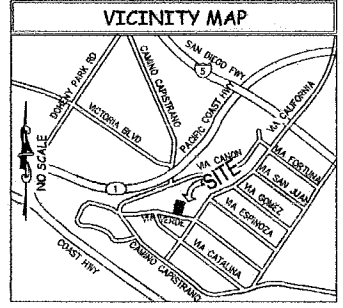
THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTER LINE OF CALIFORNIA STREET, BEING N 35° 29' 10" E AS SHOWN ON TRACT MAP NO. 735 FILED IN BOOK 22, PAGES 21 TO 28, INCLUSIVE, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

BENCH MARK:

COUNTY OF ORANGE BENCHMARK NO. E-785
ELEVATION = 22.333 FEET (NAVD 88 DATUM) 1989
DESCRIBED BY OCS 2003 - FOUND A 5/4" USGS BRONZED DISK STAMPED "E 785 1944", SET IN THE TOP OF A 6 IN. BY 6 IN. CONCRETE POST. MONUMENT IS LOCATED ALONG THE EASTERLY SIDE OF THE OVERCROSSING OF PACIFIC COAST HIGHWAY, 24.8 FT. NORTHERLY OF THE CENTERLINE OF A CONCRETE BOX CULVERT UNDERCROSSING, 0.2 FT. WESTERLY OF A CONCRETE CURB FOR A BOAT/RV PARKING FACILITY AND 15 FT. EASTERLY OF THE EASTERLY HAIL ALONG THE RAILWAY. MONUMENT IS SET 1 FT. LOWER THAN THE TRACKS.

MONUMENT NOTES:

- = INDICATES FOUND MONUMENT AS DESCRIBED HEREON
- [1] = S/W "LS 4453" PER CORNER RECORD DOCUMENT NO. 2010-1336 B
- [2] = S/W "LS 6970" PER CORNER RECORD DOCUMENT NO. 2011-0898 B
- [3] = LEAD WITH NAIL 19.35" D/S ON PRODUCED PROPERTY LINE
- [4] = 3/4" IRON PIPE WITH NAIL "LS 2627" PER TRACT MAP NO. 14503, U.M. 719/17-18.



A-01.02



Atanacio Payan

PAYAN SURVEYING, INC.
2404 MARY CLARE STREET
CORONA, CA 92882
PHONE: 951-858-6812
EMAIL: atanacio@payansurveying.com
PLS 7796

DATE	REVISIONS	INITIALS

TOPOGRAPHIC SURVEY		
DRAWN AP	DATE 6/04/15	ADDRESS 34466 AND 34468 VIA VERDE DANA POINT, CA 92624
APPROVED	DATE	
SCALE 1" = 10'	SHEET 1 OF 1	PROJECT NO. 15072

Elevations Plan

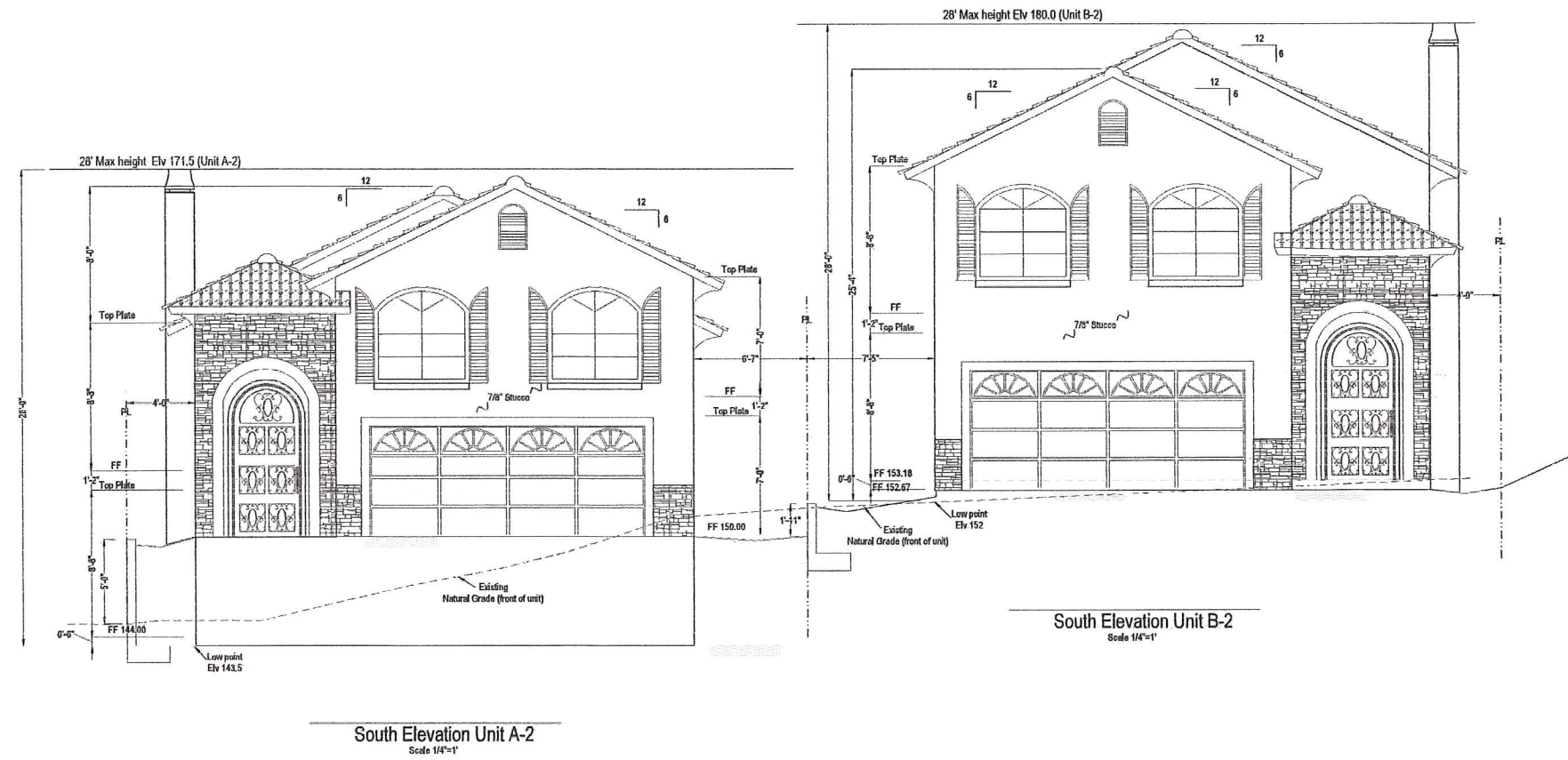
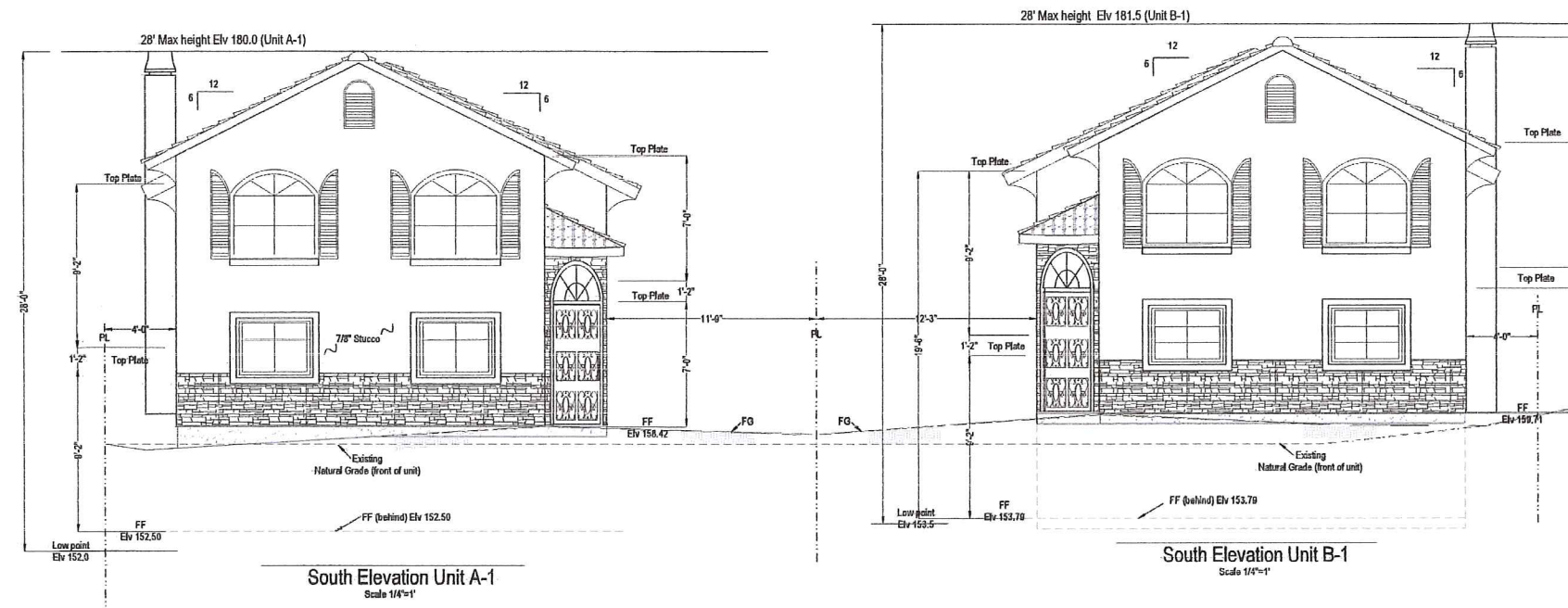
New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



Haitham A. Hafeez

www.HafeezConsulting.com
 1451 S. Hacienda St.
 Anaheim, CA 92804
 Project Engineer:
 Haitham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com



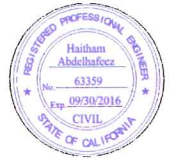
Revisions	
1	03/04/16 Per Site Development Review
2	04/06/16 Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No. **A-02.01**

Elevations Plan

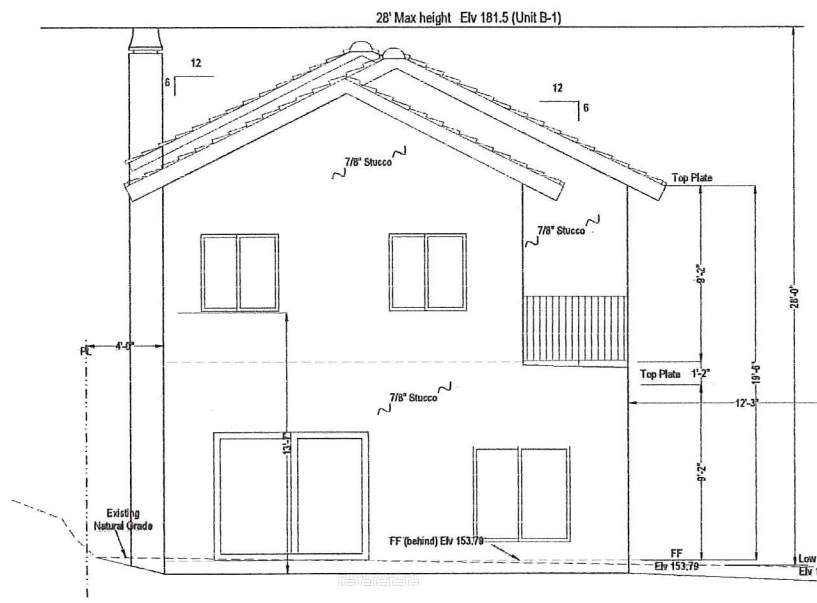
New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708

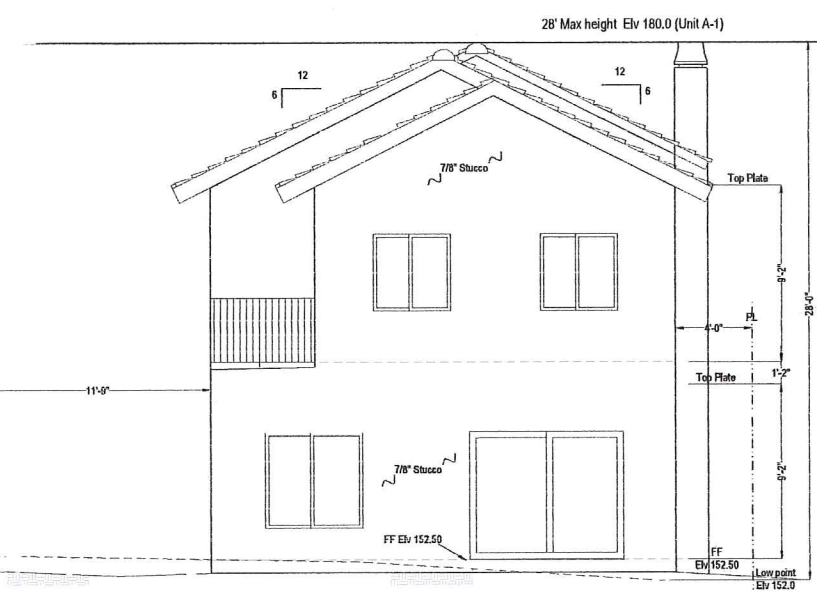


Haltham A. Hafeez

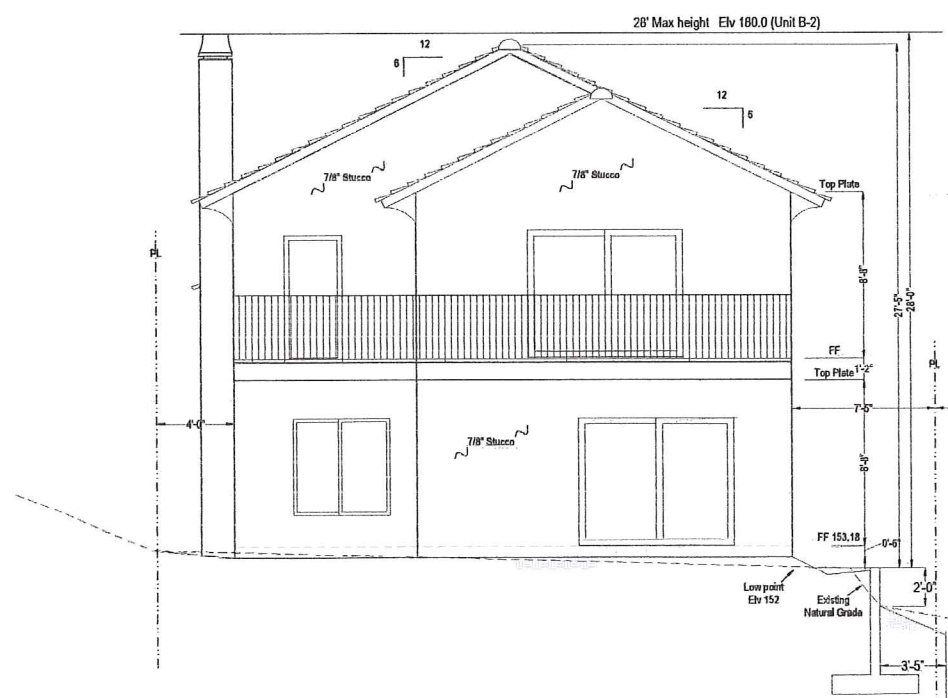
www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haltham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com



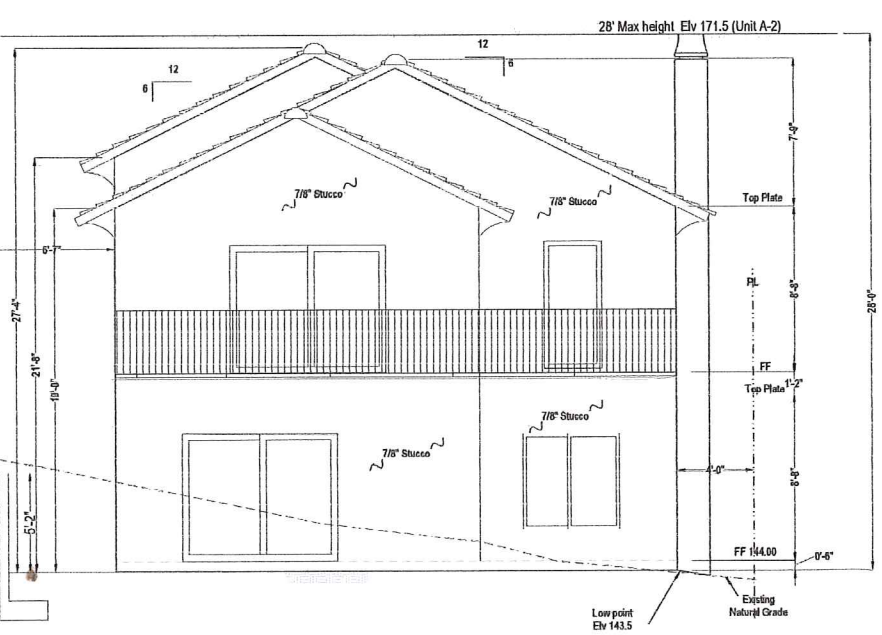
North Elevation Unit B-1
 Scale 1/4"=1'



North Elevation Unit A-1
 Scale 1/4"=1'



North Elevation Unit B-2
 Scale 1/4"=1'



North Elevation Unit A-2
 Scale 1/4"=1'

Revisions		
1	03/04/16	Per Site Development Review
2	04/05/16	Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No. **A-02.02**

Elevations Plan

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708

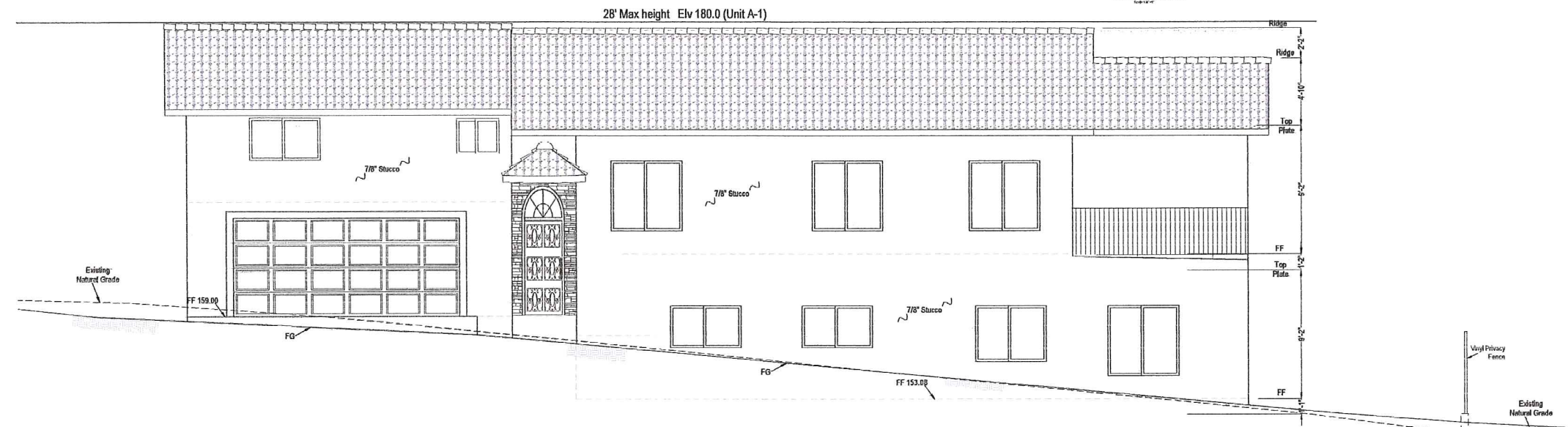
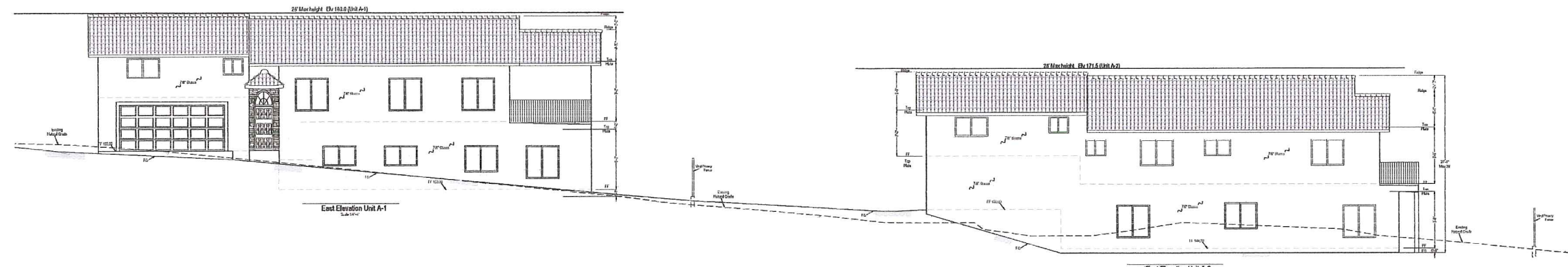


Haltham A. Hafeez

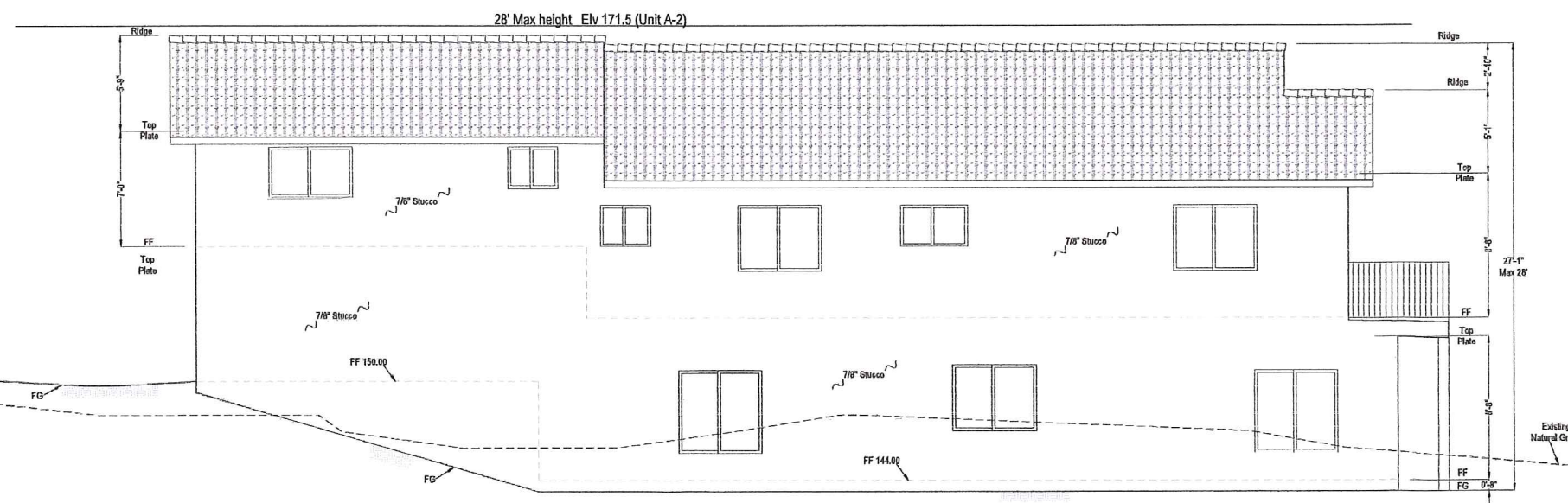
www.Hafeez Consulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haltham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions	
1	03/04/16 Per Site Development Review
2	04/06/16 Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No.
A-02.03



East Elevation Unit A-1
 Scale 1/4"=1'

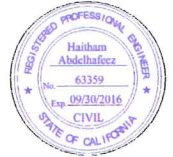


East Elevation Unit A-2
 Scale 1/4"=1'

Elevations Plan

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



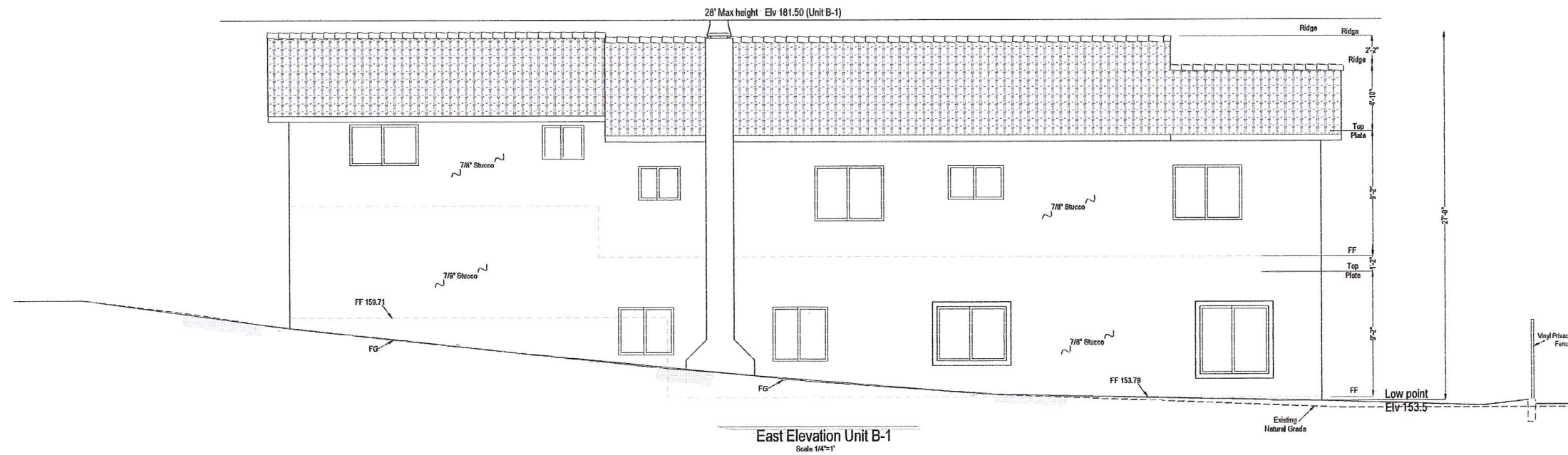
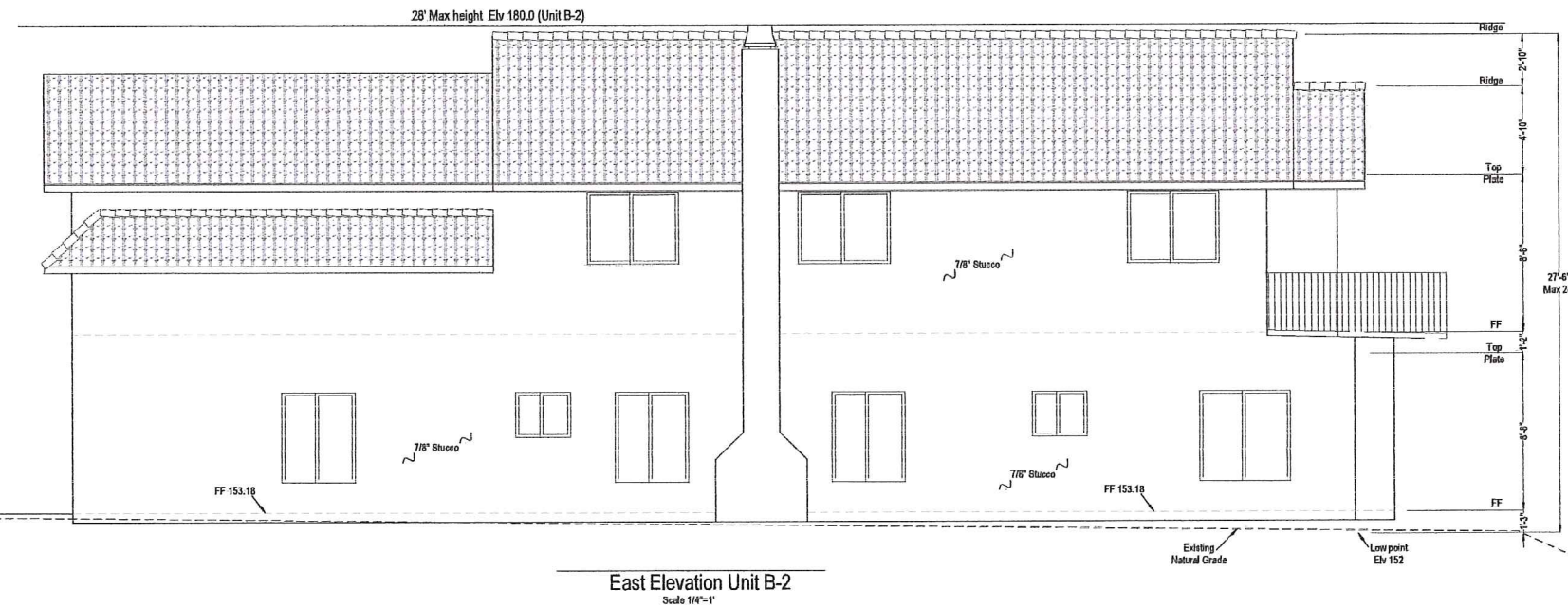
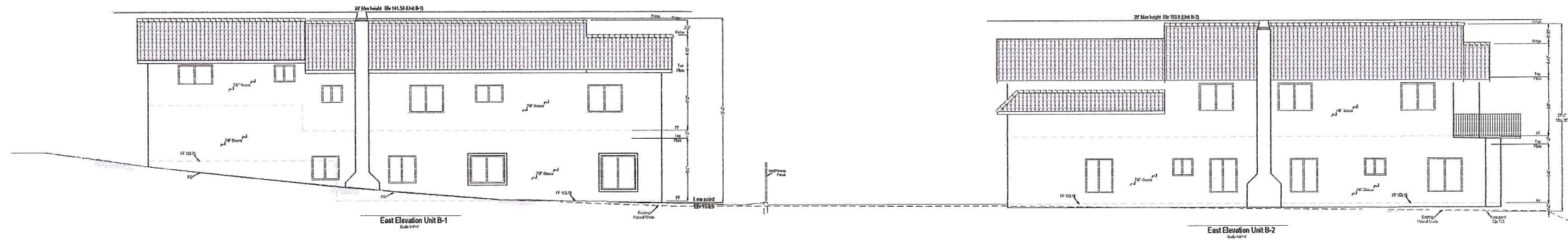
Haltham A. Hafeez

www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haltham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions	
1	03/04/16 Per Site Development Review
2	04/05/16 Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016

Sheet No. **A-02.04**



Elevations Plan

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



Halitham A. Hafeez

www.Hafeez Consulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Halitham A. Hafeez, P.E.
 Tel (714) 225-4565
 Fax (714) 917-2977
 engineer@hafeezconsulting.com

Revisions		
1	03/04/16	Per Site Development Review
2	04/08/16	Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No.

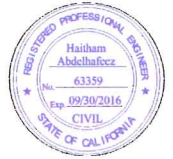
A-02.05



Elevations Plan

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



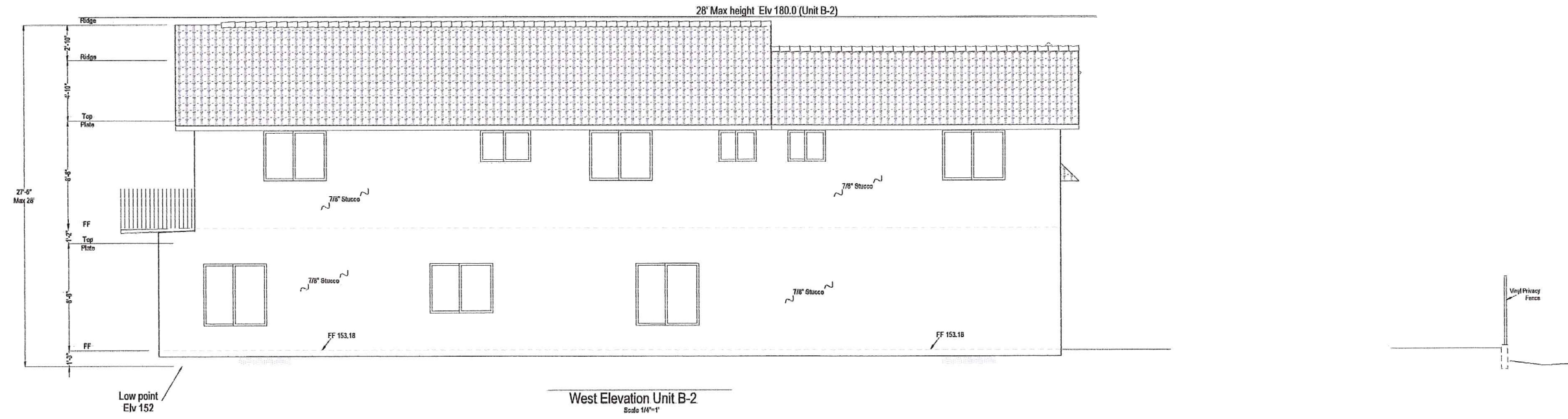
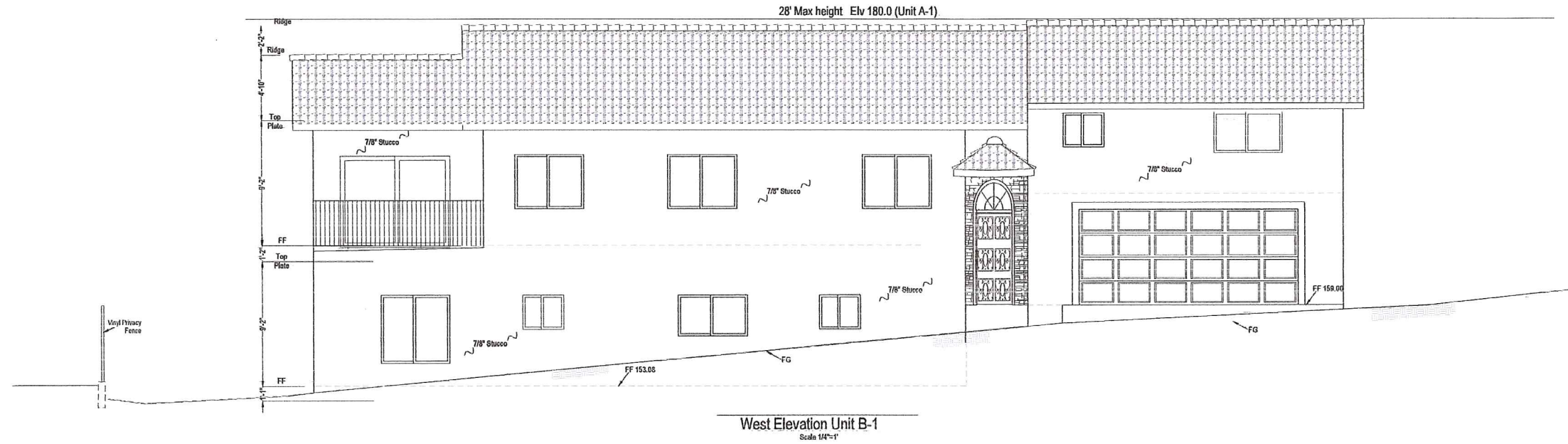
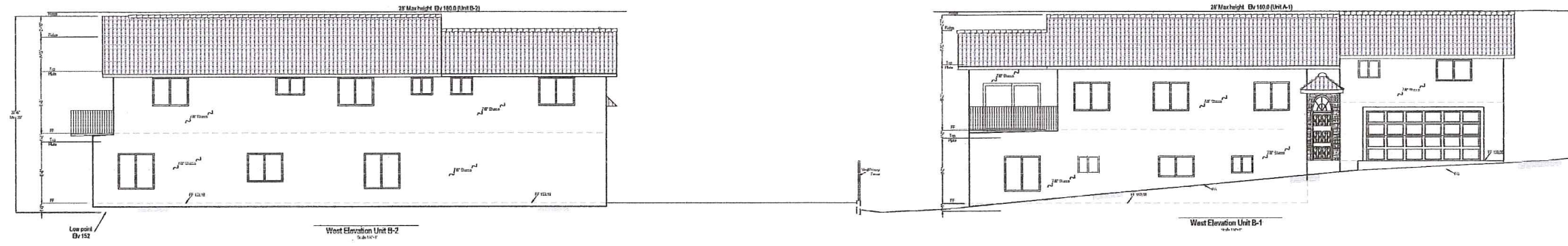
Haltham A. Hafeez

www.Hafeez Consulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haltham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions	
1	03/04/16 Per Site Development Review
2	04/06/16 Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016

Sheet No. **A-02.06**

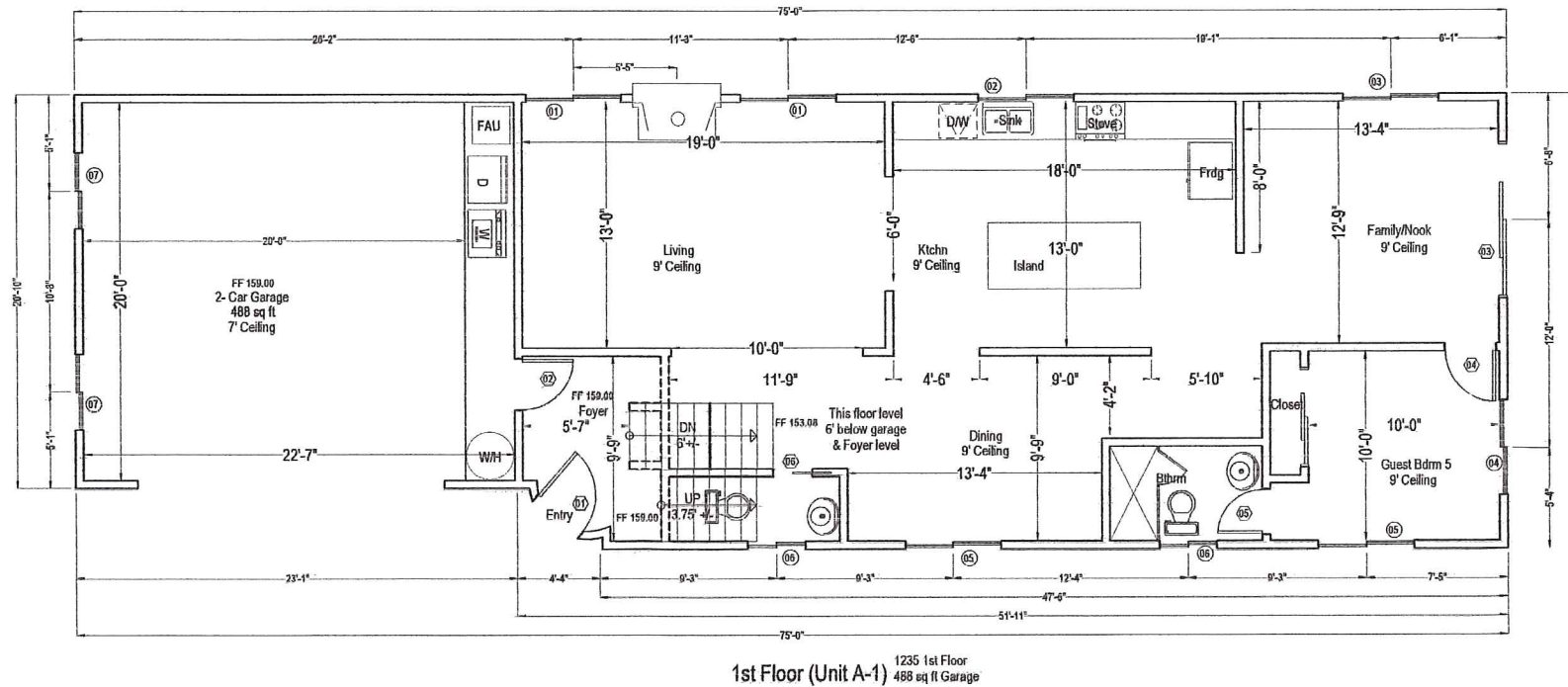
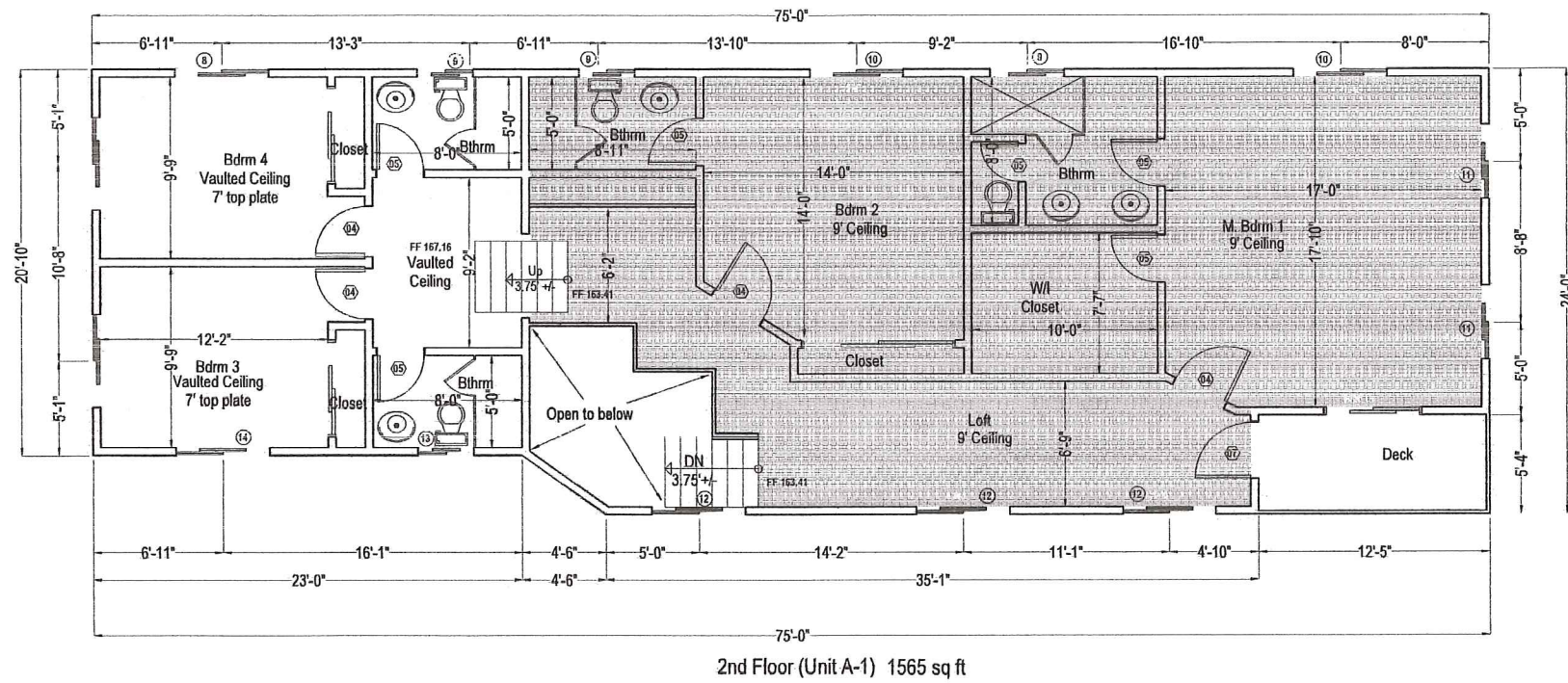


Door Schedule All Units			
No.	Size (w/h)	Material	Notes
01	3608 (A-14B-1) 5068 (A-24B-2)	Solid Core Wood Entry Door	Main Entry Door
02	2668	Solid Wood	20 min fire rated Self Closing, self latching
03	8068	Tempered Glass Vinyl Frame	Exterior Sliding Door
04	2668	Hollow Core Wood	Interior Door
05	2468	Hollow Core Wood	Interior Door
06	2668	Hollow Core Wood	Interior Pocket Door
07	3068	Tempered Glass Vinyl Frame	Exterior Door

Window Schedule Unit A-1										
No.	Size (W/H)	QT	Dir	Floor	Type	Frame	Glazing	Remark	U-Factor	SHGC
01	5030	2	W	1st	Sliding	Vinyl	Double Low E			
02	5040	1	W	1st	Sliding	Vinyl	Double Low E			
03	5050	1	W	1st	Sliding	Vinyl	Double Low E			
04	5050	1	N	1st	Sliding	Vinyl	Double Low E			
05	5050	2	E	1st	Sliding	Vinyl	Double Low E			
06	3026	2	E	1st	Single	Vinyl	Double Low E			
07	4030	2	S	1st	Sliding	Vinyl	Double Low E			
08	5030	1	W	2nd	Sliding	Vinyl	Double Low E			
09	3026	3	W	2nd	Sliding	Vinyl	Double Low E			
10	5040	2	W	2nd	Sliding	Vinyl	Double Low E			
11	4040	2	N	2nd	Sliding	Vinyl	Double Low E			
12	5040	3	E	2nd	Sliding	Vinyl	Double Low E			
13	3026	1	E	2nd	Sliding	Vinyl	Double Low E			
14	5030	1	E	2nd	Sliding	Vinyl	Double Low E			
15	5036	2	S	2nd	Sliding	Vinyl	Double Low E			

Emergency Egress opening specifications:
 - Bottom of opening not greater than 44" from floor
 - Min opening area 5.7 sq ft
 - Min opening height 24"
 - Min opening width 20"

Note: Egress Window is designated with "E" on plan



Floor Plan

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



Haitham A. Hafeez

www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haitham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions	
1	03/04/16 Per Sits Development Review
2	04/06/16 Per Sits Development Review

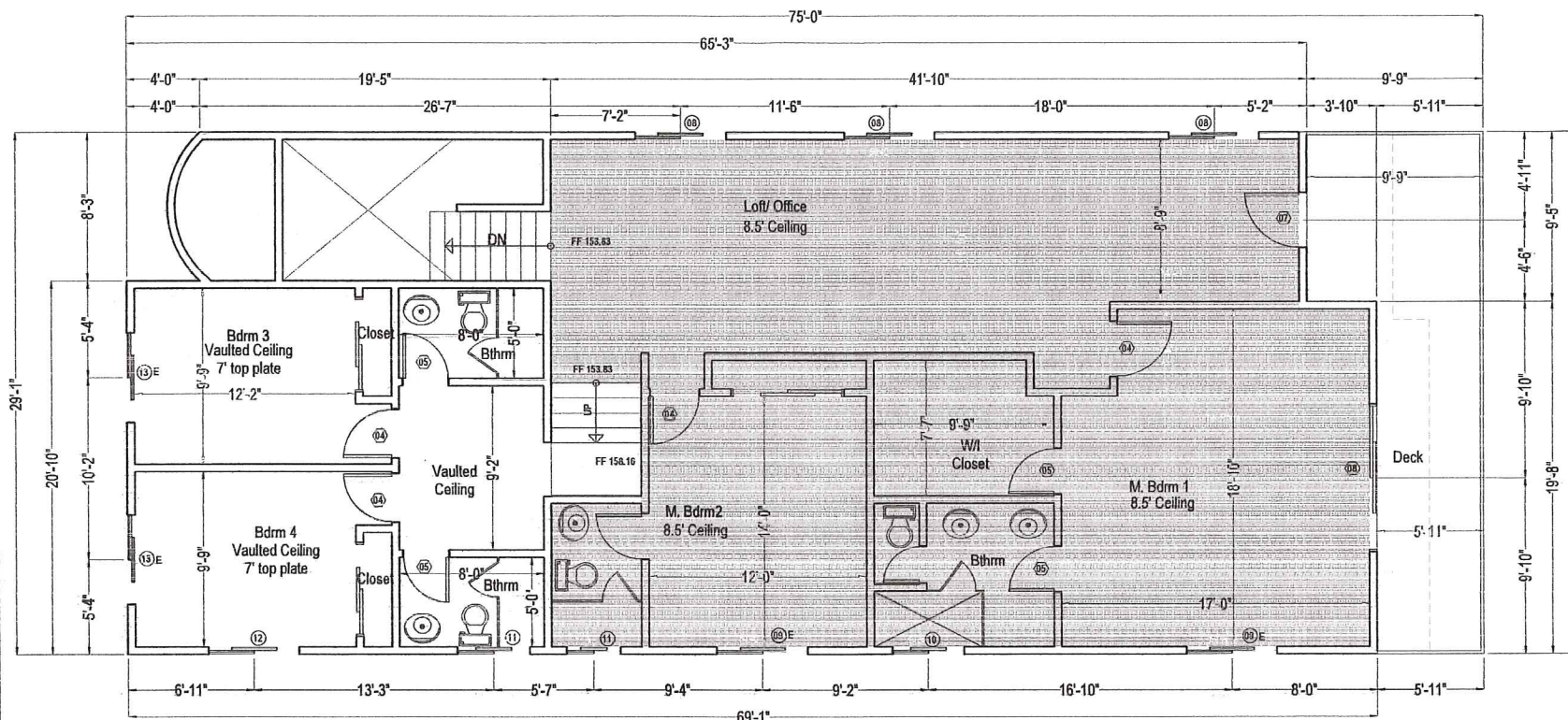
Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No. **A-03.01**

Door Schedule All Units			
No.	Size (w/h)	Material	Notes
(01)	3058 (A-185-1) 5028 (A-285-2)	Solid Core Wood Entry Door	Main Entry Door
(02)	2868	Solid Wood	20 min fire rated Self Closing, self latching
(03)	5058	Tempered Glass Vinyl Frame	Exterior Sliding Door
(04)	2368	Hollow Core Wood	Interior Door
(05)	2468	Hollow Core Wood	Interior Door
(06)	2968	Hollow Core Wood	Interior Pocket Door
(07)	3068	Tempered Glass Vinyl Frame	Exterior Door

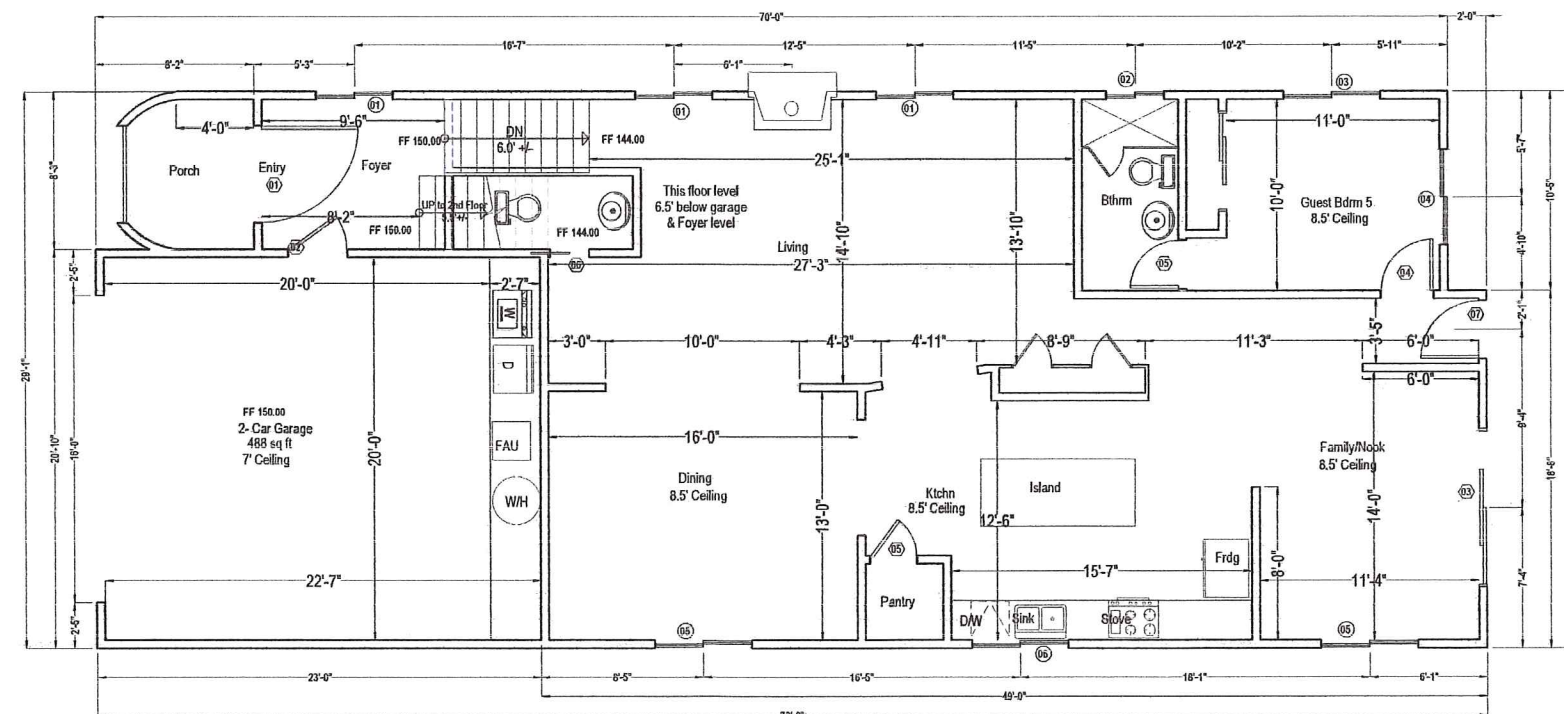
Window Schedule Unit A-2										
No.	Size (WxH)	QT	Sp/Flr	Floor	Type	Frame	Glazing	Remark	U-Factor	SHGC
(1)	5030	3	W	1st	Sliding	Vinyl	Double Low E			
(2)	3026	1	W	1st	Sliding	Vinyl	Double Low E			
(3)	5050	1	W	1st	Sliding	Vinyl	Double Low E			
(4)	6050	1	N	1st	Sliding	Vinyl	Double Low E			
(5)	5050	2	E	1st	Sliding	Vinyl	Double Low E			
(6)	5040	1	E	1st	Single	Vinyl	Double Low E			
(7)										
(8)	5040	3	W	2nd	Sliding	Vinyl	Double Low E			
(9)	6040	2	E	2nd	Sliding	Vinyl	Double Low E			
(10)	4026	1	E	2nd	Sliding	Vinyl	Double Low E			
(11)	3026	2	E	2nd	Sliding	Vinyl	Double Low E			
(12)	5030	1	E	2nd	Sliding	Vinyl	Double Low E			
(13)	5028	2	S	2nd	Sliding	Vinyl	Double Low E			
(14)										
(15)										

Emergency Egress window specifications:
 - Bottom of opening not greater than 44" from floor
 - Min opening area 5.7 sq ft
 - Min opening height 20"
 - Min opening width 20"

Note: Egress Window is designated with "E" on plan



2nd Floor (Unit A-2) 1783 sq ft

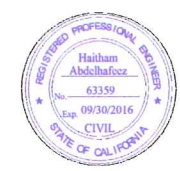


1st Floor Unit A-2 1520 1st Floor 488 sq ft Garage

Floor Plan

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



Haltham A. Hafeez

www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haltham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions	
1	03/04/16 Per Site Development Review
2	04/02/16 Per Site Development Review

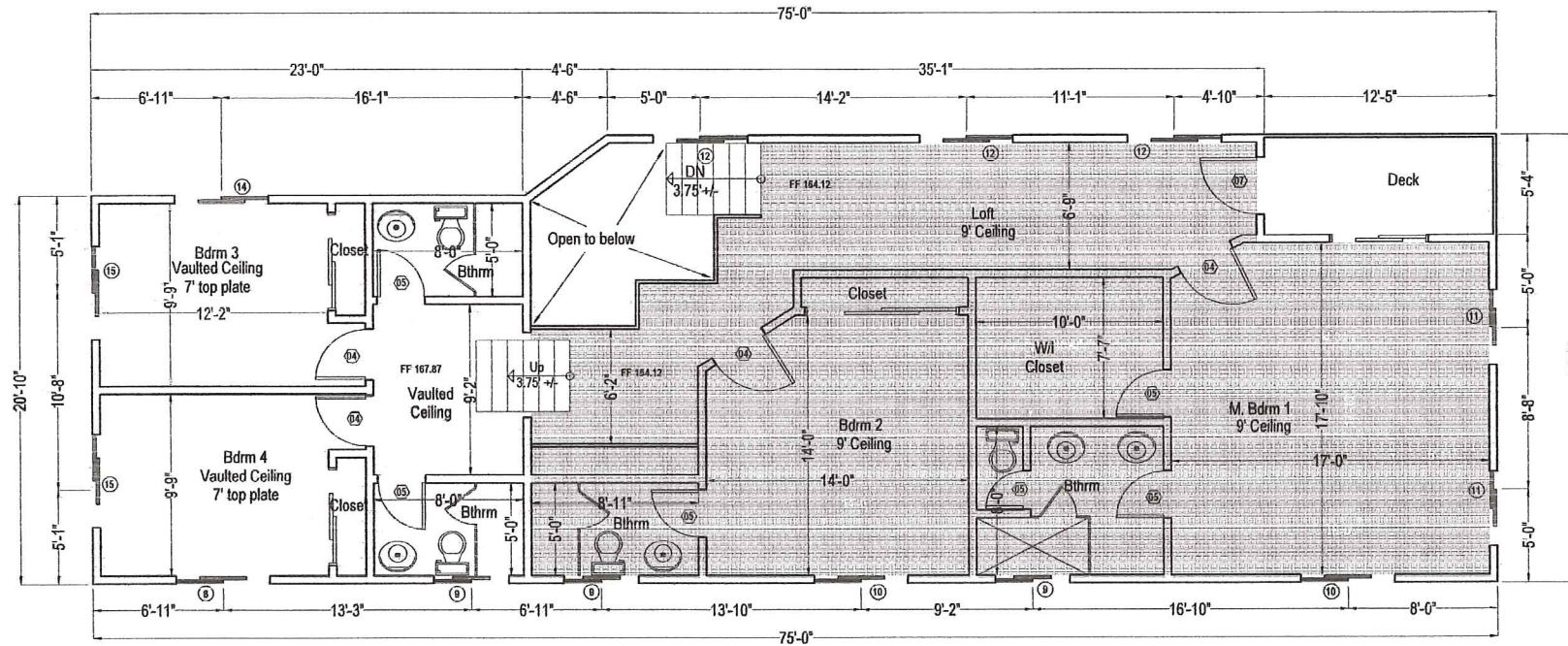
Scale: 1/8" = 1' UNO
 Original Date: 01/04/2016
 Sheet No. **A-03.02**

Door Schedule All Units			
No.	Size (xh)	Material	Notes
01	3000 (A-150-1) 6000 (A-200-2)	Solid Core Wood Entry Door	Main Entry Door
02	2000	Solid Wood	20 min fire rated Self Closing, self latching
03	6000	Tempered Glass Vinyl Frame	Exterior Sliding Door
04	2000	Hollow Core Wood	Interior Door
05	2400	Hollow Core Wood	Interior Door
06	2000	Hollow Core Wood	Interior Pocket Door
07	3000	Tempered Glass Vinyl Frame	Exterior Door

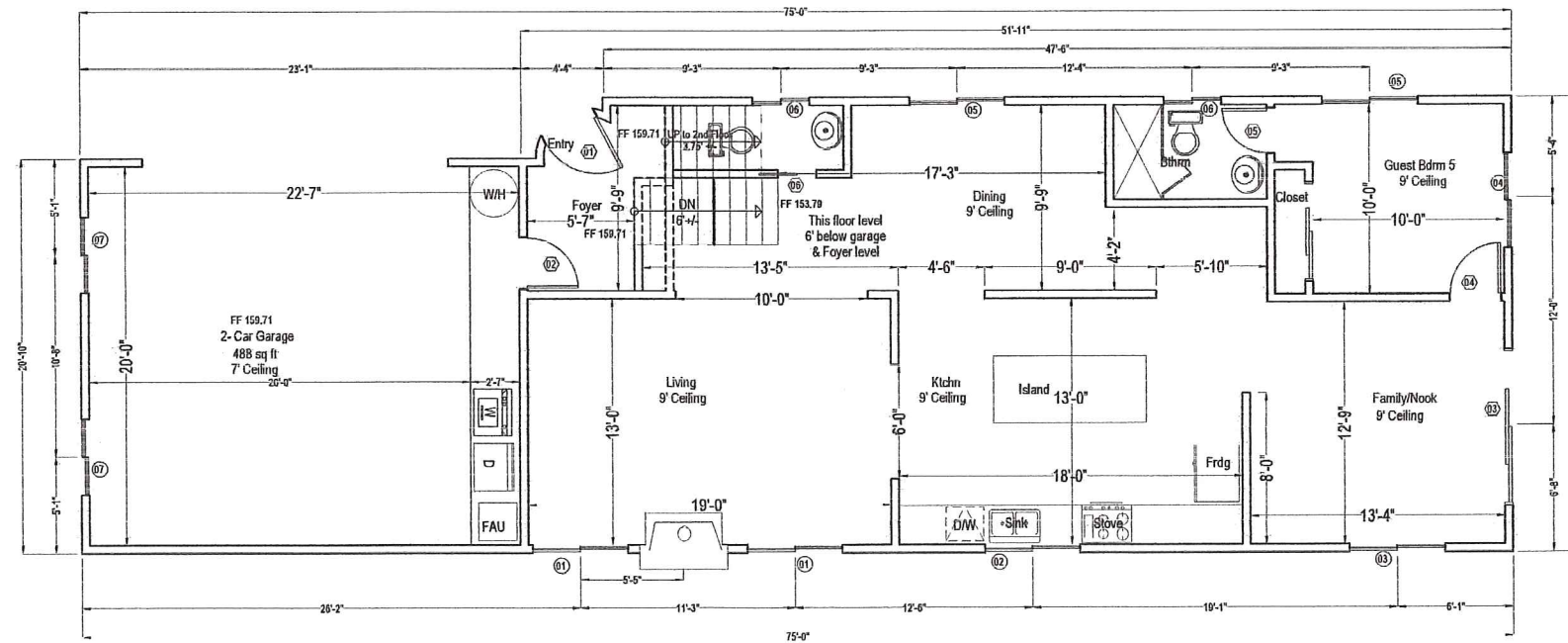
Window Schedule Unit B-1										
No.	Size (WxH)	QT	Dist	Floor	Type	Frame	Gleazing	Remark	U-Factor	SHGC
1	4050	2	E	1st	Sliding	Vinyl	Double Low E			
2	5040	1	E	1st	Sliding	Vinyl	Double Low E			
3	5050	1	E	1st	Sliding	Vinyl	Double Low E			
4	5050	1	N	1st	Sliding	Vinyl	Double Low E			
5	5050	2	W	1st	Sliding	Vinyl	Double Low E			
6	3026	2	W	1st	Single	Vinyl	Double Low E			
7	4030	2	S	1st	Sliding	Vinyl	Double Low E	Tempered		
8	5030	1	E	2nd	Sliding	Vinyl	Double Low E			
9	3026	3	E	2nd	Sliding	Vinyl	Double Low E	Tempered		
10	5040	2	E	2nd	Sliding	Vinyl	Double Low E			
11	4040	2	N	2nd	Sliding	Vinyl	Double Low E			
12	5040	3	W	2nd	Sliding	Vinyl	Double Low E	Tempered		
13	3026	1	W	2nd	Sliding	Vinyl	Double Low E			
14	5030	1	W	2nd	Sliding	Vinyl	Double Low E	Tempered		
15	5030	2	R	2nd	Sliding	Vinyl	Double Low E			

Emergency Egress opening specifications:
 - Bottom of opening not greater than 44" from floor
 - Min opening area 5.7 sq ft
 - Min opening height 24"
 - Min opening width 20"

Note: Egress Window is designate with "E" on plan



2nd Floor (Unit B-1) 1565 sq ft



1st Floor (Unit B-1) 1235 1st Floor 488 sq ft Garage

Floor Plan

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



Haitham A. Hafeez

www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haitham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions	
1	03/04/16 Per Site Development Review
2	04/06/16 Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No.

A-03.03

Door Schedule All Units

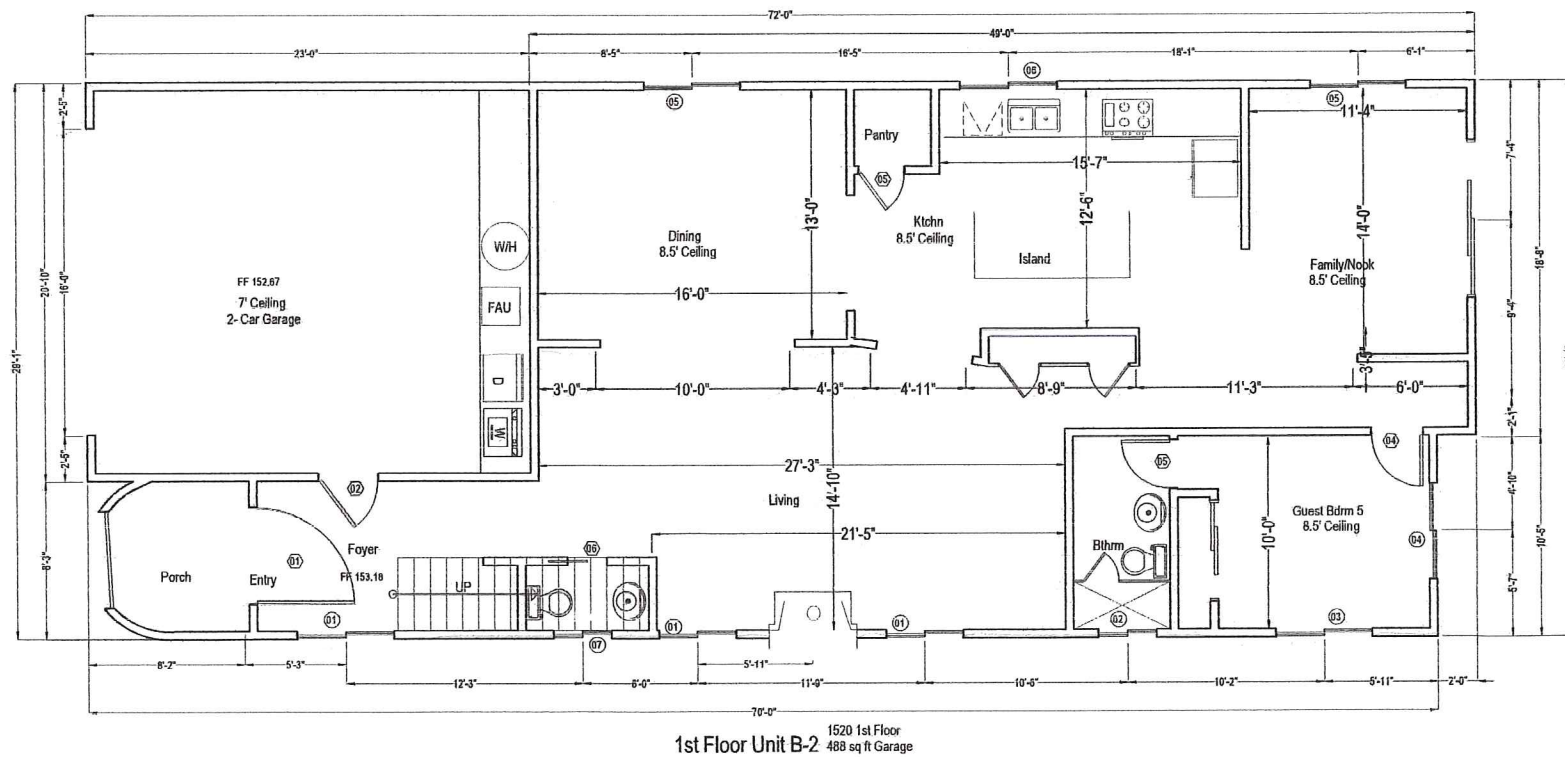
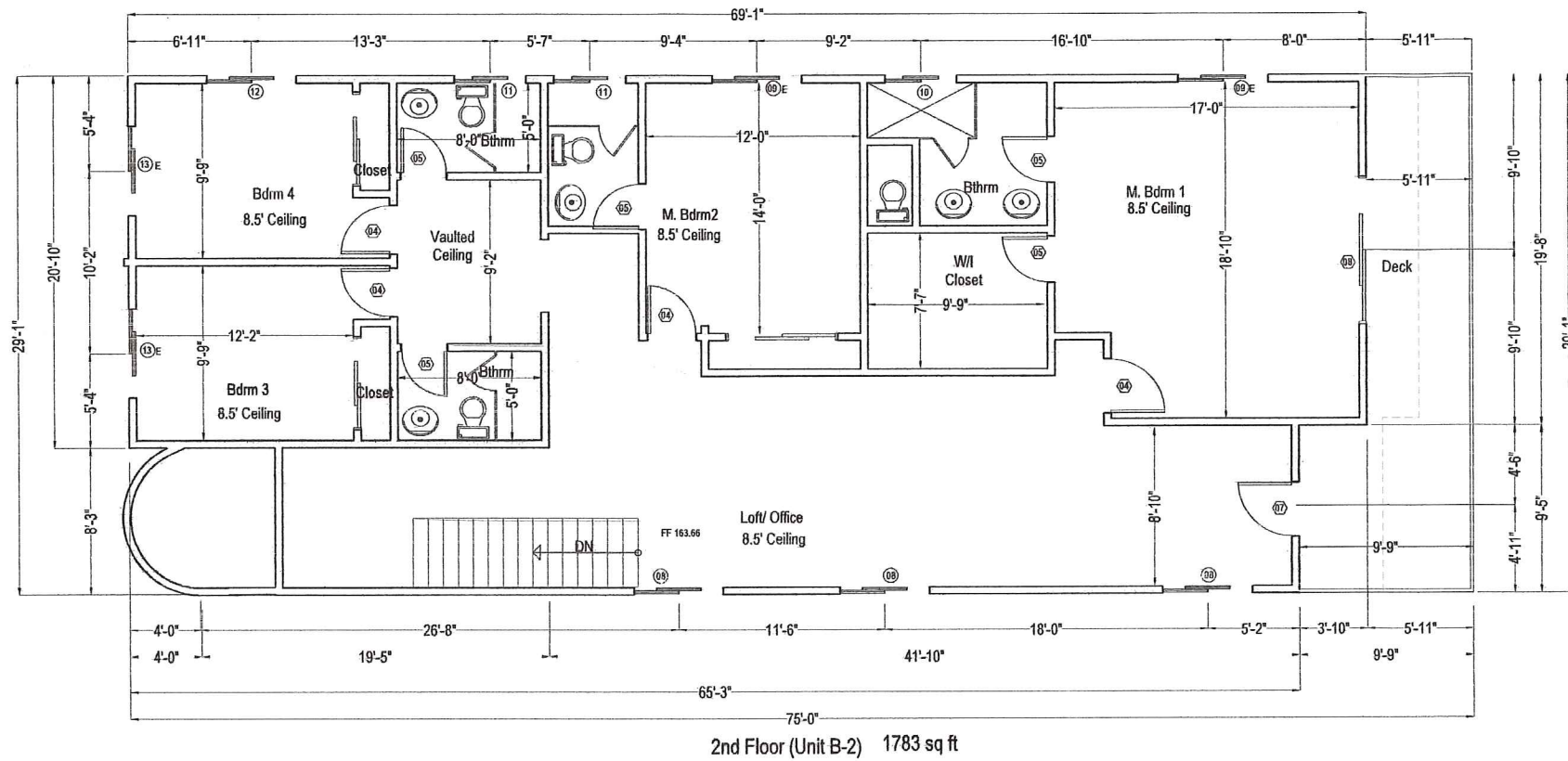
No.	Size (w/h)	Material	Notes
01	3068 (A-145-1) 5068 (A-248-2)	Solid Core Wood Entry Door	Main Entry Door
02	2868	Solid Wood	20 min fire rated Self Closing, self latching
03	8068	Tempered Glass Vinyl Frame	Exterior Sliding Door
04	2868	Hollow Core Wood	Interior Door
05	2468	Hollow Core Wood	Interior Door
06	2868	Hollow Core Wood	Interior Pocket Door
07	3068	Tempered Glass Vinyl Frame	Exterior Door

Window Schedule Unit B-2

No.	Size (WxH)	QT	Dir	Floor	Type	Frame	Glazing	Remark	U-Factor	SHGC
01	4050	3	E	1st	Sliding	Vinyl	Double Low E			
02	3028	1	E	1st	Sliding	Vinyl	Double Low E			
03	5050	1	E	1st	Sliding	Vinyl	Double Low E			
04	5050	1	N	1st	Sliding	Vinyl	Double Low E			
05	5050	2	W	1st	Sliding	Vinyl	Double Low E			
06	5040	1	W	1st	Single	Vinyl	Double Low E			
07										
08	5040	3	E	2nd	Sliding	Vinyl	Double Low E			
09	5040	2	W	2nd	Sliding	Vinyl	Double Low E			
10	4028	1	W	2nd	Sliding	Vinyl	Double Low E			
11	3028	2	W	2nd	Sliding	Vinyl	Double Low E			
12	5030	1	W	2nd	Sliding	Vinyl	Double Low E			
13	5036	2	S	2nd	Sliding	Vinyl	Double Low E			
14										
15										

Emergency Egress opening specifications:
 - Bottom of opening not greater than 44" from floor
 - Min opening area 5.7 sq ft
 - Min opening height 24"
 - Min opening width 20"

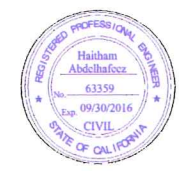
Note: Egress Window is designate with "E" on plan



Floor Plan

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



Haitham A. Hafeez

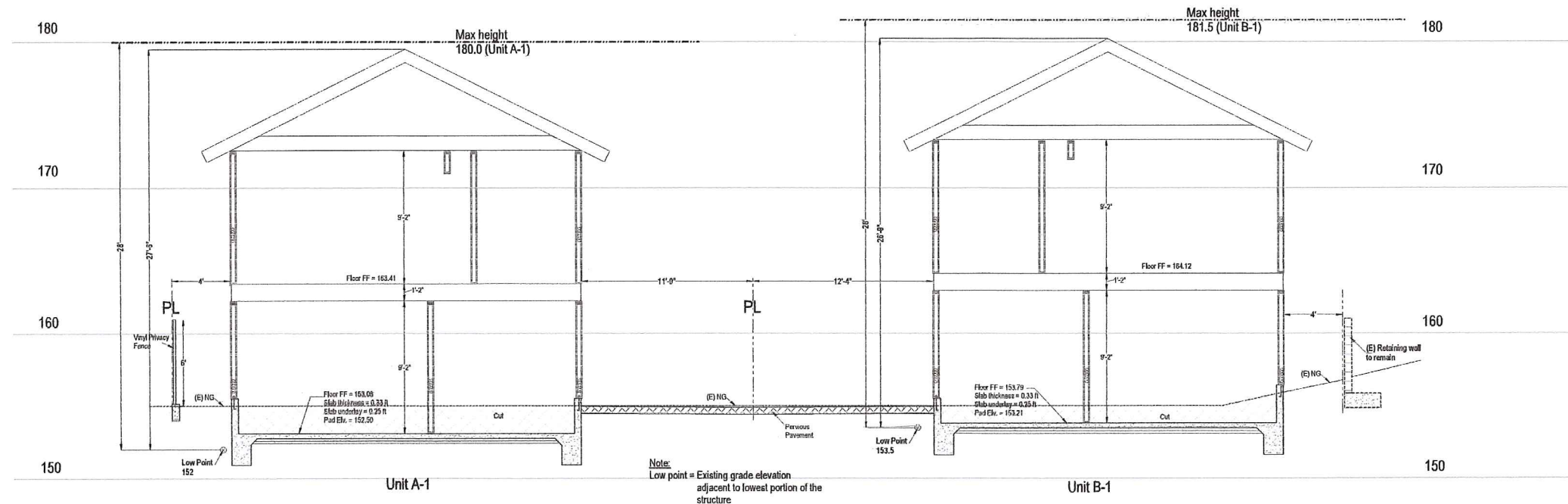
www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haitham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions

1	03/04/16	Per Site Development Review
2	04/06/16	Per Site Development Review

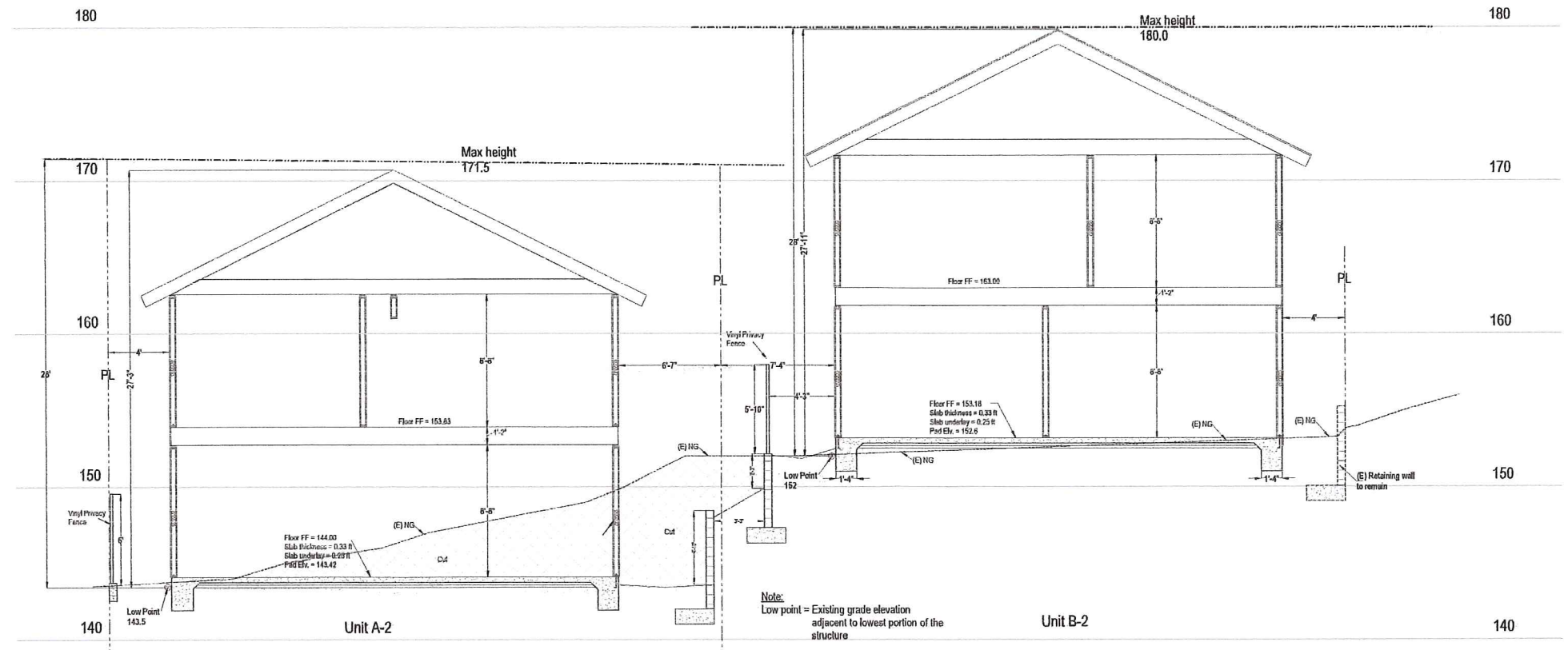
Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No.

A-03.04



Note:
Low point = Existing grade elevation adjacent to lowest portion of the structure

Section 1-1
Scale 1/4"=1'



Note:
Low point = Existing grade elevation adjacent to lowest portion of the structure

Section 2-2
Scale 1/4"=1'

Section Details

New House Construction
Project Address:
34466 Via Verde
Dana Point, CA 92624

Owner:
Yaqout Investments, LLC
17200 Newhope St. # 228A
Fountain Valley, CA 92708



Haltham A. Hafeez

www.HafeezConsulting.com
1451 S. Hacienda St
Anaheim, CA 92804
Project Engineer:
Haltham A. Hafeez, P.E.
Tel (714) 225 - 4565
Fax (714) 917 - 2977
engineer@hafeezconsulting.com

Revisions	
1	03/04/16 Per Site Development Review
2	04/05/16 Per Site Development Review

Scale: 1/4" = 1' UNO
Original Date: 01/04/2016
Sheet No. A-04.01

Section Details

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



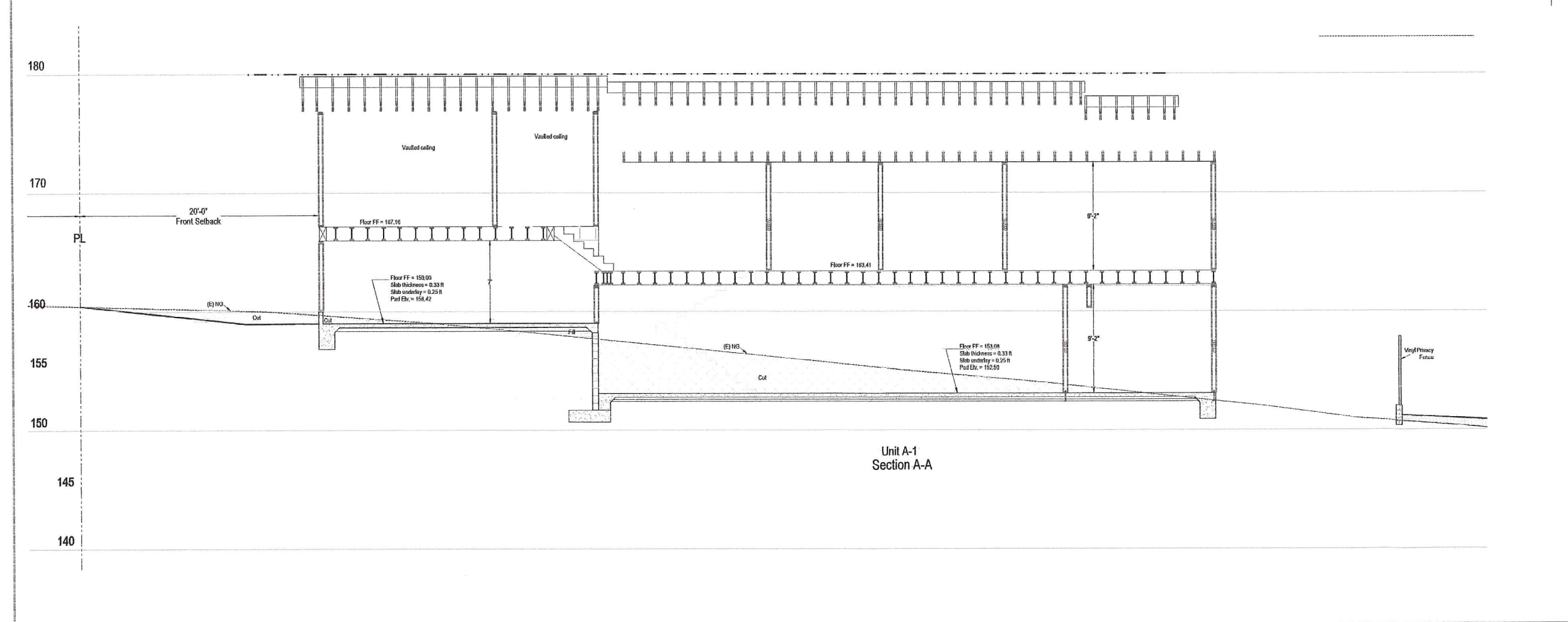
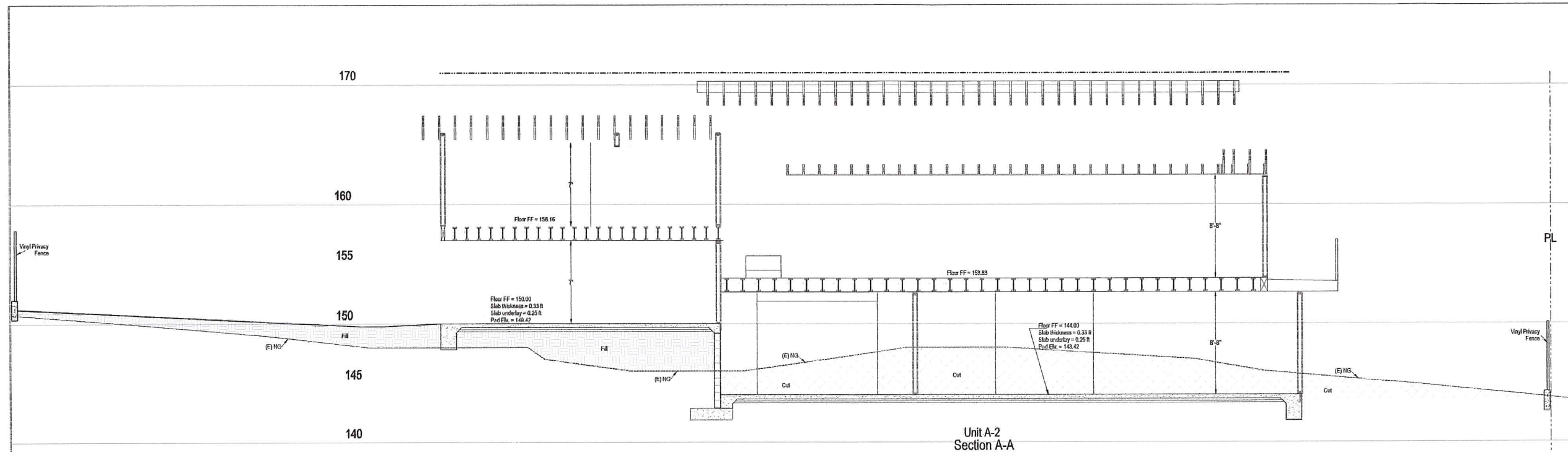
Haitham A. Hafeez

www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haitham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions		
1	03/04/16	Per Site Development Review
2	04/06/16	Per Site Development Review
3		
4		
5		

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No.

A-04.02



Section Details

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



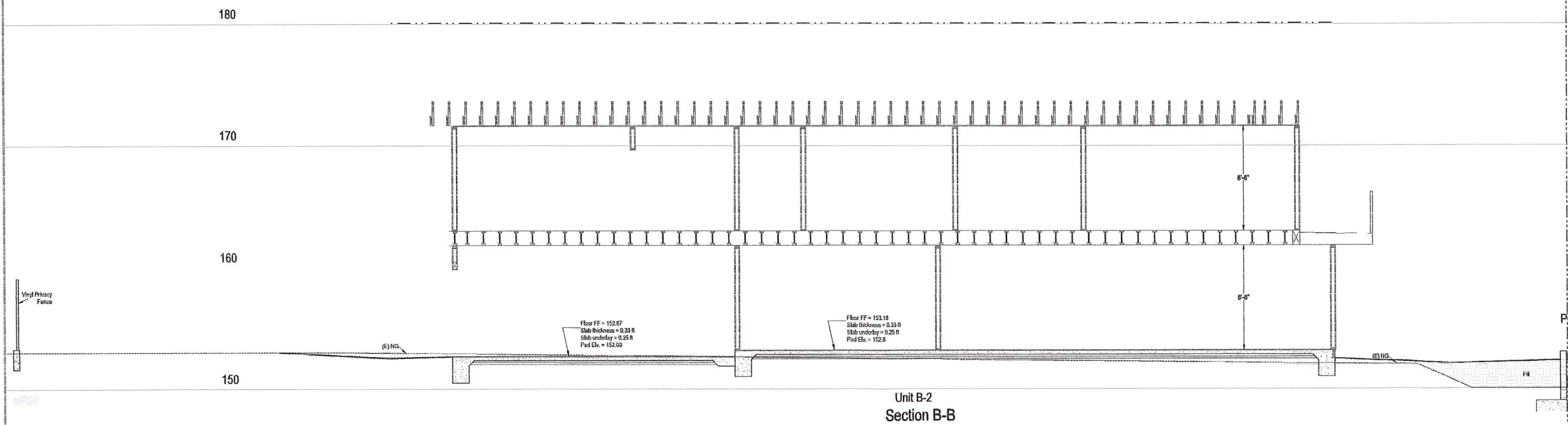
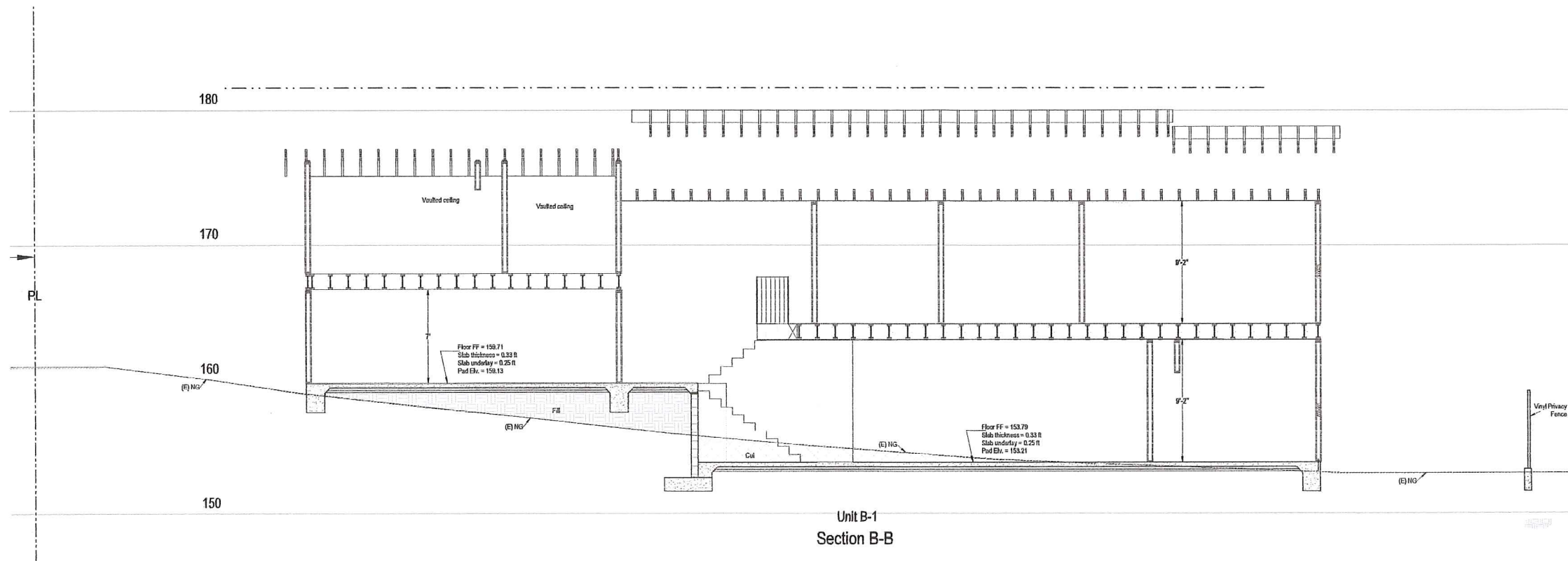
Haltham A. Hafeez

www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haltham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions	
1	03/04/16 Per Site Development Review
2	04/06/16 Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No.

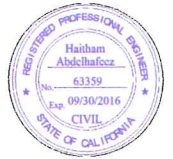
A-04.03



Roof Plan

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708

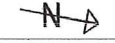
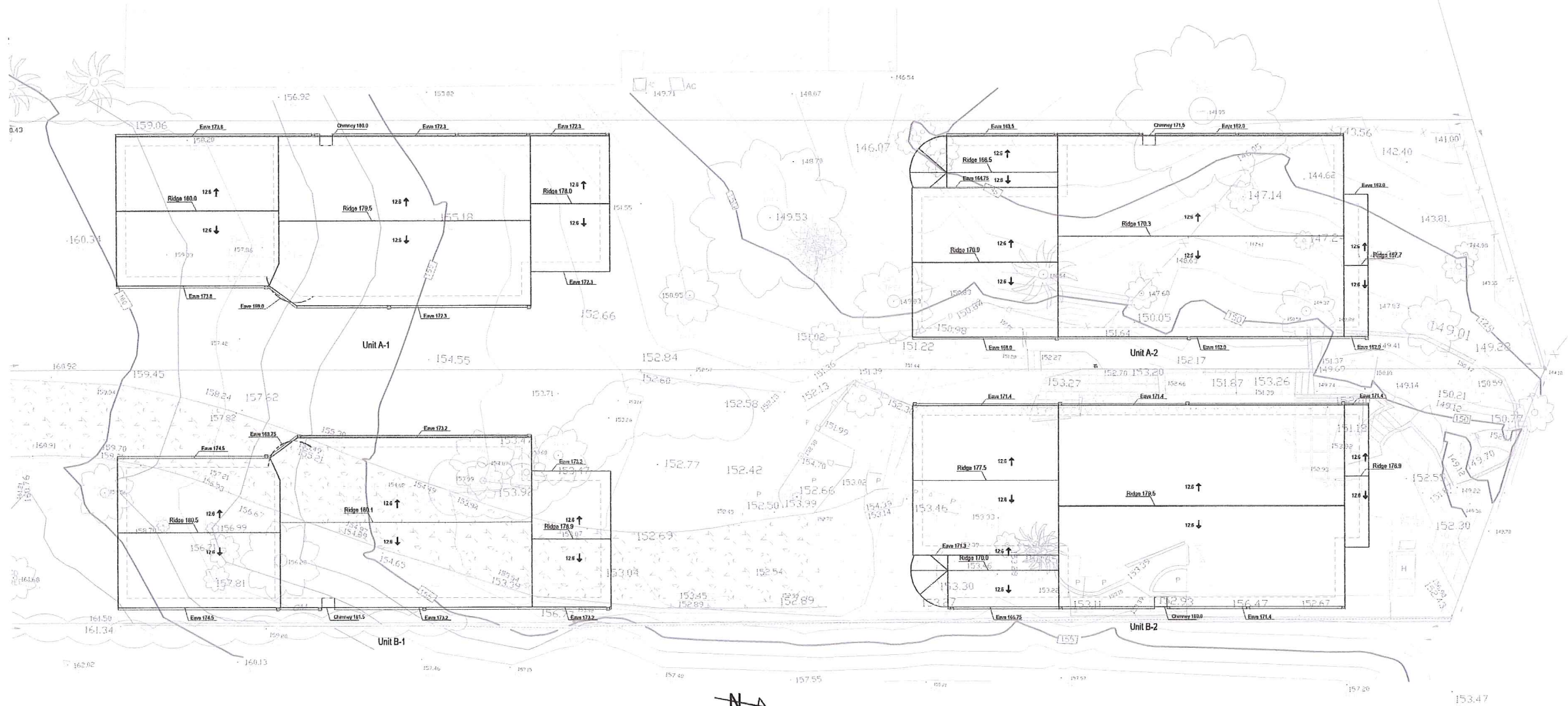


Haitham A. Hafeez

www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haitham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions		
1	03/04/16	Per Site Development Review
2	04/06/16	Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No. **A-05.01**

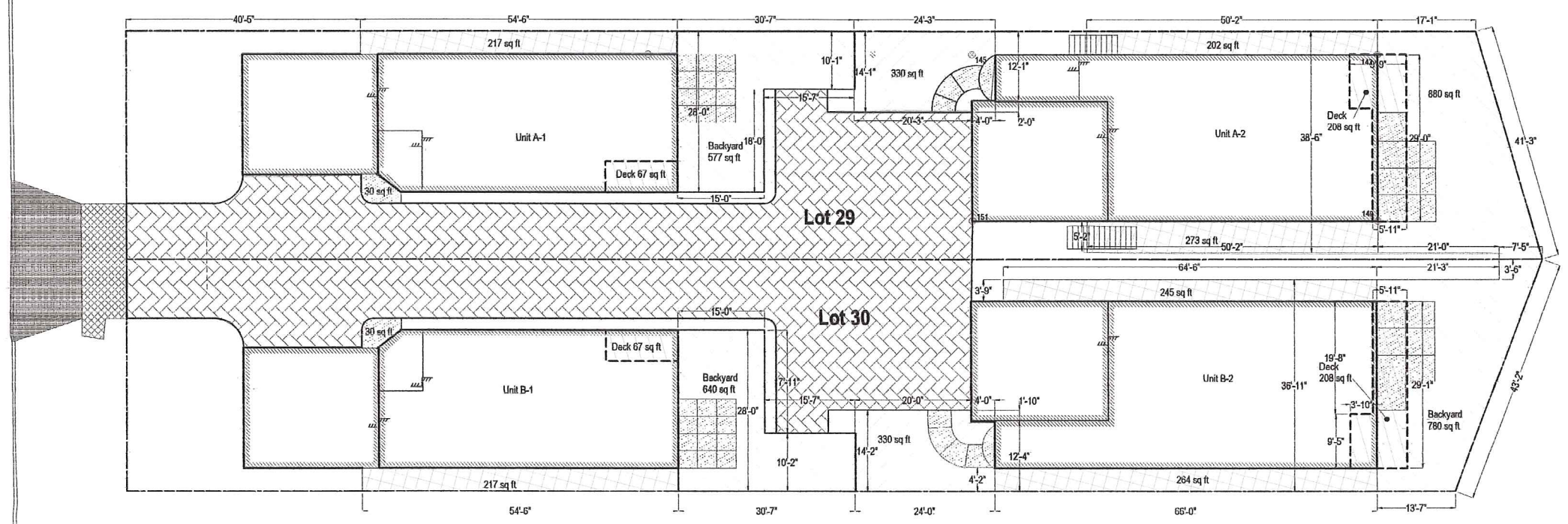


Roof Plan
 Scale 1/8" = 1'



Roofing Specifications:
 Roofing Material: Eagle Light Weight
 Malibu Concrete Tile - Class A
 Roofing weight: 5.5psf max
 Manufacturer: Eagle Roofing
 ICC-ES No.: ESR-1900

Open Space Plan



Open Space Plan

Open Space area calculations (all values in ft²)

Lot 29						
Unit	Backyard	Deck	Front	sideyard	sideyard	subtotals
A-1	577	67	30	217		891
A-2	880	208	330	202	273	1893
Grand Total Lot 29						2784
Required Open space area						1897

Provided Open Space > Required .. OK

Lot 30						
Unit	Backyard	Deck	Front	sideyard	sideyard	subtotals
B-1	577	67	30	217		891
B-2	880	208	330	245	264	1927
Grand Total Lot 30						2818
Required Open space area						1913

Provided Open Space > Required .. OK

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



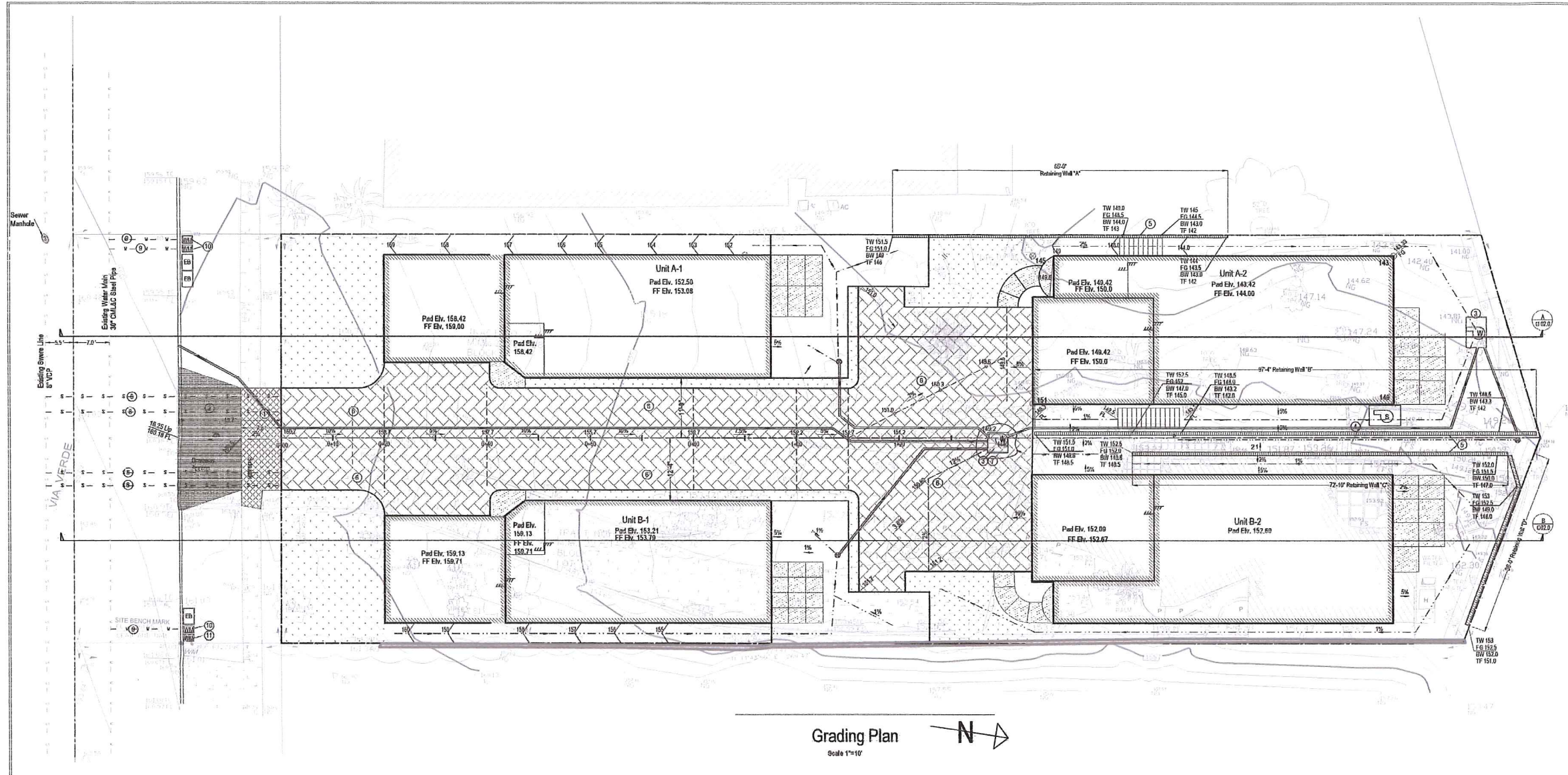
Haltham A. Hafeez

www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haltham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions	
1	03/04/16 Per Site Development Review
2	04/06/16 Per Site Development Review
3	
4	
5	

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No.

A-06.01



- Legend:**
- Existing Contour
 - Proposed Contour
 - Spot Elevation
 - Concrete
 - Pad Proposed Pad Elevation
 - FS Proposed Finished Surface
 - FG Proposed Finished Ground
 - FF Proposed Finished Floor
 - INV Invert of Pipe
 - TG Top of Grate
 - PL Property Line
 - TF Top of Footing
 - HP High Point
 - GB Grade Break
 - Grading Limit
 - Landscape
 - Downspout
 - Temp Cut Temporary Slope Cutback
 - Overexcavation Limits
 - CMU Retaining Wall
 - Pervious Pavement
 - Flow Path & Direction
 - PUC Pipe
 - Property Line
 - Water Pump
 - Sewer Pump
 - New Driveway Apron
 - Sidewalk Improvement
 - Surface Drain Inlet

Grading Plan

New House Construction
Project Address:
 34466 Via Verde
 Dana Point, CA 92624

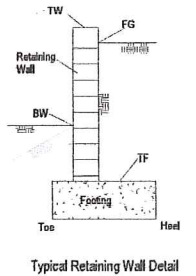
Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



Hailtham A. Hafeez

Grading Plan

Scale 1"=10'



Earthwork Quantity Estimate

Lot	Cut	Fill	Export	Import
29	320 cy	55 cy		
30	90 cy	50 cy		
Total for project	410 cy	105 cy	305 cy	0

Pavement Quantity Estimate

Pavement type	Lot 29	Lot 30	Project total
Pervious	2110 ft ²	2110 ft ²	4220 ft ²
Impervious	0.0 ft ²	0.0 ft ²	0.0 ft ²

Grading Construction Notes:

- 1 Construct 4" sidewalk
- 2 Construct 4" concrete driveway approach
- 3 Construct duplex pump system
- 4 Construct sewer pump system per separate permit
- 5 Construct retaining wall per separate permit
- 6 Construct pervious pavement driveway
- 7 Construct 48"x48" grate inlet
- 8 Construct new sewer lateral
- 9 Construct new water lateral
- 10 Install new water meter
- 11 Abandon existing water meter and replace with new

South Coast Water District Notes:

- All existing water services currently serving the property shall be abandoned at the main and replaced with new services prior to issuance of occupancy certificate, and per SCWD Stds W-3 and W-2.
- Pressure regulator for static pressure 80 psi or higher per CPC and CBC.
- Owner/ developer shall submit projected peak hour water demands and fire flow requirements to SCWD prior to issuance of grading permits. This information will be used to determine the adequacy of the existing water system to serve the development. Any and all required system capacity upgrades shall be the responsibility of the owner/developer and at his expense.
- Separate services and meters shall be installed to each building premise.
- Dedicated irrigation meters shall be installed for landscape areas exceeding 2500 sf.
- Separate services shall be installed for domestic and fire usage. Combination fire/domestic services are only allowed on Residential 130 fire sprinkler systems requiring 2-inch diameter or smaller services and meters.
- Owner/developer shall submit projected sewer peak flows to SCWD prior to issuance of grading permit. This information will be used to determine the adequacy of the existing system to serve the development. Ana and all required capacity upgrades shall be the responsibility of the owner/developer and at his expense.
- Prior to issuance of building permits, if existing sewer laterals serving the property are determined to be substandard per SCWD requirements, then owner/developer shall replace per current SCWD standards at his expense.
- Prior to issuance of grading permit, owner/ developer shall perform a fire flow test to determine the adequacy of the existing water system to meet the required fire flow demand. All required fire flow upgrades shall be at owner/ developer's expense.

www.Hafeez Consulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804

Project Engineer:
 Hailtham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

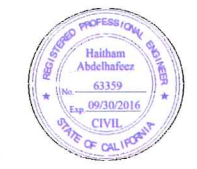
Revisions	
1	03/04/16 Per Site Development Review
2	04/06/16 Per Site Development Review
3	
4	
5	

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No. **G01.0**

Site Profile

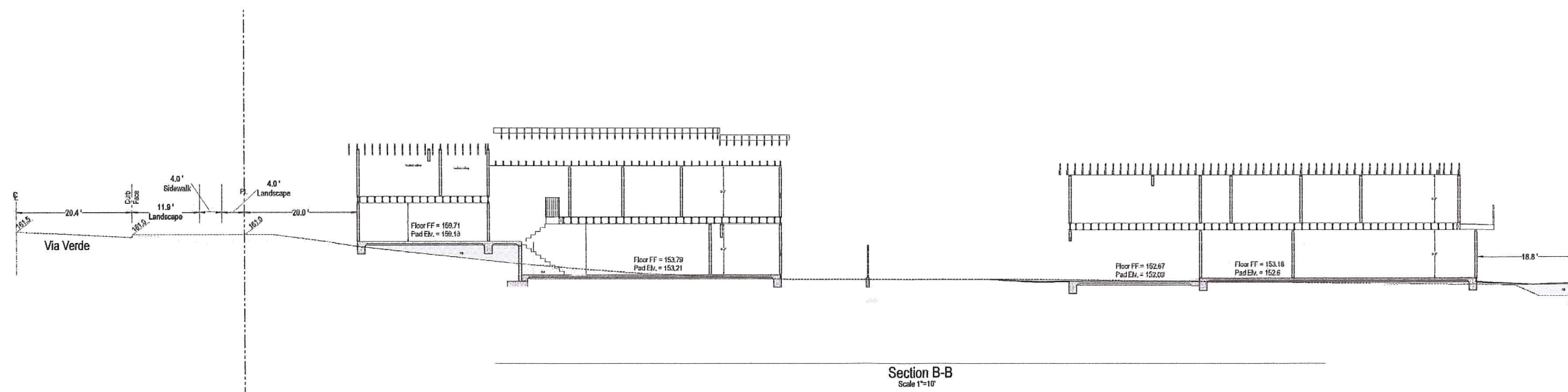
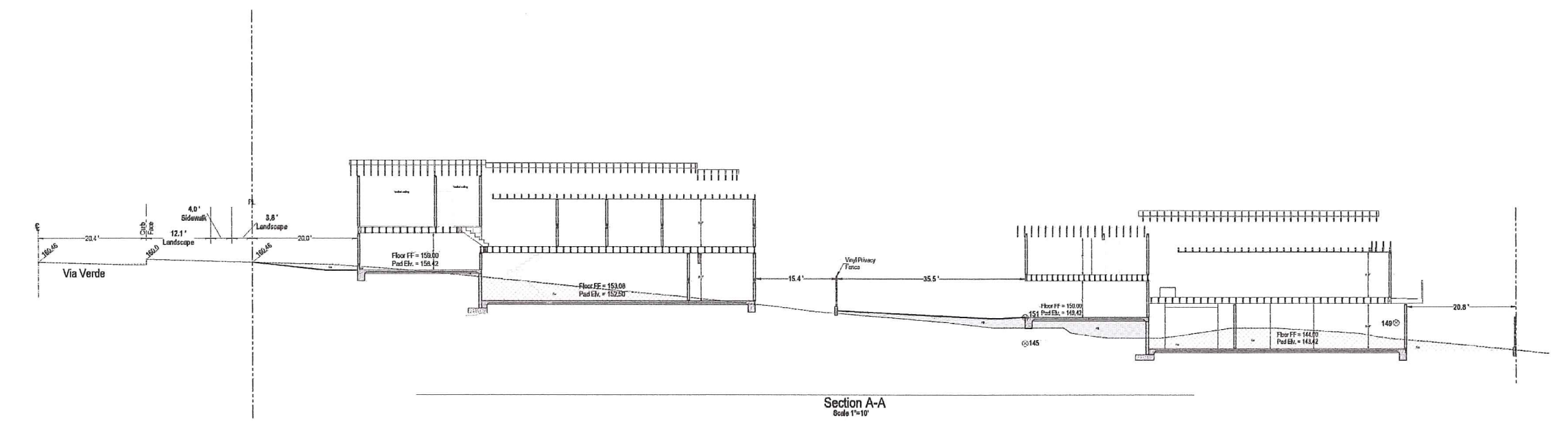
New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



Haitham A. Hafeez

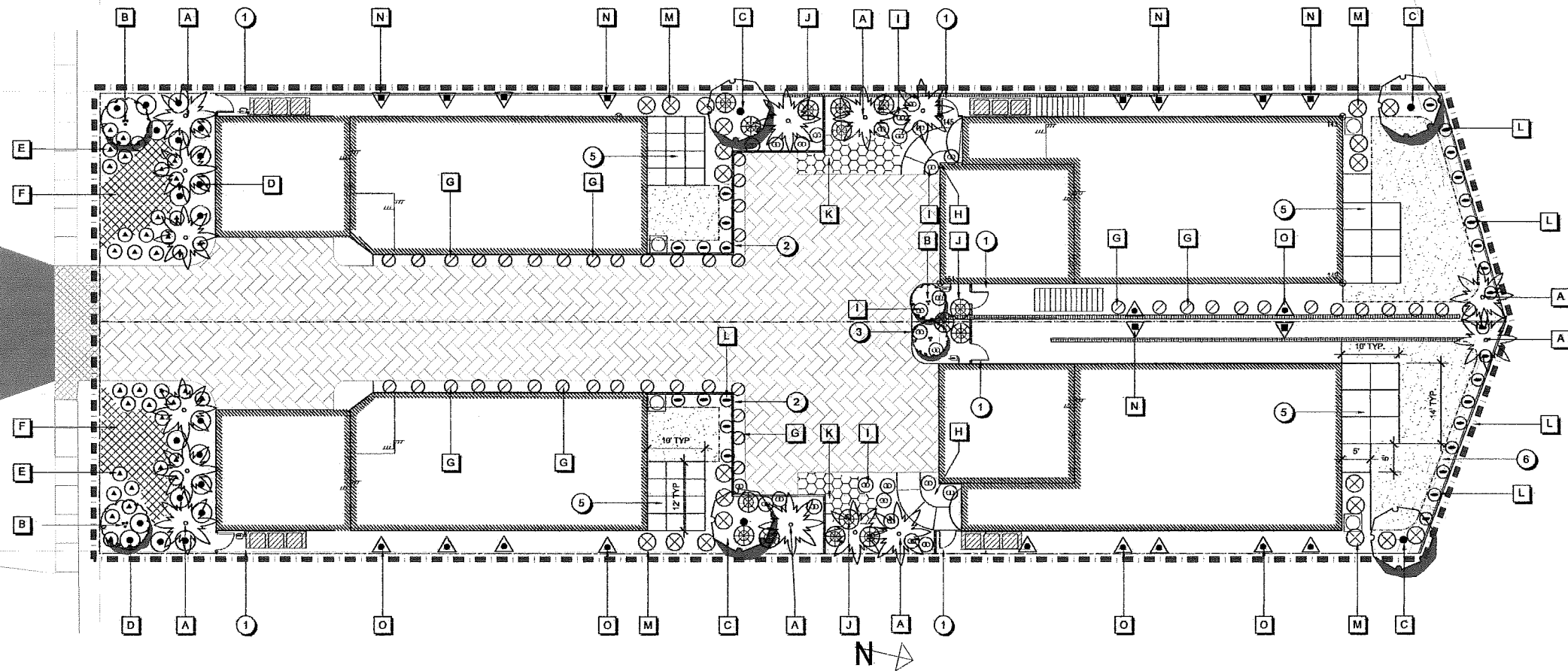
www.HafeezConsulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haitham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com



Revisions	
1	03/04/16 Per Site Development Review
2	04/06/16 Per Site Development Review
3	
4	
5	

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016
 Sheet No. G02.0

VIA VERDE



SITE LANDSCAPE CONSTRUCTION ITEMS

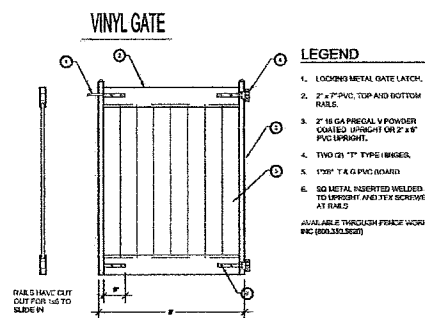
ITEM	DESCRIPTION
1.	PROPOSED SIDE YARD VINYL FENCE AND SWING GATE
2.	PROPOSED REAR YARD VINYL FENCE
3.	PROPOSED CONCRETE CURB, SEE ENGINEER'S PLANS.
4.	PROPOSED 4' WIDE CONCRETE ENTRY SIDEWALK WITH NATURAL GREY BROOM FINISH.
5.	PROPOSED REAR YARD CONCRETE PATIO NATURAL GREY BROOM FINISH WITH SCORE LINES.
6.	PERIMETER ARCHITECTURAL WALLS.

SITE LANDSCAPE TREES - SEE QUANTITIES ON PLAN PER EACH RESIDENCE

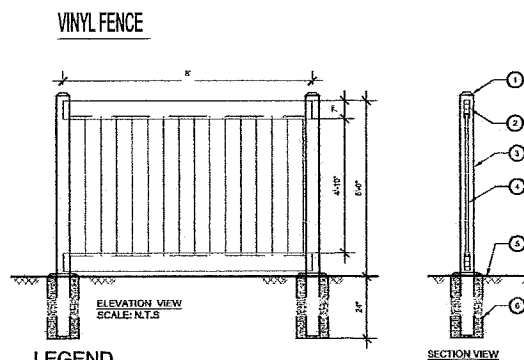
A.	ARCHONTOPHOENIX CUNNINGHAMIANA - KING PALM	15 GAL SINGLE TRUNK
B.	OLEA EUROPEA - SWAN HILL OLIVE	15 GAL STANDARD TRUNK
C.	TRISTANIA CONFERTA - BRISBANE BOX	15 GAL STANDARD TRUNK

SITE LANDSCAPE SHRUBS - SEE QUANTITIES ON PLAN PER EACH RESIDENCE

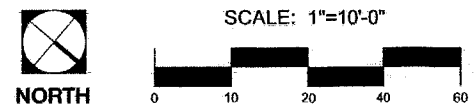
ITEM	DESCRIPTION	QUANTITY
D.	DIETES VEGETA - JOHNSONII FORTNIGHT LILY	5 GAL
E.	ALOE BAINESII - ALOE	1 GAL
F.	FESTUCA OVINA - BLUE SHEEP FESCUE	1 GAL @ 18" O.C.
G.	JUNIPERUS CHINENSIS - SEA GREEN JUNIPER	5 GAL
H.	PHOENIX ROEBELII - PIGMY DATE PALM	5 GAL
I.	AGAVE FILIFERA - AGAVE	1 GAL
J.	STRELITZIA REGINAE - BIRD OF PARADISE	5 GAL
K.	DELOSPERMUM ALBA - ICE PLANT	1 GAL @ 18" O.C.
L.	HEBE CUPRESSOIDES NANA - HEBE NANA	1 GAL
M.	PITTOSPORUM TOBIRA VERIEGATA - PITTOSPORUM	1 GAL
N.	TECOMARIACAPENSIS - CAPE HONEYSUCKLE	5 GAL
O.	TRECHELOSPERMUM JASMINOIDES - STAR JASMINE	5 GAL



- LEGEND**
1. LOCKING METAL GATE LATCH.
 2. 2" X 4" PVC TOP AND BOTTOM RAILS.
 3. 2" X 16 GA. PREGAL V POWDER COATED STEEL OR 2" X 4" PVC UPRIGHTS.
 4. TWO (2) 1" X 7" PVC HINGES.
 5. 1" X 3" X 6" PVC BOARD.
 6. 50 METAL INSERT WELDED TO UPRIGHT AND 1/4" SCREWED AT END.
- AVAILABLE THROUGH FENCE WORKS INC. (800.331.8222)



- LEGEND**
1. DOMED CAP
 2. 2" X 4" X 7" TOP AND BOTTOM RAIL
 3. 5 X 6 VINYL POSTS
 4. 6" TONGUE & GROOVE
 5. FINISH GRADE
 6. 8" X 8" X 24" DOMED CONCRETE FOOTING PER STRUCTURAL ENGINEER.



Edward F. Doll
 LANDSCAPE ARCHITECTURE AND PLANNING
 CALIC #54119
 4151 Babcock Street, Suite 100, CA 92604
 949-246-7549 efoll@calic.net

DATE	REVISION

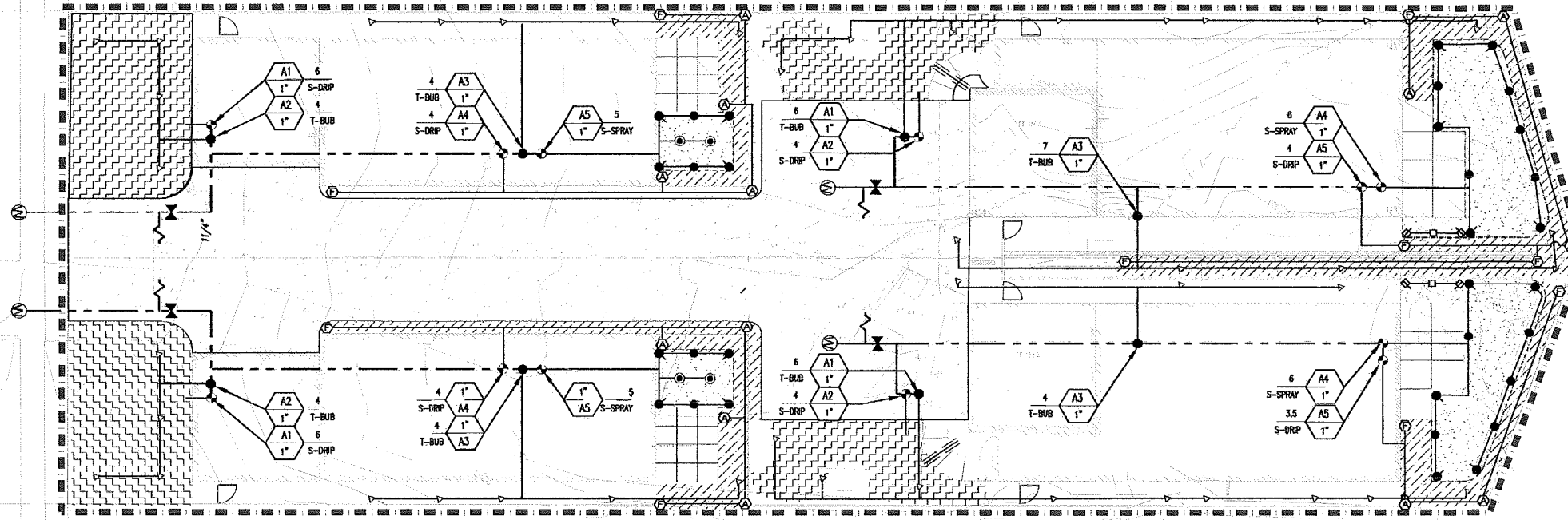
OWNER:
YAQOUT
 17200 NEWHOPE STREET # 228A
 FOUNTAIN VALLEY, CA 92708

PROJECT:
LANDSCAPE PLANS
 PM 12/100
 34466 VIA VERDE
 DANA POINT, CA 92624

DRAWING TITLE:
CONSTRUCTION LAYOUT PLAN

DESIGNED	ED
DRAWN	EZ
CHECKED	ED
DATE	12/26/2015
JOB NO.	
CAD FILE	CL.dwg
SHEET NUMBER	CL-1
1 OF 2 SHEETS	

VIA VERDE



IRRIGATION MATERIAL LEGEND

SYMBOL	MANUFACT.	MODEL NO./DESCRIPTION	GPM	PSI	RADIUS	PRECIP. RATE
☐	RAIN BIRD	1806-SAM-PRS POP-UP 4-VAN Q / H NOZZLES	.29, .45, .68	30	4" VAN	5.78
●	RAIN BIRD	1812-SAM-PRS POP-UP MPR-BQ / H / F NOZZLES	.26, .52, 1.05	30	8"	1.58

TREE BUBBLERS :

△	TORO	5/02-6P-COM-FB25PC - 6" POP-UP BUBBLER HEAD, EACH SYMBOL REPRESENTS TWO (2) BUBBLERS PER TREE. PLACE BUBBLERS AT EDGE OF ROOTBALL ON OPPOSITE SIDES OF TREE TYPICAL.
---	------	--

SUB-SURFACE DRIP - SHRUB AREAS

☐	TORO	RGP-418-01 DL2000 DRIP TUBING W/ 0.5 GPH EMITTERS 18" ON CENTER; INSTALL TUBING ROWS A MAXIMUM OF 16"-18" APART IN SHRUB AREAS. ALL TUBING SHALL BE INSTALLED 2" BELOW FINISHED SOIL GRADE W/ 9" WIRE STAKES FIVE (5) FEET ON CENTER; VERIFY THE LAYOUT AND SPACING IN THE FIELD PRIOR TO STARTING WORK
⊕	TORO	CA-710 COMPRESSION FITTING FOR CONNECTION BETWEEN PVC LATERAL LINES AND DRIP TUBING
☐	TORO	RGP-212-01 DL2000 DRIP TUBING W/ 0.5 GPH EMITTERS 12" ON CENTER; INSTALL TUBING AS SHOWN. ALL TUBING SHALL BE INSTALLED 2" BELOW FINISHED SOIL GRADE W/ 9" WIRE STAKES FIVE (5) FEET ON CENTER; VERIFY THE LAYOUT AND SPACING IN THE FIELD PRIOR TO STARTING WORK
NO SYMBOL	TORO	ALL CONNECTIONS BETWEEN DRIP TUBING SHALL BE MADE USING DL-2000 "LOC-EZE" FITTINGS
⊕	TORO	PROVIDE A FCH-H AUTOMATIC FLUSH VALVE AT END/MIDDLE OF DRIPLINE 3/4" PVC FLUSH MANIFOLD LINE. INSTALL FLUSH VALVE INSIDE A SEPERATE VALVE BOX. ONE AT THE END OF TUBING RUNS IN EACH DIRECTION. INSTALL MIN. ONE FLUSH VALVE PER 1000' OF TUBING IN EACH DIRECTION ON DRIPLINE FLUSH MANIFOLD. INSTALL 18" FROM PAVING. INSTALL ALL FLUSH EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
⊕	TORO	YD-508-34 AIR/VACUUM RELIEF VALVE INSTALLED WITH A FT-050 COMBINATION TEE AND A 3/4" X 1/2" REDUCER BUSHING. INSTALL AIR RELIEF ASSEMBLY INSIDE A 6" ROUND VALVE BOX AT THE HIGH POINT OF EACH PLANTER, MIN. 1 ARV PER 500' OF DRIPLINE. USING AIR RELIEF LATERAL. CONNECT AIR RELIEF VALVE TO ALL DRIPLINE LATERALS WITHIN THE ELEVATED AREA. MULTIPLE ARVS SHALL BE REQUIRED PER RCV WITHIN UNDULATING AREAS, VERIFY QUANTITY PRIOR TO STARTING WORK. INSTALL VALVE BOX 18" FROM PAVING AND AT HIGH POINTS OF PLANTER AREA. INSTALL ALL AIR VACUUM RELIEF EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
⊕	P.O.C.	DOMESTIC WATER METER FOR FUTURE RESIDENCE, EXISTING PER CIVIL DRAWINGS
⊕	WILKINS	500HLR 1.25" PRESSURE REGULATOR (REQUIRED IF HOSE PRESSURE EXCEEDS 85PSI)
⊕	WATTS	1.25" - B-0800-SS-SH FULL PORT BRONZE VALVE, STAINLESS STEEL BALL
⊕	TORO	(LOW FLOW VALVE RANGE .25 - 8.0 GPM) (MED FLOW VALVE RANGE 2.0 - 20.0 GPM) SEE PLAN FOR VALVE SIZE - D2K-EZF-075-LF (3/4" VALVE) OR D2K-EZF-1-MF (1" VALVE) PLASTIC ANTI-SIPHON TYPE CONTROL VALVE, WITH MESH WYE FILTER AND PRESSURE REGULATOR. INSTALL BOTH ON THE DOWNSTREAM SIDE OF EACH DRIP RCV IN A VALVE BOX.
●	TORO	EZF-29-03 REMOTE CONTROL VALVE.

SLOPE CONDITIONS REQUIRE ASV IF DRIP EMITTERS, SPRAY HEADS OR BUBBLERS ARE ABOVE THE 12" ZONE BELOW THE IRRIGATION VALVE. CONTRACTOR TO INSTALL A CHAMPION 3/4-Inch Vacuum Breaker - model # 262-075Y AT 12" ABOVE HIGHEST EMISSION DEVICE ON THE SYSTEM.

--- AS APPROVED PVC PIPE 3/4" - 2" SCH. 40 AS LATERAL LINES 12" BELOW GRADE
 --- AS APPROVED PVC PIPE 1.5" CL. 315 AS MAINLINES 18" BELOW GRADE
 --- AS APPROVED PVC PIPE SCH. 40 AS SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED PLACE BELOW ALL PAVING, HARDSCAPE, ETC., AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE.

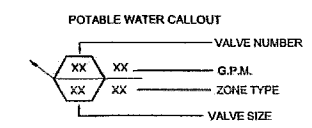
MAWA WATER USE CALCULATIONS FOR 3446 VIA VERDE, DANA POINT, CA 92624

Unit	Total MAWA = (ET _c X 0.7 X LA in sq ft X 0.62)	Gallons per year
Unit A-1	48.2 X .07 X 1,153 X .62 =	2,411.93
Unit B-1	48.2 X .07 X 1,156 X .62 =	2,418.21
Unit A-2	48.2 X .07 X 1,505 X .62 =	3,148.27
Unit B-2	48.2 X .07 X 1,156 X .62 =	2,418.21

Units are metered separately

IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ACTUAL LOCATION FOR THE INSTALLATION OF THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- ALL REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS. SUMMERS / MURPHY & PARTNERS INC. RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.



PIPE SIZING CHART

0 TO 5 GPM	3/4" SCH 40 PVC PIPE
5 TO 10 GPM	1" SCH 40 PVC PIPE
10 TO 15 GPM	1-1/4" SCH 40 PVC PIPE
15 TO 25 GPM	1-1/2" SCH 40 PVC PIPE

NOTE:
CONTRACTOR SHALL SIZE ALL LATERAL LINES PER PIPE SIZING CHART. IN NO INSTANCE SHALL PIPE SIZE EXCEED DESIGNATED GPM RANGE.

Edward F. Doll
LANDSCAPE ARCHITECTURE AND PLANNING
CALIF. #2413
4151 Balboa Street, Dana Point, CA 92604
949-246-7549
efdoll@comcast.net

REVISION	DATE

OWNER:
YAQOUT
17200 NEWHOPE STREET # 228A
FOUNTAIN VALLEY, CA 92708

PROJECT:
LANDSCAPE PLANS
PM 12/100
34466 VIA VERDE
DANA POINT, CA 92624

DRAWING TITLE:
IRRIGATION LAYOUT PLAN

DESIGNED	ED
DRAWN	EZ
CHECKED	ED
DATE	12/26/2015
JOB NO.	
CAD FILE	CL.dwg
SHEET NUMBER	L-3
	3 OF 4 SHEETS

