

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** JANUARY 25, 2016

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
URSULA LUNA-REYNOSA, DIRECTOR  
EVAN LANGAN, AICP, ASSOCIATE PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP15-0014 TO ALLOW DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCTION OF A NEW, TWO-STORY, SINGLE-FAMILY DWELLING WITH AN ATTACHED TWO-VEHICLE GARAGE ON A COASTAL BLUFF AT 34341 AMBER LANTERN

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**RECOMMENDATION:** That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP15-0014.

**APPLICANT/OWNER:** Dean and Susan Leffler

**OWNER'S AGENT:** John Christner (John Eric Christner Architect, Inc.)

**REQUEST:** Approval of a Coastal Development Permit to allow demolition of an existing single-family dwelling and construction of a new, two-story, 5,545 square-foot single-family dwelling with an attached 567 square-foot two-vehicle garage on a coastal bluff within the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission.

**LOCATION:** 34341 Amber Lantern (APN 672-071-24)

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius, published within a newspaper of general circulation and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library on January 14, 2016.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) in that it proposes construction of one new single-family dwelling.

**ISSUES:**

- Project consistency with the standards of the adopted Dana Point Specific Plan (DPSP).
- Project satisfaction of all findings required pursuant to the DPSP for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The subject property measures an approximate 9,500 square feet (.22 acres) and is presently developed with a two-story 5,000 square-foot single-family dwelling constructed in 1990 via Coastal Development Permit CDP90-05. The lot itself contains a coastal bluff, flat at its buildable portion, then descending steeply downward to Dana Point Harbor and the Pacific Ocean beyond. The property is a corner lot, with Amber Street (as well as the entrance to the City's Bluff Top Trail) located to the east, single-family dwellings to the north and west and the aforementioned coastal bluff and Dana Point Harbor to the south. Pursuant to the City's adopted Dana Point Specific Plan, the property is zoned as "Coastal Residential-Medium Density" (C-RMD) and is located within the Coastal Overlay (the CA Coastal Zone) as well as the appeals jurisdiction of the CA Coastal Commission.

**DISCUSSION:** The proposed scope of work would demolish the property's existing single-family dwelling and construct a new, two-story, 5,545 square foot single-family dwelling with attached, 567 square foot, two-vehicle garage. The structure would comprise four bedrooms, in addition to several accessory rooms including a game room, office and gym. The architecture for the dwelling is reminiscent of "English Country Manor" with a façade of smooth troweled plaster, stone and wood detailing and period fixtures (lamps, garage door materials, etc). Overall height for the dwelling would be 28 feet, the maximum allowed by the DPSP.

*Coastal Bluff*

As aforementioned, the subject property contains a coastal bluff as defined in the Dana Point Specific Plan. The submitted geotechnical documentation analyzed, among other items, the location of the edge of the coastal bluff (the point at which the site alters from generally flat to begin its topographic descent to the harbor/Pacific Ocean below), historic and projected future erosion of the site, as well as general site stability, and recommends a minimum development setback from the edge of 25 feet. All documentation and findings therein have been reviewed and approved by City geotechnical engineers and the proposed dwelling complies with the recommended setback.

Within the area of the setback from edge of coastal bluff, development is strictly limited to California native and drought tolerant landscaping, low level walls and hardscape without deepened structural footings. No irrigation is proposed or permitted within the area of the setback. The project proposes a variety of compliant plantings, pavers and gravel and all existing irrigation will be removed (Attachment 4 - Project Plans - Landscaping).

#### *Coastal Views from Public Areas*

It is the policy of the City to protect public views when reviewing new development proposals. Existing public views should be protected and new views opened where opportunities exist. The subject property contains an existing wrought iron fence running south along the front property-line and extending to the edge of the property's coastal bluff, through which limited public views of the coast are possible. This fence was originally located and constructed in accordance with requirements of both the aforementioned CDP90-05 as well as a recorded deed restriction (No. 90-002951) - the latter stipulating that no solid materials more than two feet tall may be allowed within the minimum 25 foot setback from the edge of the property's coastal bluff. The current project complies with that requirement, maintaining a visually permeable fence design (wrought iron) extending from the edge of the property's coastal bluff inland approximately 61 feet and so maintaining the current public views of the coast as viewed from adjacent rights-of-way.

#### *Lateral Access Easement*

Pursuant to the "General Provisions for Coastal Areas" subsection of the Implementing Actions Program of the Dana Point Specific Plan (DPSP), development proposed along coastal bluffs shall include an irrevocable offer to dedicate a lateral access easement paralleling the bluff to be utilized in the creation of a trail system connecting existing overlooks and trail segments. Following approval of CDP90-05 (for construction of the property's existing single-family dwelling), an offer to dedicate a lateral access easement was made by the owner and subsequently accepted by the City in 1991. The recording of the acceptance has the effect of establishing the easement which runs with the land in perpetuity.

#### Coastal Development Permit CDP15-0014

The subject application proposes demolition of existing development and construction of a new single-family dwelling on a coastal bluff. Pursuant to the "Coastal Development" District Regulations of Chapter III (Coastal Land Use District Regulations), Subsections (7)(b)(3) of the Implementing Actions Program of the Dana Point Specific Plan (DPSP), the proposed scope of work shall require approval of a Coastal Development Permit (CDP). The DPSP stipulates the following three findings to approve a CDP request, requiring that:

1. *The development project proposed by the application conforms to the Certified Local Coastal Program.*
2. *That the application is consistent with the purpose and intent as well as the other provisions of the Orange County Zoning Code or district regulations of the specific plan applicable to the property.*
3. *That the project conforms to the public access and public recreation policies of the California Coastal Act.*

Staff's recommended findings to approve the CDP request are enumerated in the project's draft resolution (Attachment 1).

**CORRESPONDENCE:** To date, no correspondence has been received concerning the subject project. The property is not located within a homeowners association (HOA).

**CONCLUSION:** Staff finds that the subject project is consistent with the policies and provisions of the Dana Point Specific Plan. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached resolution, approving CDP15-0014 subject to findings and conditions of approval.

  
Evan Langan, AICP  
Associate Planner

  
Ursula Luna-Reynosa, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 16-01-25-xx

**Supporting Documents**

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)

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**CITY OF DANA POINT  
PLANNING COMMISSION  
REGULAR MEETING MINUTES**

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January 11, 2016  
6:01 – 6:41 p.m.

City Hall Offices  
Council Chamber (#210)  
33282 Golden Lantern  
Dana Point, CA 92629

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**CALL TO ORDER**

Vice-Chairman Nelson called the Regular Meeting of the Dana Point Planning Commission to order at 6:01 p.m.

**PLEDGE OF ALLEGIANCE**

City Architect / Planning Manager John Tilton led the Pledge of Allegiance.

**ROLL CALL**

Planning Commission Members Present: Vice-Chairman Eric Nelson, Commissioner Scott McKhann and Commissioner Danni Murphy

Planning Commission Members Absent: Chairwoman April O'Connor, Commissioner Liz Claus

Staff Present: Ursula Luna-Reynosa (Director), City Architect / Planning Manager John Tilton, Kurth Nelson (Senior Planner), Jennifer Farrell (Deputy City Attorney), and Shayna Sharke (Senior Administrative Assistant).

**A: APPROVAL OF MINUTES**

**ITEM 1: Minutes of the regular Planning Commission Meeting of December 14, 2015.**

**ACTION: Motion made (Murphy) and seconded (McKhann) to approve the Minutes of the Regular Planning Commission Meeting of December 14, 2015. Motion carried 5-0-2. (AYES: McKhann, Murphy, and Nelson NOES: None ABSENT: Claus and O'Connor ABSTAIN: None)**

**B. PUBLIC COMMENTS**

There were no requests to speak.

**C. CONSENT CALENDAR**

There were no items on the Consent Calendar.

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**CITY OF DANA POINT  
PLANNING COMMISSION  
REGULAR MEETING MINUTES**

January 11, 2016  
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**D. PUBLIC HEARINGS**

There were no Public Hearings.

**E. OLD BUSINESS**

There was no Old Business.

**F. NEW BUSINESS**

**ITEM 2: Coastal Development Permit CDP15-0019 to allow the demolition of an existing single-family dwelling and construction of a new single-family dwelling on land located within the Residential Single-Family 4 (RSF-4) Zoning District at 431 Monarch Bay Drive.**

Applicant: Oatman Architects, Inc.

Location: 431 Monarch Bay Drive (APN 670-151-22)

Recommendation: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP15-0019.

Environmental: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorical Exempt per Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in that the project proposes the construction of one single-family dwelling.

Request: Approval of a Coastal Development Permit to allow the demolition of an existing single-family dwelling and the construction of a new 4,623 square-foot, single-family dwelling and attached 887 square-foot garage, on land located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission

John Tilton (City Architect / Planning Manager) provided a staff report and responded to questions of the Commission.

There were no requests to speak on this item.

**Commissioner Murphy** stated that she thought that the project was a good fit.

**Commissioner McKhann** concurred with staff findings.

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**CITY OF DANA POINT  
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REGULAR MEETING MINUTES**

January 11, 2016  
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**Vice-Chairman Nelson** stated that while he hates to see mid-century modern buildings go, he thinks that the proposed building is good looking.

**ACTION:** Motion made (McKhann) and seconded (Murphy) to adopt Resolution No. 16-01-11-01 approving Coastal Development Permit CDP15-0019 to allow the demolition of an existing single-family dwelling and construction of a new single-family dwelling on land located within the Residential Single-Family 4 (RSF-4) Zoning District at 431 Monarch Bay Drive. Motion carried 3-0-2. (AYES: McKhann, Murphy, and Nelson NOES: None ABSENT: Claus and O'Connor ABSTAIN: None)

**ITEM 3:** Water Efficient Landscape Ordinance Update – Zone Text Amendment ZTA15-0002.

Applicant: City of Dana Point – Community Development Department

Location: Citywide

Recommendation: That the Planning Commission approve the attached draft Resolution, recommending City Council approval and adoption of the proposed Zone Text Amendment.

Environmental: The proposed project is found not to have a significant effect on the environment and is therefore exempt from the provisions of California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15307, Class 7 – Actions by Regulatory Agencies for Protection of Natural Resources.

Request: Zone Text Amendment ZTA15-0002 amending the City's Water Efficient Landscape Standards and Requirements Ordinance by updating provisions of the previously adopted Orange County Model Water Efficient Landscape Ordinance (MWELO) in accordance with Governor Brown's April 1, 2015, Drought Executive Order (B-19-25).

Kurth Nelson (Senior Planner) provided a staff report and responded to questions of the Commission.

There were no requests to speak on this item.

**Commissioner McKhann** asked if the proposed Zone Text Amendment would make the process more or less difficult for Dana Point Residents.



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**CITY OF DANA POINT  
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January 11, 2016  
6:01 – 6:41 p.m.

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Kurth Nelson (Senior Planner) replied that City regulations must be as effective as State requirements. The presented Zone Text Amendment would fulfill those standards and allow for helpful tools and regulations specific to Orange County.

**Vice-Chairman Eric Nelson** asked if there are currently design standards for artificial turf in regards to private homes and in parkways.

Kurth Nelson (Senior Planner) replied that artificial turf is part of the new development standards. Artificial turf is defined as hardscape.

John Tilton (City Architect / Planning Manager) added that with the increased popularity of artificial turf, it will be addressed more specifically through code updates. Any parkway alteration requires an encroachment permit with specific standards.

**Commissioner McKhann** stated that hardscape seemed to be preferable in terms of water consumption, but hardscape is limited. He added that the limitation on hardscape may be at odds with the water use efforts.

**Commissioner Murphy** stated her concern with artificial turf and runoff.

John Tilton (City Architect / Planning Manager) replied that it may be helpful to bring in the City's Water Quality Engineer to discuss further. He added that artificial turf will allow some percolation, but the runoff could be toxic. He said that drought tolerant landscaping is preferred.

Ursula Luna-Reynosa (Director) added that the City's task here is to balance aesthetics with water usage and water quality issues. The City is encouraging drought tolerant landscaping, which is better for the environment and more aesthetically pleasing.

**ACTION:** Motion made (McKhann) and seconded (Murphy) to adopt Resolution No. 16-01-11-02 recommending City Council approval of Zone Text Amendment ZTA15-0002 of Chapter 9.55 of the Municipal Code updating the water efficient landscape ordinance of the city to include local water efficient landscape provisions in accordance with the state of california executive order no. B-19-25. Motion carried 3-0-2. (AYES: McKhann, Murphy, and Nelson NOES: None ABSENT: Claus and O'Connor ABSTAIN: None)

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**CITY OF DANA POINT  
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REGULAR MEETING MINUTES**

January 11, 2016  
6:01 – 6:41 p.m.

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**G. STAFF REPORTS**

Director Ursula Luna-Reynosa wished everyone a happy new year.

**H. COMMISSIONER COMMENTS**

**Commissioner Murphy** wished everyone a happy new year.

**Vice-Chairman Nelson** also wished a happy new year to all and expressed his wishes for a speedy recovery for Chairwoman O'Connor and Commissioner Claus.

**Commissioner McKhann** wished everyone a happy new year.

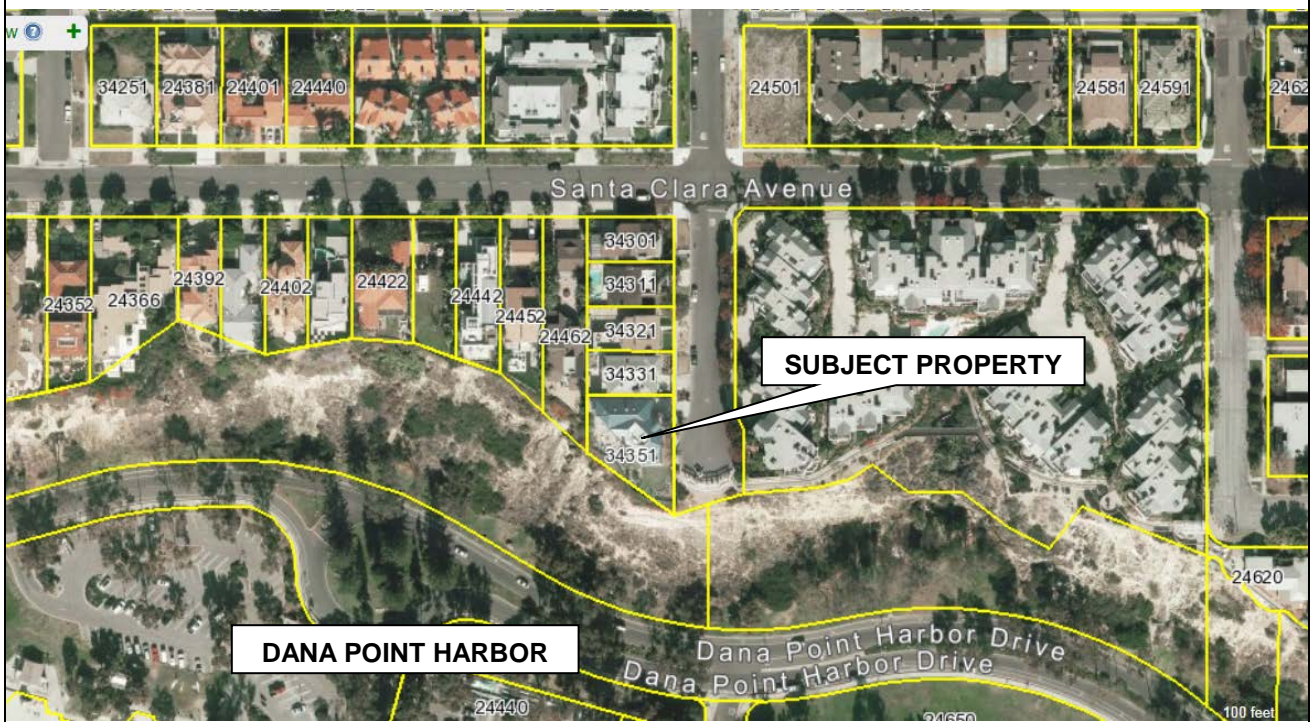
**I. ADJOURNMENT**

Chairwoman O'Connor adjourned the meeting at 6:41 p.m. and announced that the *next* Regular Meeting of the Planning Commission would be held on Monday, January 25, 2016, beginning at 6:00 p.m. (or as soon thereafter) in the City Council Chamber located at 33282 Golden Lantern, Suite 210, Dana Point, California.



City of Dana Point  
**Coastal Development Permit CDP15-0014**  
**Evan Langan, AICP, Associate Planner**  
Evan Langan, AICP, Associate Planner  
Community Development Department  
33282 Golden Lantern

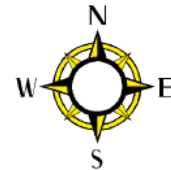
## VICINITY MAP



**Project :** *CDP15-0014*

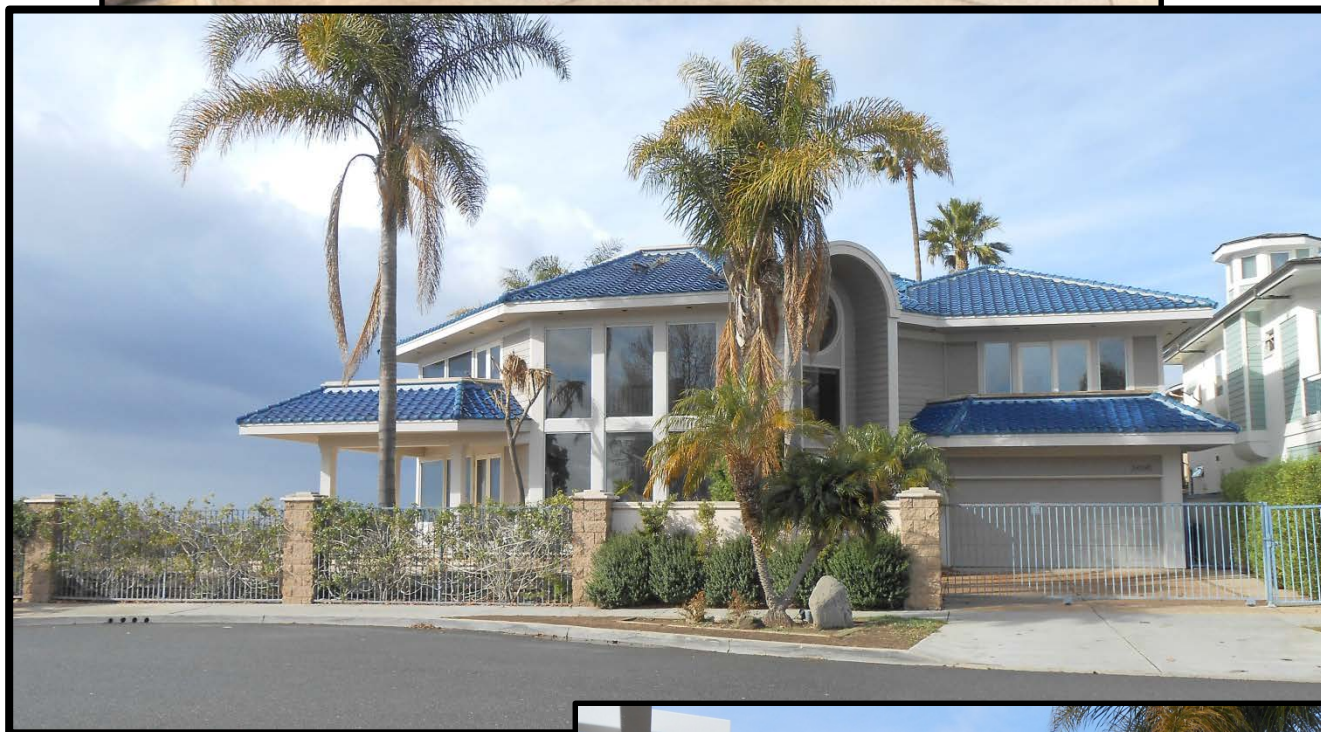
**Project Applicant:** *Dean and Susan Leffler*

**Location:** *34341 Amber Lantern*





# SITE PHOTOS





# LEFFLER RESIDENCE

## ABBREVIATIONS

ABV.	ABOVE	F.P.	FRIGPLACES	R.E.L.	RADIUS
ACCRST.	ACCIDENTAL	FLAS.	FLASHING	R.F.P.	RAPPER
ADDIT.	ADDITIONAL	F.C.N.	FLY-LEAD WOOD SCREW	R.F.P.	RECEPTACLE
ADJ.	ADJUTANT	J.B.	FLOOR	R.F.P.	REDWOOD
ADUST.	ADJUSTABLE	F.D.	FLOOR DRAIN	R.F.P.	REFRIGERATOR
AL.	ALUMINUM	F.D.C.	FLOOR DRAIN COVER	R.F.P.	REFRIGERATOR
ALDA.	ALUMINUM	F.L.C.	FLOOR LIGHT	R.A.	RETAINING
A.S.	ANCHOR SCREW	F.L.C.	FLOOR LIGHT	R.A.	RETAINING
ASB.	ASBESTOS	F.L.C.	FLOOR LIGHT	R.A.	RETAINING
ASB.	ASBESTOS	F.L.C.	FLOOR LIGHT	R.A.	RETAINING
A.C.	ASPHALTIC CONCRETE	F.L.C.	FLOOR LIGHT	R.A.	RETAINING
AT	AVENUE	F.L.C.	FLOOR LIGHT	R.A.	RETAINING
AVL.	AVENUE	F.L.C.	FLOOR LIGHT	R.A.	RETAINING
BAL.	BALCONY	GALV.	GALVANIZED	R.A.	RETAINING
B.L.	BASIN	G.D.	GARBAGE DISPOSAL	R.A.	RETAINING
B.P.	BASE PLATE	G.D.	GARBAGE DISPOSAL	R.A.	RETAINING
BOM.	BOMBS	G.D.	GARBAGE DISPOSAL	R.A.	RETAINING
B.M.	BEST MANAGEMENT PRACTICES	G.D.	GARBAGE DISPOSAL	R.A.	RETAINING
B.T.	BREAST	G.D.	GARBAGE DISPOSAL	R.A.	RETAINING
B.T.M.	BEST MANAGEMENT PRACTICES	G.D.	GARBAGE DISPOSAL	R.A.	RETAINING
B.T.M.	BEST MANAGEMENT PRACTICES	G.D.	GARBAGE DISPOSAL	R.A.	RETAINING
B.T.M.	BEST MANAGEMENT PRACTICES	G.D.	GARBAGE DISPOSAL	R.A.	RETAINING

## PROJECT TEAM

<b>DESIGNER</b> FLEMING DISTINCTIVE HOMES 2429 WEST COAST HWY #210 NEWPORT BEACH, CA 92663 (949) 732-1645 e-mail: jflaming@fleming-homes.com  contact: Christine Bemis	<b>OWNER</b> MR. & MRS. DEAN LEFFLER 4740 BLUE MOUNTAIN, YORBA LINDA, CA 92887 (949) 732-1645 e-mail: jflaming@fleming-homes.com  contact: Dean & Sue Leffler
<b>CONSULTANT</b> JON ERIC CHRISTNER ARCHITECT, INC. 2416 CAMINO OLEADA SAN CLEMENTE, CA 92629 (949) 487-1865  e-mail: jecarch@cox.net  contact: Jon Christner	<b>LANDSCAPE ARCHITECT</b> D W L A 59 ROCKPORT IRVINE, CA 92602 (714) 730-3947 fax: (714) 730-3967 e-mail: carl@dcgo.com  contact: Dale Waldo
<b>STRUCTURAL DESIGN</b> ESUFINE, INC. 1800 E 16TH STREET, SUITE B SANTA ANA, CA 92701 (714) 835-2800 fax: (714) 835-2819 e-mail: Scott.Koss@esufine.com  contact: Scott W. Ross	<b>GRADING ENGINEER</b> TOAL ENGINEERING, INC. 139 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 (949) 492-8586 fax: (949) 498-0625 e-mail: AToal@toalengineering.com  contact: Adam Toal
<b>ENERGY CONSULTANT</b> SOUTHLAND ENERGY 1491 GLENNEVERE STREET LAGUNA BEACH, CA 92651 (949) 497-3591 fax: (949) 497-3210 e-mail: PaulK@southlandlb.com  contact: Paul Kandarain	<b>GEOTECHNICAL ENGINEER</b> SOUTH COAST GEOTECHNICAL 24632 SAN JUAN AVE, SUITE 100 DANA POINT, CA 92629 (949) 374-4100 fax: (949) 788-7711 e-mail: carl@scgo.com  contact: Carl D. Schrank

## SHEET INDEX

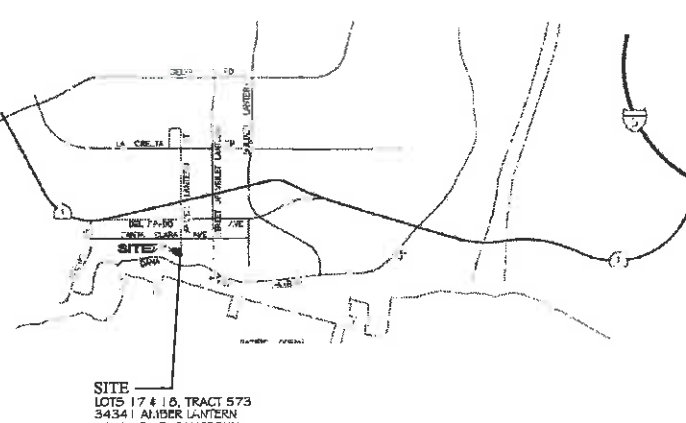
T1	TITLE SHEET
A1	SITE PLAN
A1A	FRONT SETBACK DETERMINATE
A1B	FRONT EDGE PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	EXTERIOR ELEVATIONS (EAST + SOUTH-WEST)
A5	EXTERIOR ELEVATION (NORTH)
A7	ROOF PLAN
L0	LANDSCAPE PLAN
L1	IRRIGATION PLAN
1	PRELIMINARY GRADING PLAN -1
2	PRELIMINARY GRADING PLAN -2
3	SECTIONS
T1	TOPOGRAPHIC SURVEY
T2	TOPOGRAPHIC SURVEY (PARTIAL)
T3	TOPOGRAPHIC SURVEY (PARTIAL)

**LEFFLER RESIDENCE**  
 34341 STREET OF THE AMBER LANTERN  
 DANA POINT, CA 92629

## PROJECT DATA

<b>APPLICABLE CODES</b> 2013 CALIFORNIA RESIDENTIAL CODE (CRC) 2013 CALIFORNIA BUILDING CODE (CBC) 2013 CALIFORNIA MECHANICAL CODE (CMC) 2013 CALIFORNIA PLUMBING CODE (CPC) 2013 CALIFORNIA ELECTRICAL CODE (CEC) 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC) 2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES) THE CITY OF DANA POINT LOCAL ORDINANCES	<b>APPROXIMATE SQUARE FOOTAGES</b>  <b>CITY OF DANA POINT</b>  HABITABLE & / or CONDITIONED NON-HABITABLE SPACE TOTALS  <b>HOUSE</b> FIRST FLOOR : 2,691 SQ. FT. SECOND FLOOR : 2,854 SQ. FT.  HOUSE TOTAL : 5,545 SQ. FT. 2 CAR GARAGE : 567 SQ. FT.  DECK 1 : 169 SQ. FT. DECK 2 : 98 SQ. FT. DECK 3 : 113 SQ. FT.  DECK TOTAL : 380 SQ. FT.
<b>LEGAL DESCRIPTION</b> LOTS: 17 & 18 (BLOCK T) TRACT: 573 CITY: DANA POINT COUNTY: ORANGE ADDRESS: 34341 AMBER LANTERN DANA POINT, CA, 92629	<b>AREAS</b> LOT : 9,500 SQ. FT. FOOTPRINT : 3,258 SQ. FT. (35%) HARDSCAPE : 3,925 SQ. FT. (41%) SOFTSCAPE : 2,317 SQ. FT. (24%)
<b>COASTAL DEVELOPMENT PERMIT</b> REFERENCE COASTAL DEVELOPMENT PERMIT CDP15-0014  ANY NEW DEVELOPMENT WITHIN THE BLUFF SETBACK ZONE SHALL CONFORM TO SECTION 9.27.030(3) OF THE CITY OF DANA POINT MUNICIPAL CODE.  PERMITTED DEVELOPMENT WITHIN THE COASTAL BLUFF EDGE SETBACK IS LIMITED TO STRUCTURES THAT MAY INCLUDE RETAINING & NON RETAINING WALLS, FENCES, & DROUGHT TOLERANT LANDSCAPING  ANY NEW &/OR EXISTING IMPROVEMENTS LOCATED WITHIN THE BLUFF EDGE SETBACK REQUIRES CITY OF DANA POINT PLANNING DEPARTMENT REVIEW &/OR APPROVAL.  <b>SEPARATE PERMIT</b> 1. POOL & SPA SHALL BE COVERED UNDER SEPARATE PERMITS 2. FENCE & RETAINING WALLS SHALL BE COVERED UNDER SEPARATE PERMITS.	<b>COASTAL DEVELOPMENT PERMIT</b> REFERENCE COASTAL DEVELOPMENT PERMIT CDP15-0014  ANY NEW DEVELOPMENT WITHIN THE BLUFF SETBACK ZONE SHALL CONFORM TO SECTION 9.27.030(3) OF THE CITY OF DANA POINT MUNICIPAL CODE.  PERMITTED DEVELOPMENT WITHIN THE COASTAL BLUFF EDGE SETBACK IS LIMITED TO STRUCTURES THAT MAY INCLUDE RETAINING & NON RETAINING WALLS, FENCES, & DROUGHT TOLERANT LANDSCAPING  ANY NEW &/OR EXISTING IMPROVEMENTS LOCATED WITHIN THE BLUFF EDGE SETBACK REQUIRES CITY OF DANA POINT PLANNING DEPARTMENT REVIEW &/OR APPROVAL.  <b>SEPARATE PERMIT</b> 1. POOL & SPA SHALL BE COVERED UNDER SEPARATE PERMITS 2. FENCE & RETAINING WALLS SHALL BE COVERED UNDER SEPARATE PERMITS.
<b>OCUPANCY GROUP</b> GROUP R DIVISION 3 GROUP U	<b>CONSTRUCTION TYPE</b> TYPE VB NON-RATED (SPRINKLER)
<b>BUILDING SETBACKS + HEIGHT</b> FRONT: 16'-3" (RESIDENCE - 16'-0" MIN. BASED ON FRONT SETBACK DETERMINATE - SHT. A1A) 21'-2" (GARAGE FACING STREET - 20'-0" MIN.)  NORTH SIDE: 5'-0" (5'-0" MIN.) WEST SIDE: 5'-0" (5'-0" MIN.) REAR (EDGE OF BLUFF): 40'-0" MIN. AS MEASURED FROM EDGE OF BLUFF (25'-0" DEVIATION) HEIGHT: 27'-10" MAX. AS MEASURED FROM EXISTING AVERAGE GRADE (28'-0" MAX. ALLOWABLE)	<b>SCOPE OF WORK</b> DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCTION OF A NEW, TWO-STORY SINGLE-FAMILY DWELLING ON LAND CONTAINING A COASTAL BLUFF.

## VICINITY MAP



RECEIVED  
 JAN 20 2016  
 CITY OF DANA POINT  
 PLANNING DEPARTMENT

REFERENCE COASTAL DEVELOPMENT PERMIT CDP15-0014  
 JOB NO. 1501  
 SCALE: NA  
 DATE 12/3/15  
 SHEET NO.



JAN 20 2016

**BLUFF EDGE SETBACK LEGEND**

BLUFF EDGE AND SETBACK LOCATION PER FIGURE 2: GEOLOGIC & PROPOSED CONSTRUCTION MAP PREPARED BY SOUTH COAST GEOTECHNICAL SERVICES, DATED JULY 2015, PROJ. NO. 1262-01

- 1 - EDGE OF BLUFF
- 2 - 25' SETBACK FROM EDGE OF BLUFF
- 3 - 40' SETBACK FROM EDGE OF BLUFF
- 4 - 1.5 FACTOR OF SAFETY
- 5 - 1.5 FACTOR OF SAFETY + ESTIMATED 50 YEAR BLUFF RETREAT
- 6 - ESTIMATED 50 YEAR BLUFF RETREAT

**SITE NOTES:**

- 1 DEMOLISH THE EXISTING RESIDENCE (W/ ATTACHED GARAGE) 2.00' 4' WALLS TO THE EXISTING SLAB-ON-GRADE FOUNDATION, WHICH SHALL BE PROTECTED-IN-PLACE CONSTRUCT TO SUPPORT A NEW (2) STORY SINGLE FAMILY RESIDENCE W/ ATTACHED 2-CAR GARAGE
- 2 REMOVE 4" X 6" SCRAPE EXISTING EXTERIOR HARDSCAPE (FOR SOFTSCAPE AREAS IN PREPARATION FOR NEW PROPOSED LANDSCAPE DESIGN
- 3 PROPOSED NEW HARDSCAPE AREAS - DRIVEWAY, PATIO, WALKS, ETC. REFER TO LANDSCAPE PLANS
- 4 PROPOSED NEW HARDSCAPE AREAS - REFER TO LANDSCAPE PLANS
- 5 PROPOSED NEW BLUFFTOP SOFTSCAPE AREA (AREA BTWN ESTIMATED 50 YR. BLUFF RETREAT & ESTIMATED 50 YR. BLUFF RETREAT - SHOWN DASHED) TO CONFORM W/ COASTAL BLUFF EDGE REQUIREMENTS (REFER W/ CITY OF DANA POINT PLANNING DEPT.) - REFER TO LANDSCAPE PLANS
- 6 PROPOSED GAS METER LOCATION (MATCH EXIST. LOCATION) VERIFY W/ SO CAL GAS
- 7 APPROX. LOCATION EXIST. ELEC. PANEL - TO BE REMOVED
- 8 PROPOSED NEW ELECTRIC METER SERVICE LOCATION - VERIFY W/ SDG&E
- 9 EXIST. PROPERTY LINE WALL 4" X 6" FENCE TO REMAIN - PROTECT IN PLACE
- 10 EXISTING PILLARS/STEPS TO REMAIN - PROTECT IN PLACE
- 11 EXIST. ± 36" H METAL FENCE ADJ. TO THE ESTIMATED 50 YR. BLUFF RETREAT LINE TO REMAIN - PROTECT IN PLACE
- 12 NEW SOLID PRIVACY WALL TO MATCH EXISTING ADJACENT SOLID WALL DESIGN & FINISH - REFER TO LANDSCAPE PLANS
- 13 NEW PREYARD WALL & GATED YARD ENTRY - REFER TO LANDSCAPE PLANS
- 14 EXISTING DRIP IRRIGATION - NEW HARDSCAPE FINISH - REFER TO LANDSCAPE PLANS
- 15 APPROX. LOCATION NEW RAISED FOUNTAIN - REFER TO LANDSCAPE PLANS
- 16 PROPOSED NEW METAL FRAMED TRELLIS - REFER TO LANDSCAPE PLANS
- 17 LINE OF 2ND FLR. CANTILEVERED BALCONY - (2 PLACES)
- 18 APPROX. LOCATION BBQ COUNTER AREA
- 19 BENCHMARK NOTE: OCS BN 19A-2-62' ; ELEV. = 15.260 FT. ± NAVD83 DATUM / 1997 OCS ADJ.
- 20 PROPOSED NEW "SOFTSCAPE" AREA IN PUBLIC RIGHTS OF WAY (ROW) - IMPROVEMENTS WITHIN THE ROW WILL REQUIRE APPROVAL OF AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS ENGINEERING DEPARTMENT
- 21 APPROX. LOCATION EXIST. MAILBOX
- 22 RELOCATE EXIST. PROPERTY LINE FENCE TO CREATE RECESS PLANTER ADJACENT TO PROPERTY LINE

**EASEMENT NOTE**

EASEMENTS PLOTTED HEREON BASED UPON PRELIMINARY REPORT PREPARED BY TIGOR TITLEPER, ORDER NO. 03851284-897-07, DATED 8/21/15.

(A) PUBLIC LATERAL ACCESS EASEMENT PER CITY OF DANA POINT COUNCIL RESOLUTION NO. 90-09-25-4 ACCEPTING AN IRREVOCABLE OFFER OF DEDICATION, ADOPTED BY CITY COUNCIL ON 9/25/90 AND RECORDED ON 1/10/90 AS INSTRUMENT NO. 20-3355895, OFFICIAL RECORDS OF ORANGE COUNTY.

**LEFFLER RESIDENCE**  
 34341 STREET OF THE AMBER LANTERN  
 DANA POINT, CA 92629

REFERENCE COASTAL DEVELOPMENT PERMIT CDP15-0014

JOB NO. 1501  
 SCALE: 1/8"  
 DATE 12/3/15

SHEET NO.

**A1**

**CDP 15-0014**

**REMODELED SITE PLAN**



JAN 20 2016

**FRONT SETBACK DETERMINATE:**

WHEN A BUILDING SITE HAS AN AVERAGE DEPTH OF ONE HUNDRED (100) FEET OR LESS BUT MORE THAN SEVENTY-FIVE (75) FEET, ANY REQUIRED FRONT AND REAR BUILDING LINE SETBACKS NEED NOT BE MORE THAN TWENTY (20) PERCENT OF SUCH AVERAGE DEPTH; AND WHEN A BUILDING SITE HAS AN AVERAGE DEPTH OF SEVENTY (75) FEET OR LESS, ANY REQUIRED FRONT AND REAR BUILDING LINE SETBACKS NEED NOT BE MORE THAN FIFTEEN (15) PERCENT OF SUCH AVERAGE DEPTH, BUT IN NO EVENT SHALL ANY REQUIRED FRONT OR REAR BUILDING LINE SETBACK BE LESS THAN FIVE (5) FEET

**INCREMENTAL AVERAGE:**

DEPTH OF LOT AT FIVE (5) FOOT INCREMENTS

- A' LINE - 18.75'
- B' LINE - 38.00'
- C' LINE - 46.00'
- D' LINE - 53.00'
- E' LINE - 58.00'
- F' LINE - 60.50'
- G' LINE - 62.75'
- H' LINE - 65.50'
- I' LINE - 69.50'
- J' LINE - 77.50'
- K' LINE - 86.75'
- L' LINE - 96.75'
- M' LINE - 100.00'
- N' LINE - 100.00'
- O' LINE - 100.00'
- P' LINE - 100.00'
- Q' LINE - 100.00'
- R' LINE - 100.00'
- S' LINE - 100.00'
- T' LINE - 100.00'
- U' LINE - 100.00'
- V' LINE - 100.00'
- W' LINE - 100.00'

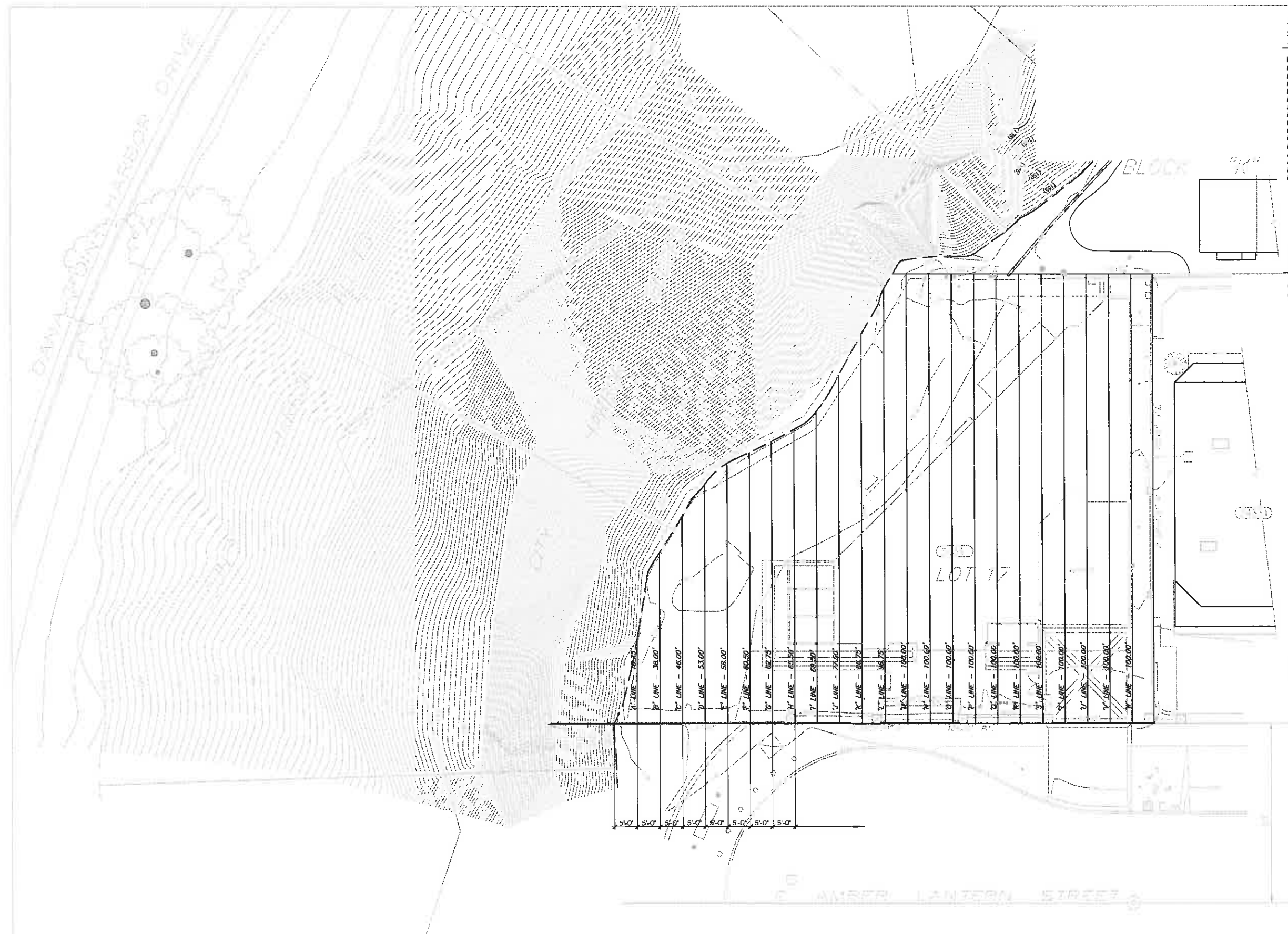
TOTAL = 1833.00'

(DIVIDE TOTAL BY 24 INCREMENTS)  
1833.00' ÷ 24 = 76.38'

(AT 20%)  
76.38' × 20% = 15.27'

ROUNDED TO = 16.00'

ALLOWABLE STRUCTURAL SETBACK = 16.00'



**LEFFLER RESIDENCE**  
 34341 STREET OF THE AMBER LANTERN  
 DANA POINT, CA 92629

REFERENCE COASTAL DEVELOPMENT PERMIT CDP15-0014

JOB NO. 1501  
SCALE: 1/8"  
DATE 12/3/15

SHEET NO.

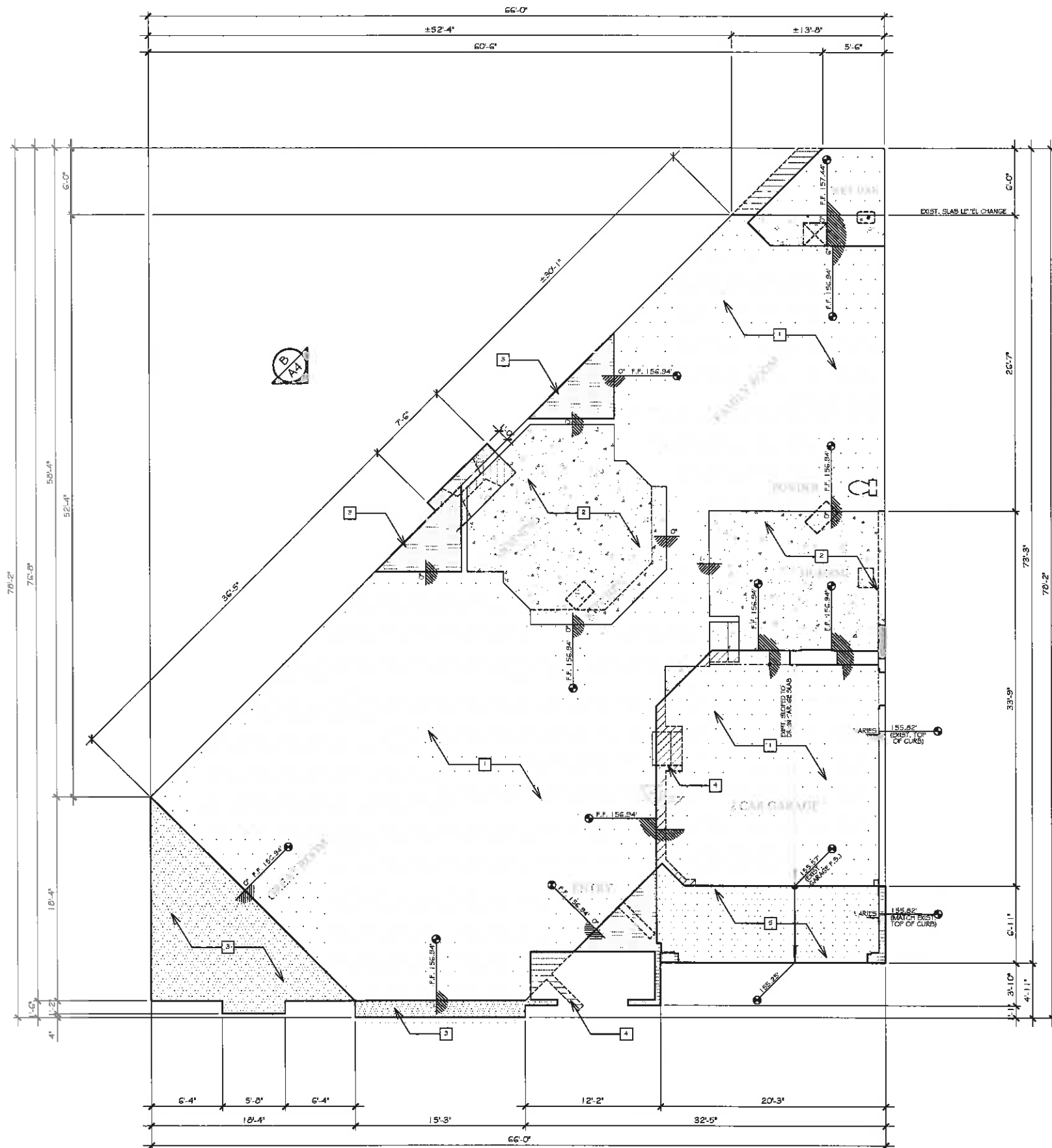
**A1A**

**CDP 15-0014**

**FRONT SETBACK DETERMINATE**



JAN 20 2016



**PLAN NOTES:**

- 1 [Symbol] DESIGNATES AREA OF EXISTING CONCRETE SLAB-ON-GRADE FOUNDATION TO REMAIN PROTECT IN PLACE
- 2 [Symbol] DESIGNATES EXISTING STEP-DOWN AREA OF EXISTING CONCRETE SLAB-ON-GRADE FOUNDATION TO RECEIVE NEW CONCRETE FILL CREATING A CONTINUOUS LEVEL FLOOR SURFACE
- 3 [Symbol] DESIGNATES AREAS OF NEW CONCRETE SLAB-ON-GRADE FOUNDATION REQUIRING ADDITIONAL SQUARE FOOTAGE
- 4 [Symbol] DESIGNATES AREAS OF EXISTING CONCRETE SLAB-ON-GRADE FOUNDATION REQUIRING DEMOLITION & REMOVAL CREATING ADDITIONAL SQUARE FOOTAGE
- 5 [Symbol] DESIGNATES AREAS OF NEW CONCRETE SLAB-ON-GRADE FOUNDATION

JON BAC CHRISTINA ARCHITECT, INC.  
 34341 STREET OF THE AMBER LANTERN  
 DANA POINT, CA 92629  
 TEL: 949.441.1111  
 FAX: 949.441.1112  
 WWW.JONBACCHRISTINAARCHITECT.COM

**LEFFLER RESIDENCE**  
 34341 STREET OF THE AMBER LANTERN  
 DANA POINT, CA 92629

REFERENCE COASTAL DEVELOPMENT PERMIT CDP15-0014

JOB NO. 1501  
 SCALE: 1/4"  
 DATE 12/3/15

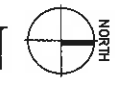
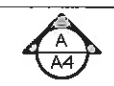
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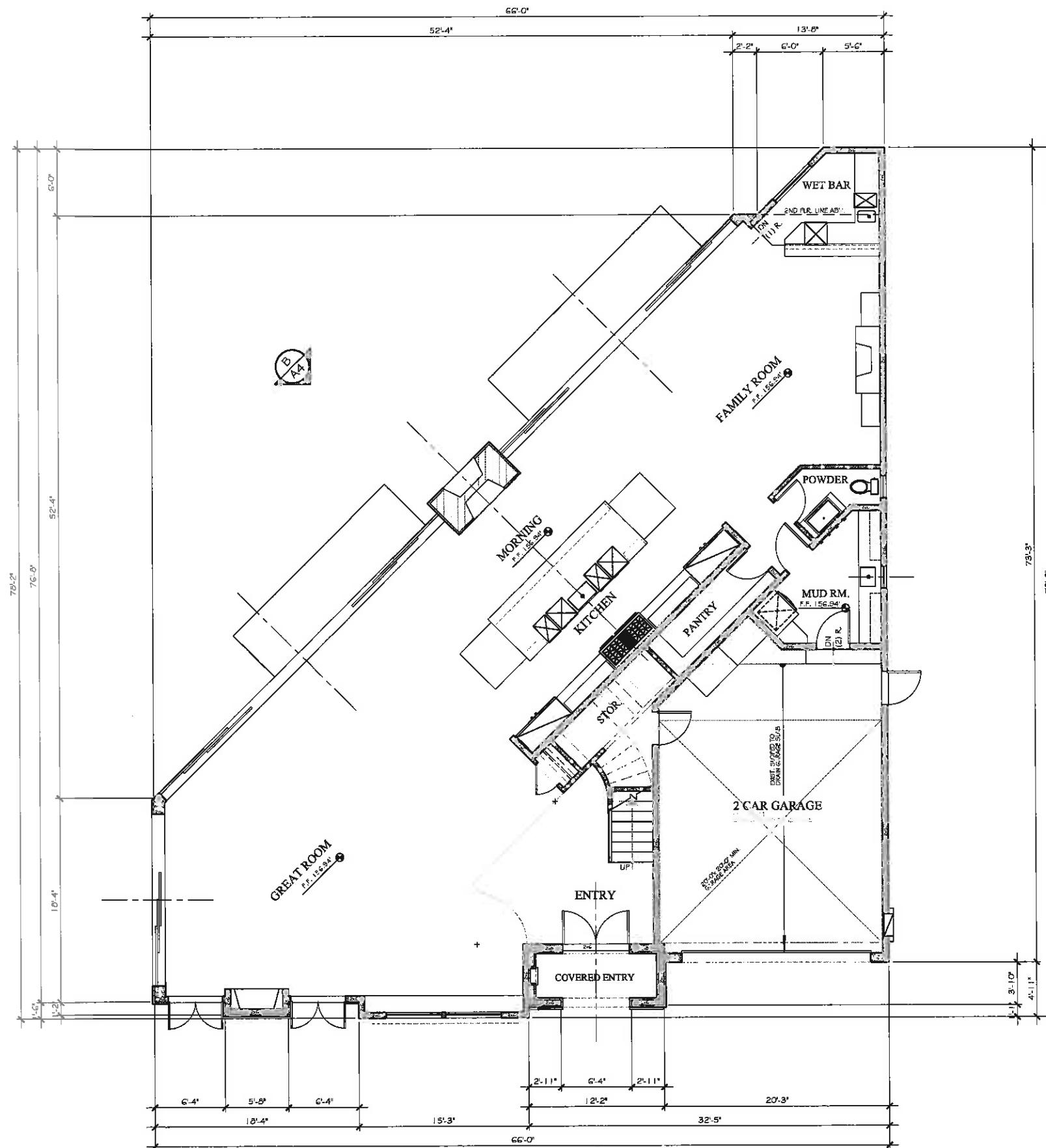
JAN 20 2016

**CDP 15-0014**

**SLAB EDGE PLAN**







**PLAN NOTES:**

1

FOR INFO CONSULT ARCHITECT, ETC.  
 owner. It reserves the right to modify  
 and alter property rights to the plan. The  
 Architect and all its services shall not be  
 responsible, advised or implied in any form or  
 manner for any error or omission in any  
 way that may result in a claim  
 against it.

FOR INFO CONSULT ARCHITECT, ETC.

**LEFFLER RESIDENCE**  
 34341 STREET OF THE AMBER LANTERN  
 DANA POINT, CA 92629

REFERENCE COASTAL  
 DEVELOPMENT  
 PERMIT CDP15-0014

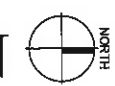
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 DATE 12/3/15

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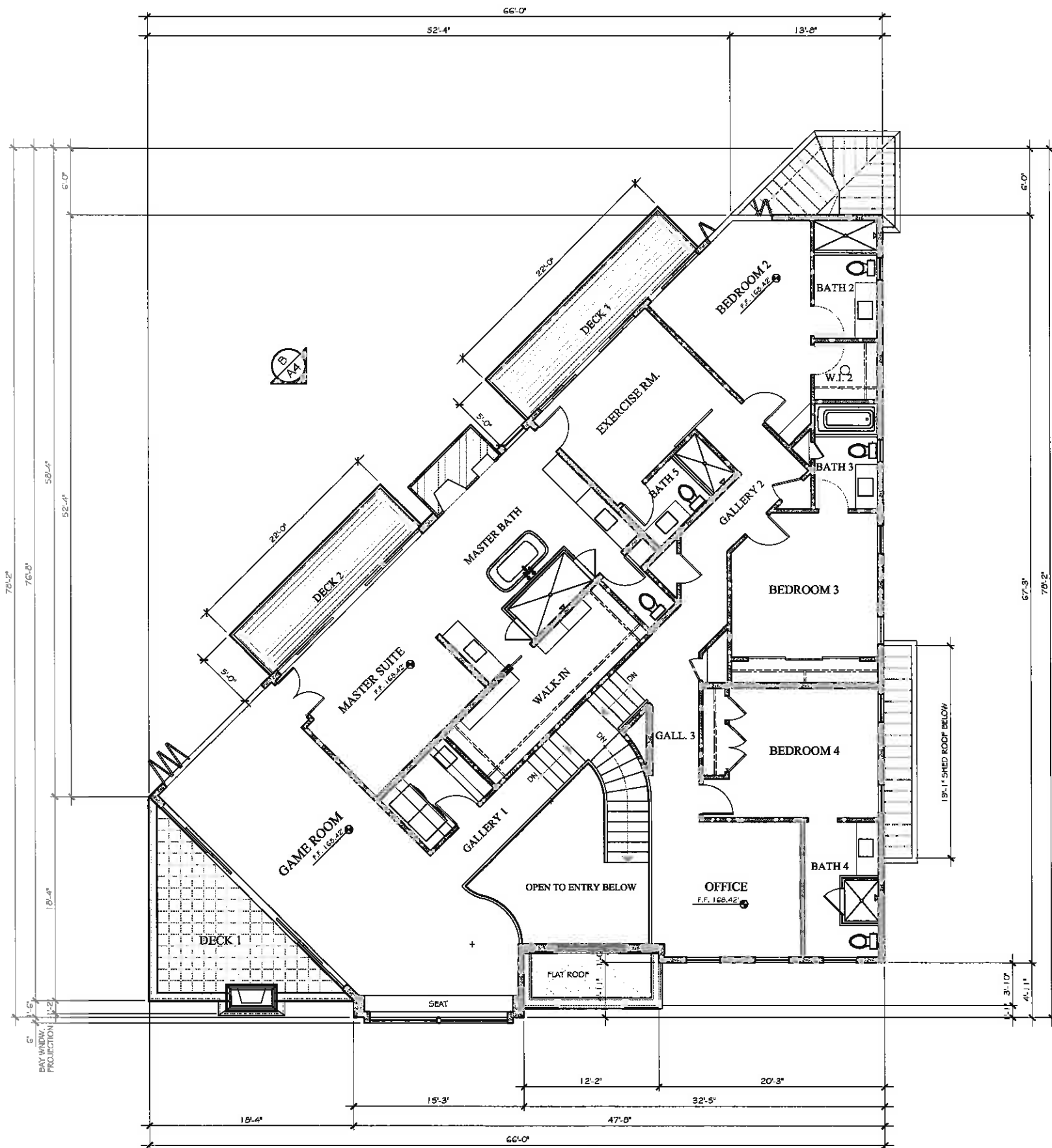
**A2**

**CDP 15-0014**

**FIRST FLOOR PLAN**



JAN 20 2016



**PLAN NOTES:**

1

JON ERIC CHRISTNER ARCHITECT, INC.  
 10000 Wilshire Blvd., Suite 1000, Beverly Hills, CA 90210  
 Tel: 310.277.1111  
 www.jonericchristner.com



**LEFFLER RESIDENCE**  
 34341 STREET OF THE AMBER LANTERN  
 DANA POINT, CA 92629

REFERENCE COASTAL DEVELOPMENT PERMIT CDP15-0014

JOB NO. 1501  
 SCALE: 1/4"  
 DATE 12/3/15

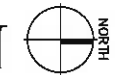
SHEET NO.

**A3**

JAN 20 2016

**CDP 15-0014**

**SECOND FLOOR PLAN**

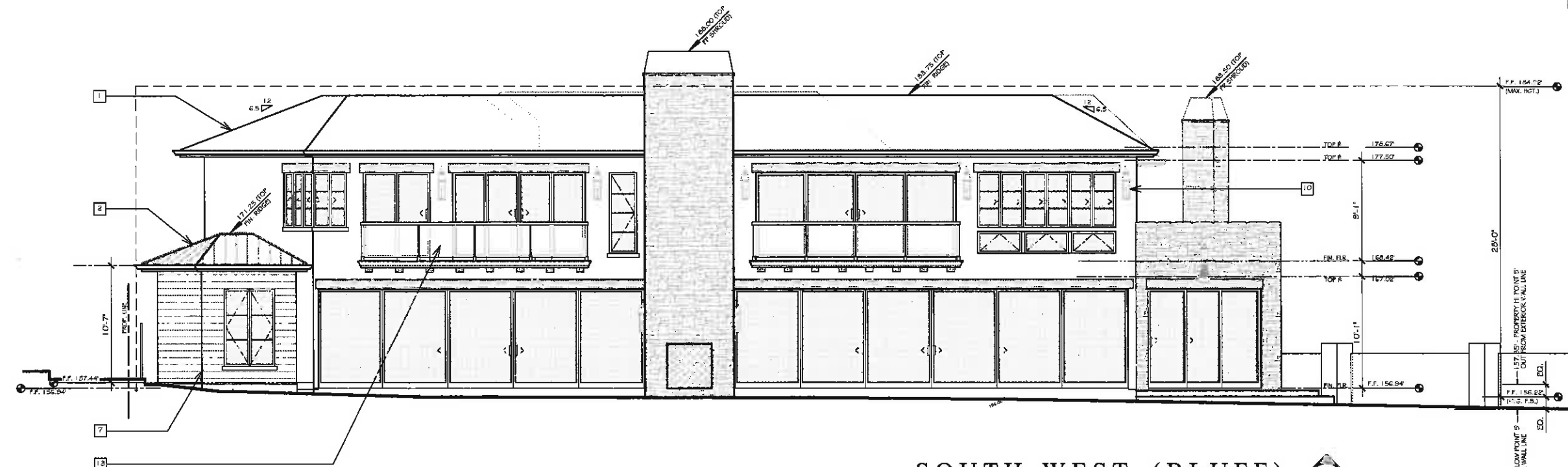


**ELEV. NOTES:**

- 1 NATURAL SLATE ROOF TYP. - REFER TO ROOF PLAN SHIT. A7. ROOF FITCH PER ROOF PLAN
- 2 METAL STANDING SEAM ROOF - REFER TO ROOF PLAN SHIT. A7. ROOF FITCH PER ROOF PLAN
- 3 3/8" YOGEE NATURAL COPPER GUTTER TYP.
- 4 #4-2 1/2" DIA. NAT. COPPER DOWNSPOUT
- 6 SMOOTH STEEL TRIMMED EXTERIOR PLASTER FIN. TYP. MANUF. - MERLEX CO. CR. - 'CLOUD CO.' BR. (PENJAMIN M. 7) RE COLOR FINISH - SPECTER 'SANTA BARBARA' PRIC. (2) LAYERS OF GRADE 'D' PAPER OF ALL WOOD BASE SHITG. - CRD. #703, E.S.
- 7 RECLAIMED WOOD 1" ZENER SIDING
- 8 METAL CLD. WINDOWS & DOORS W/ DIVIDERS PER ELEV.
- 9 WOOD SHUTTERS PER ELEVATION
- 10 EXTERIOR LIGHT FIXTURES TYP.
- 11 WOOD GARAGE DOORS PER ELEVATION - PAINT OR STAIN FINISH
- 12 RECLAIMED WOOD HEADERS TYP.
- 13 SAFETY GLASS GUARDRAIL
- 14 APPROX. LOCATION ELEC. PANEL



EAST (STREET)



SOUTH-WEST (BLUFF)

**LEFFLER RESIDENCE**  
 34341 STREET OF THE AMBER LANTERN  
 DANA POINT, CA 92629

REFERENCE COASTAL DEVELOPMENT PERMIT CDP15-0014

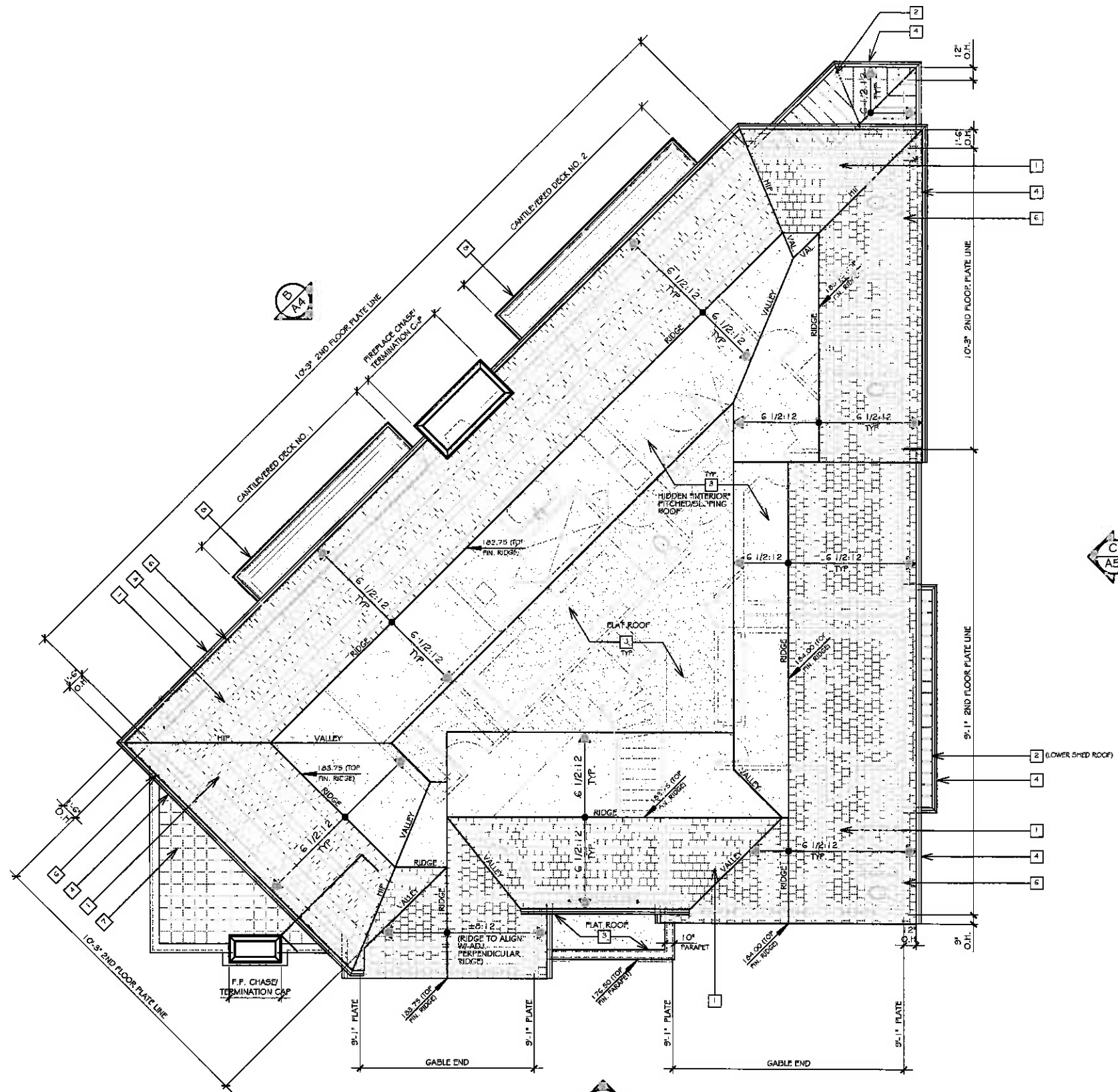
JOB NO. 1501  
 SCALE: 1/4"  
 DATE 12/3/15

SHEET NO.

**A4**

**CDP 15-0014**  
**EXTERIOR ELEVATIONS**

JAN 20 2016



**ROOF NOTES:**

- 1. GALVALUM SURF. ROOF TYP. (CAST IN PLACE)
  - FROM: AMERICAN SLATE CO.
  - COLOR/BLEND: FAIRWEATHER SLAY (DARK GREY 1/2 SUBTLE BLUE, GREEN & GOLDEN HIGHLIGHTS)
  - WEIGHT: APPROX. 11.0 lbs/sq. ft. (PER AMERICAN SLATE CO.)
  - SURFACE: RANDOM ROUGH TEXTURE
  - STANDARD SIZES: 1'0\"/>
- 2. METAL STANDING SEAM ROOF TYP. ENGLECKT KYMAR 24 GA. ULTRA-COOL LOW GLOSS - SERIES 1A130C. STANDING SEAM SPACING 12\"/>
- 3. 1/2 CLASS 'A' PLATDECK ROOF (INCLUDING INTERIOR FINISH) PITCHED/SLOPING ROOF AREAS - MANUFACTURER: IGAP - BASE SHEET - ONE OR MORE LAYERS TYPE G2 GAFGLASS #75 BASE SHEET, MECHANICALLY FASTENED OR FULLY ADHESED W/ HOT ROOFING ASPHALT. MEMBRANE (CAP SHEET) - RUBEROID ENERGYCAP MOP PLUS GRANULE FR. FULLY ADHESED W/ HOT ROOFING ASPHALT.
- 4. 1\"/>
- 5. 1\"/>
- 6. 1\"/>
- 7. 1\"/>
- 8. 2\"/>

**LEFFLER RESIDENCE**  
 34341 STREET OF THE AMBER LANTERN  
 DANA POINT, CA 92629

REFERENCE COASTAL DEVELOPMENT PERMIT CDP15-0014

JOB NO. 1501  
 SCALE: 1/4\"/>

DATE 12/3/15

SHEET NO. **A7**

**CDP 15-0014**

**ROOF PLAN**

JAN 20 2016

**BLUFF EDGE SETBACK LEGEND**

BLUFF EDGE AND SETBACK LOCATION PER FIGURE 2: GEOLOGIC & PROPOSED CONSTRUCTION MAP PREPARED BY SOUTH COAST GEOTECHNICAL SERVICES, DATED JULY 2015, PROJ. NO. 1262-01

- ① EDGE OF BLUFF
- ② 25' SETBACK FROM EDGE OF BLUFF
- ③ 40' SETBACK FROM EDGE OF BLUFF
- ④ 1.5 FACTOR OF SAFETY
- ⑤ 1.5 FACTOR OF SAFETY & ESTIMATED 50 YEAR BLUFF RETREAT
- ⑥ ESTIMATED 50 YEAR BLUFF RETREAT

**EASEMENT NOTE**

EASEMENTS PLOTTED HEREON BASED UPON PRELIMINARY REPORT PREPARED BY TUCKER TRULLEFF CAGRE, NO. 000311284-897-CF, DATED 8/21/15.

- Ⓐ PUBLIC LATERAL ACCESS EASEMENT PER CITY OF DANA POINT COUNCIL RESOLUTION NO. 90-08-25-4 ACCEPTING AN IRREVOCABLE OFFER OF DEDICATION, ADOPTED BY CITY COUNCIL ON 8/25/90 AND RECORDED ON 1/10/95; AS INSTRUMENT NO. 97-535605, OFFICIAL RECORDS OF ORANGE COUNTY.

**LEGEND**

- Japanese Privet: UGUSTUM JAPONICUM 18" WIDE, 72" TALL
- Green Beauty Boxwood: BUXUS MICROPHYLLA JAPONICA GREEN BEAUTY 18" WIDE, 24" TALL
- Evergreen Shrub for Small Hedges 18" WIDE, 24" TALL
- Potted Perennial Flowers
- Golf Ball Kohuhu: FITTOSPORUM TENIPULUM 15.3" BALL
- Classe Formal Shrub Truncated to 24" and 18" Spheres
- Blue Flame Agave: AGAVE SHAWII ATTENUATA BLUE FLAME CLUMPING FIBROUS AGAVE, INDIVIDUAL ROSETTES 24" - 36" TALL AND WIDE
- Blue Glow Agave: AGAVE BLUE GLOW SOLITARY, SYMMETRICAL ROSETTE, 18" TALL AND 24" WIDE
- French Lander Aconitum: LILIUM STOBILIOS HERB, TYPICALLY PERENNIAL 22" TALL AND WIDE
- Cerberus Shrub Rose: ROSA FLORIBUNDA CERBERUS DOUBLE WHITE, LIGHTLY FRAGRANT FLOWERS TRUNCATED TO 48" TALL
- Cloud Ten Climbing Rose: ROSA RADICANS WHITE, FULL ROSES WITH DARK GREEN FOLIAGE CLIMBS UP GATE AND ARCH (POTTED - S INDICATED ON PLAN)
- White Autumn Sage: SALVIA GREGGII WHITE DWARF SEMI-WOODY PERENNIAL 3-4' TALL AND WIDE
- White Cloud Muli: MUELENBERGIA CAPILLARIS WHITE CLOUD GROWS IN DRY SITES AND POOR SOILS UP TO 4' TALL AND WIDE
- Skylark Dwarf Olive Tree: OLEA EUROPEA SKYLARK LARGE COMPACT SHRUB UP TO 16' TALL AND WIDE
- Artemisia Maritima Alba: DURABLE PERENNIAL GROUNDCOVER 45-60" TALL - SPREADING 6'-12"
- Coyote Dwarf Bush: BACCHARIS PILLULARIS EVERGREEN BRUSH GROUND COVER UP TO 12" TALL, SPREADING 48"
- French Pda Gravel: Hardscape Groundcover
- Pavers, 16" W x 16" L VARYING LENGTHS IN HORTAR OR WITH GROUND COVER BETWEEN: ELFIN THYME: THYMUS SERPYLLUM ELFIN ORNAMENTAL HERB, 1" - 2" TALL AND 4" - 6" WIDE, SPREAD BETWEEN PAVERS
- Cobblestone Driveway

**CALCULATIONS**

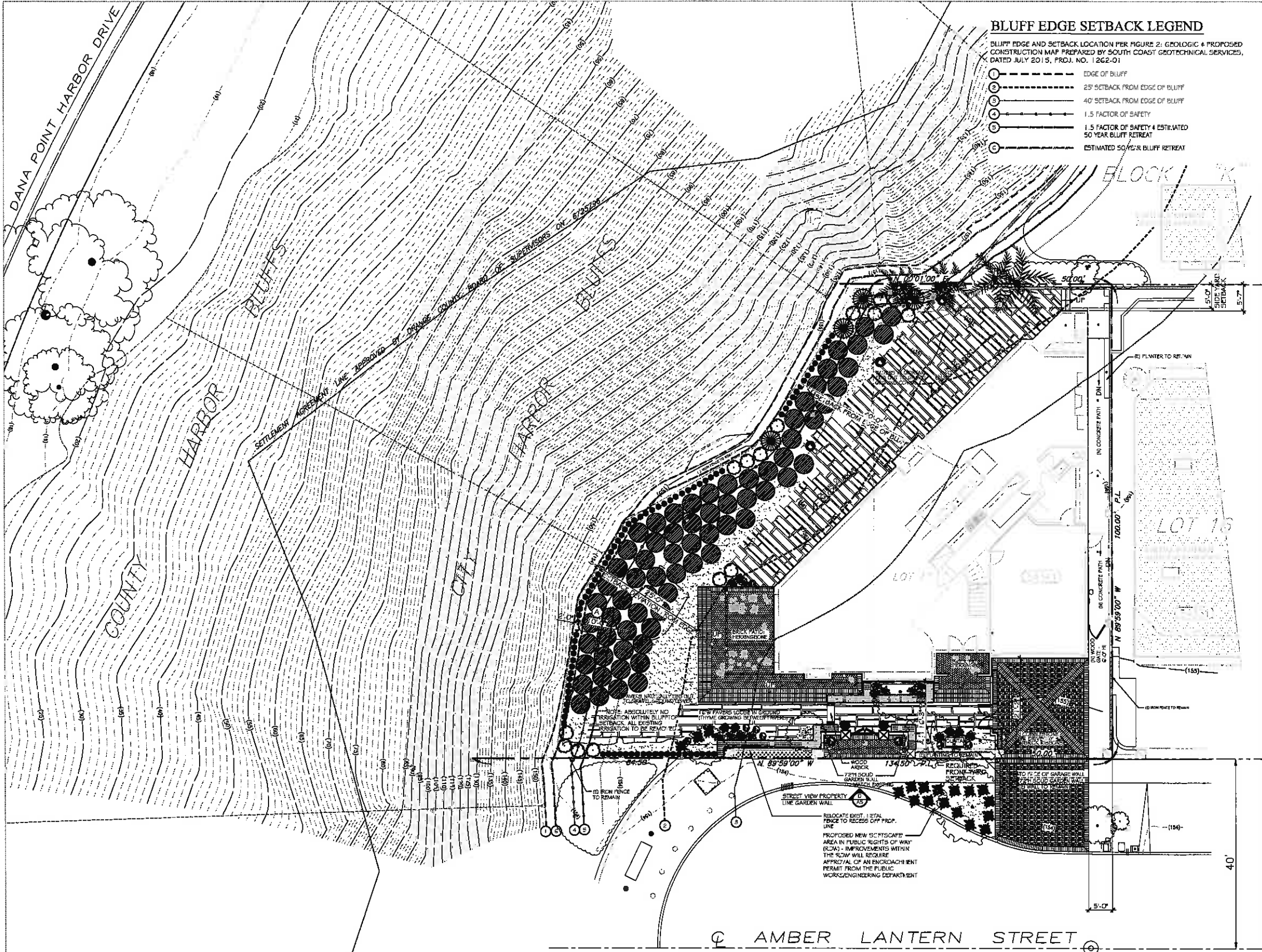
**SITE:**

LOT SIZE:	3925 SF	34.28%
BUILDING COVERAGE:	8258 SF	34.28%
HARDSCAPE:	3925 SF	41.32%
SOFTSCAPE:	2317 SF	24.39%

**BLUFFTOP SETBACK:**

TOTAL AREA:	3079 SF
HARDSCAPE:	1803 SF 42.22%
SOFTSCAPE:	1776 SF 58.78%

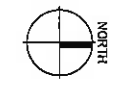
\*\*\*NOTE: ABSOLUTELY NO IRRIGATION WITHIN BLUFFTOP SETBACK. ALL EXISTING IRRIGATION TO BE REMOVED.



**LEFFLER RESIDENCE**  
 34341 STREET OF THE AMBER LANTERN  
 DANA POINT, CA 92629

**CDP 15-0014**

**LANDSCAPE PLAN**



JOB NO. 1501  
 SCALE: 1/8"  
 DATE 12/3/16

SHEET NO.

**L.0**

JAN 9 2017



**D W L A**  
**Date Waldo Landscape Architecture**  
 59 Redwood Trm, California 92602  
 Phone (714)730-3947 - Fax (714)730-3947  
 License number 2238

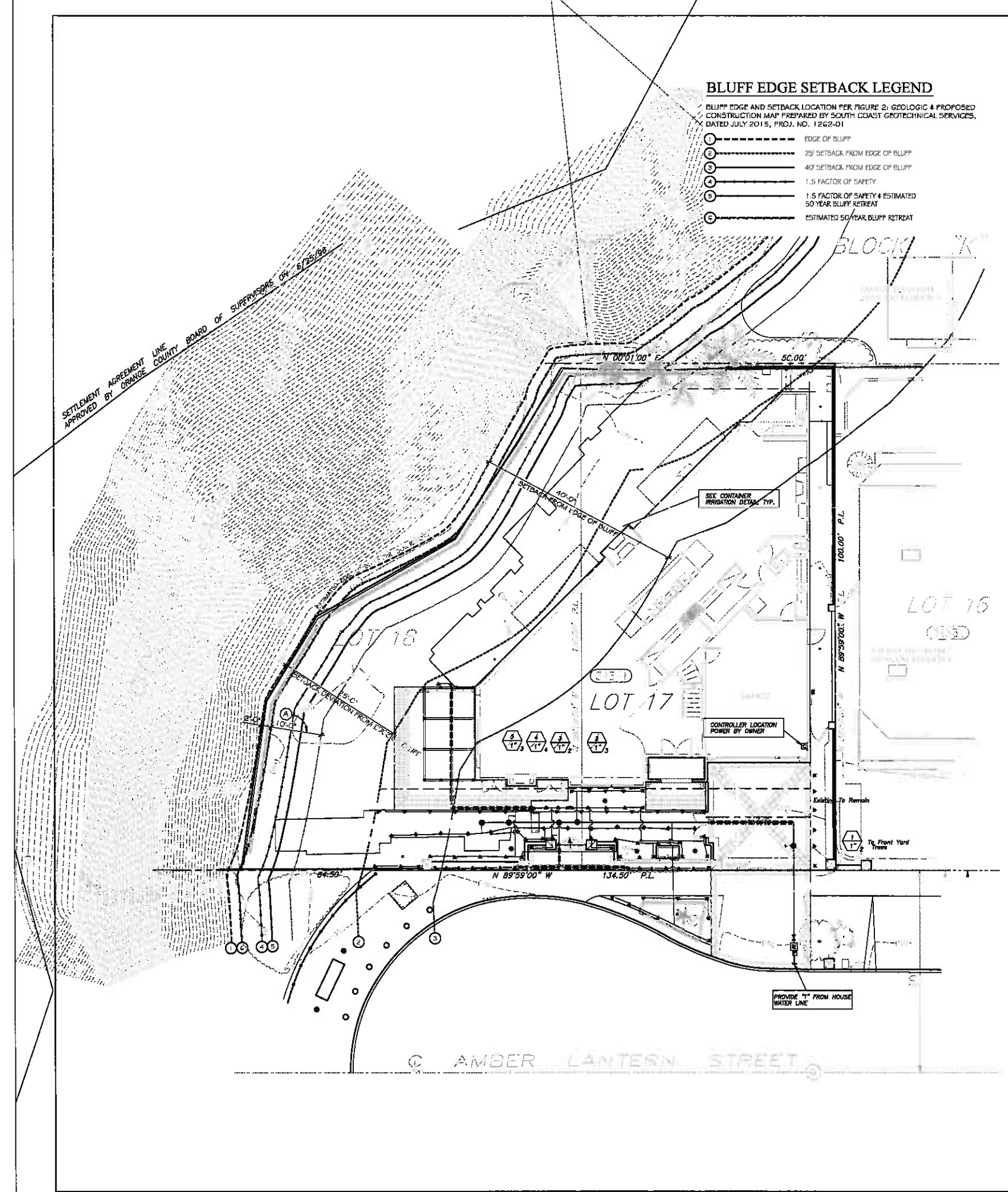
**BLUFF EDGE SETBACK LEGEND**

- BLUFF EDGE AND SETBACK LOCATION PER FIGURE 2: GEOLOGIC & PROPOSED CONSTRUCTION MAP PREPARED BY SOUTH COAST GEOTECHNICAL SERVICES, DATED JULY 2015, PROJ. NO. 1262-01
- 1. EDGE OF BLUFF
  - 2. 25' SETBACK FROM EDGE OF BLUFF
  - 3. 40' SETBACK FROM EDGE OF BLUFF
  - 4. 1.5 FACTOR OF SAFETY
  - 5. 1.5 FACTOR OF SAFETY & ESTIMATED 50 YEAR BLUFF RETREAT
  - 6. ESTIMATED 50 YEAR BLUFF RETREAT

**EASEMENT NOTE**

EASEMENTS PLOTTED HEREON BASED UPON PRELIMINARY REPORT PREPARED BY TIGOR TITLE/EE/CSE/ER NO. CD-51234-897-07 DATED 8/21/15.

(A) PUBLIC LATERAL ACCESS EASEMENT PER CITY OF DANA POINT CC/JMCL RESOLUTION NO. 20-28-25-4 ACCEPTING AN IRREVOCABLE OFFER OF DEDICATION, ADOPTED BY CITY COUNCIL ON 8/24/10 AND RECORDED ON 10/19/10 AS INSTRUMENT NO. 90-585685, OFFICIAL RECORDS OF ORANGE COUNTY.



**IRRIGATION LEGEND**

SYMBOL	MFG/EQUIPMENT	INCHES	QPM	PSI	PM
◆	Toro 5702-SP-FIX-CON-OT-S-F	5"	.28	30	1.1
◆	Toro 5702-SP-FIX-CON-OT-S-H	5"	.13	30	1.1
◆	Toro 5702-SP-FIX-CON-OT-S-O	5"	.08	30	1.1
◆	Toro 5703-OT-S-H	5"	.13	30	1.1
◆	Toro 5703-OT-S-O	5"	.08	30	1.1
◆	Toro 5705-PRX-F850PC	3"	.45	40	4.8
◆	Pressure Compensating Test Plug Rubber Liner - 1/2" Dia. - 1/2" Thick				
◆	Toro 075-825C Brass Quick Coupler-3/4"				
◆	Toro TPWF100 1" Master Valve				
◆	Toro TPWF100 Series Electric Control Valve				
◆	Nibco T-113 Brass Gate Valve-Line Sized				
◆	Infrared Total Control 18 Station w/ OL-1-E ET-Based Smart Automatic Exterior				
◆	Fabco 1 1/4"-820Y Reduced Pressure Backflow Preventer				
—	Pressure Line 1 1/4" SCH 40 PVC-18" Deep				
—	Lateral Line Close 200 FWD-12" Deep				
—	SCH 40 Wire Sleeve				
—	sch SCH 40 Pipe Sleeve 2X Diameter of Pipe Being Sleeved				

**LATERAL LINE PIPE SIZING CHART**

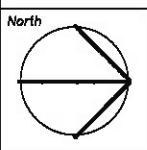
0 g.p.m. to 5 g.p.m.	- 1/2"
6 g.p.m. to 11 g.p.m.	- 3/4"
12 g.p.m. to 17 g.p.m.	- 1"
18 g.p.m. to 24 g.p.m.	- 1 1/4"
25 g.p.m. to 33 g.p.m.	- 1 1/2"
34 g.p.m. to 50 g.p.m.	- 2"

**IRRIGATION NOTES**

- EXISTING UTILITIES—Information on the drawings relating to existing utility lines and easements is from the best sources available. All such information is furnished only for information and is not guaranteed. The Contractor shall excavate test pits as required to determine exact locations of existing utilities.
- Call utility locating service for precise utility locations before beginning any work. Underground Service Alert (800) 422-4733.
- UTILITY REQUIREMENTS—The Contractor shall notify the following agencies at least 48 hours in advance of excavating around any of their structures. The utility companies listed below shall be contacted:
  - o Gas Company
  - o Telephone Company
  - o Electrical Power Company
  - o Cable Television Company
  - o Water Supply Company
 The California Public Utilities Commission mandates that, in the interest of public safety, main fire gas valves be maintained in a manner to be readily accessible and in good operating condition. The Contractor shall notify the Gas Company's Headquarters Planning Office of at least two (2) working days prior to the start of construction.
- System indicated on the drawings is diagrammatic. All equipment shown in paved areas is for graphic design identification purposes only. Equipment shall be located in areas not paved or in turf areas whenever possible. Avoid any conflicts between the sprinkler system, planting or architectural features.
- Irrigation Contractor shall flush and adjust all sprinkler heads for optimum performance, water conservation and prevention of overspray onto walls and roadways as much as possible. This shall include selecting the best degree of arc to fit the existing site condition and to throttle the flow control at each valve to obtain the optimum operating pressure for each system.
- Irrigation Contractor shall not install the system as indicated on the drawings when it is obvious that construction, grade differences or area dimension differences exist. Notify the Owner of any discrepancies. In the event that notification is not made, the Irrigation Contractor shall assume all responsibility for necessary changes/work.
- It is the responsibility of the Irrigation Contractor to furnish himself with all grade differences, well locations, etc. that will affect his work. Also, coordinate all work with the General Contractor and others for locating pipe and wire sleeves through walls, structures, under road paving, etc.
- Install all heads using double wing joints per details and use pop-up heads whenever pedestrian traffic could occur. Install all machines under paving 24" deep in sleeves 2 times the size of the pipe being sleeved. Install all equipment per local codes.
- The irrigation design based on a min. est. operating pressure of 40 PSI and maximum est. demand of 4 GPM at the point of connection.
- A 120 volt electrical power outlet at the automatic controller location shall be provided by others. It shall be the responsibility of the Irrigation Contractor to make the final hook-up from the electrical outlet to the automatic controller.
- All pop-up type sprinkler heads installed in shrub or ground cover areas shall be installed so that the top of the sprinkler head is 1" above finish grade.
- All sprinkler heads shall be set perpendicular to finish grade of the area to be irrigated unless otherwise designated on the plans.
- See Irrigation Specifications.
- All existing irrigation equipment shall be field checked for pressure, coverage, performance, uniformity and overall function. Notify Landscape Architect of any additional work that is required.

**LEFFLER RESIDENCE**  
 LOT 17 TRACT XXXX  
 34,341 AMBER LANTERN STREET DANA POINT

Jon Robinson Flaming Homes 2429 West Coast Highway Suite 210 Newport Beach, CA 92663 949 910-3047



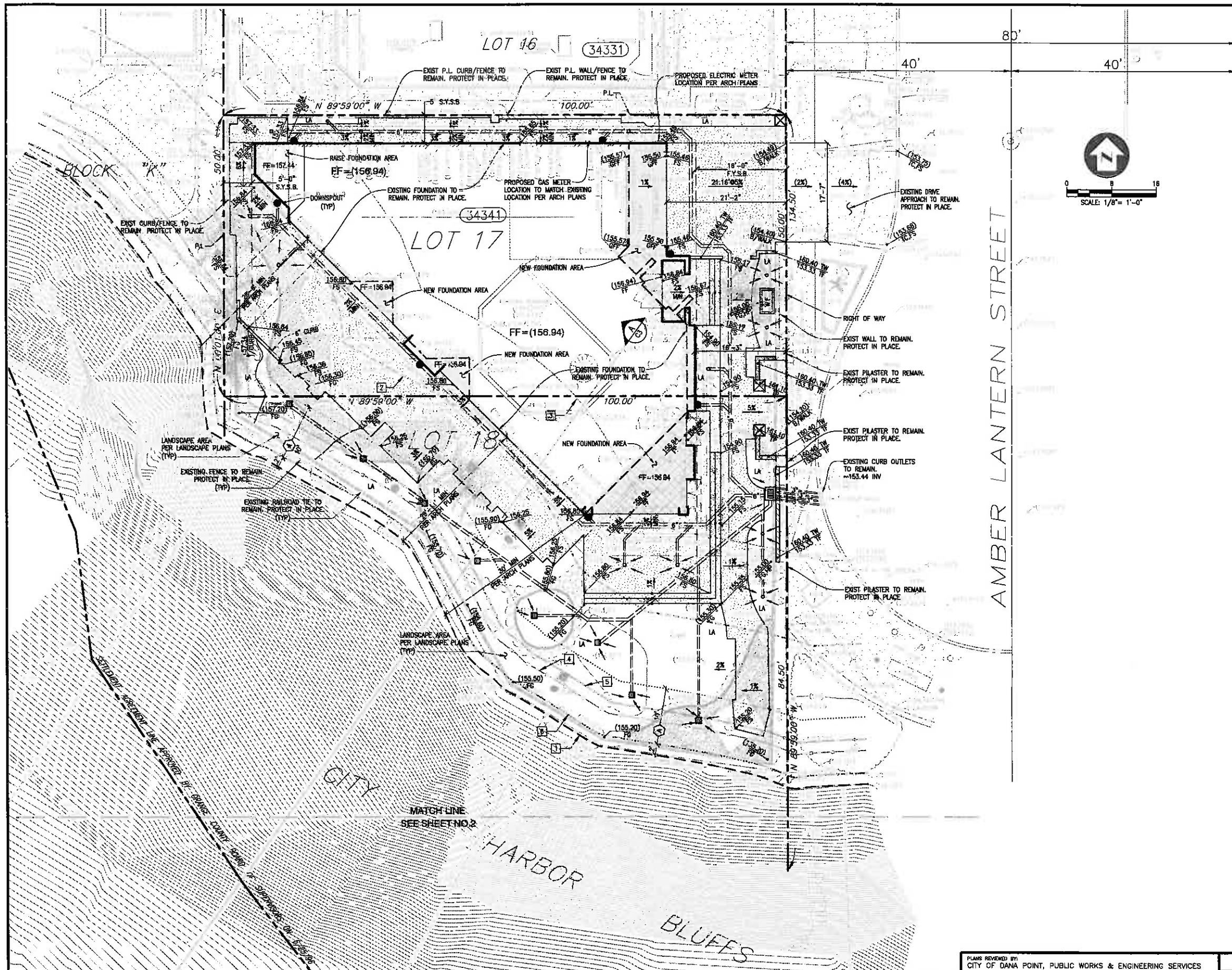
Date 28 AUG 15  
 Revision



Title  
**IRRIGATION PLAN**

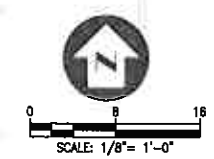
Sheet  
**L1**

Scale 1"=8'-0"  
 Job Number 15-113



**LEGEND**

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
100.00	SPOT ELEVATION
(100.0)	EXIST. ELEVATION
[Pattern]	PROPOSED CONCRETE PAVING
[Pattern]	PROPOSED FOUNDATION AREA
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED STORM DRAIN
[Pattern]	EXISTING SCREEN WALL
[Pattern]	PROPOSED SCREEN WALL
[Pattern]	PROPOSED RETAINING WALL
[Pattern]	GRADING LIMITS
[Pattern]	EASEMENT
[Symbol]	DOWNSPOUT
F.F.	PROPOSED FINISHED FLOOR
G.F.F.	PROPOSED GARAGE FINISHED FLOOR
T/SLAB	PROPOSED TOP OF SLAB
PAD	PROPOSED PAD ELEVATION
FS	PROPOSED FINISHED SURFACE
FG	PROPOSED FINISHED GROUND
TG	TOP OF GRADE
INV	INVERT OF PIPE
HP	HIGH POINT
MIN.	MINIMUM
MAX.	MAXIMUM
TC	TOP OF CURB
R.O.W.	RIGHT-OF-WAY
P.L.	PROPERTY LINE
LA	LANDSCAPE AREA
TW	TOP OF WALL
EQUIP.	EQUIPMENT
F.Y.S.B.	FRONT YARD SETBACK
R.Y.S.B.	REAR YARD SETBACK
S.Y.S.B.	SIDE YARD SETBACK
SUB	SUBDRAIN
TYP.	TYPICAL
T/BERM	TOP OF BERM



**NOTE TO CONTRACTOR:**  
 CIVIL ENGINEER OF RECORD APPROVAL REQUIRED PRIOR TO BACKFILL OF ALL DRAIN PIPES. CONTACT CIVIL ENGINEER TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF DRAIN SYSTEM.

**TOPOGRAPHIC SURVEY NOTE**  
 SURVEY DONE BY RGA CONSULTANTS, INC.  
 DATED: AUG. 24, 2014

**EASEMENT NOTE**  
 EASEMENTS PLOTTED HEREOF BASED UPON PRELIMINARY REPORT PREPARED BY TIGOR TITLE PER ORDER NO. 00351234-897-CF DATED 9/2/15.

**(A) PUBLIC LATERAL ACCESS EASEMENT PER CITY OF DANA POINT COUNCIL RESOLUTION NO. 90-09-25-4 ACCEPTING AN IRREVOCABLE OFFER OF DEDICATION, ADOPTED BY CITY COUNCIL ON 9/25/90 AND RECORDED ON 10/8/90 AS INSTRUMENT NO. 90-035885, OFFICIAL RECORDS OF ORANGE COUNTY.**

**BLUFF EDGE SETBACK LEGEND**

BLUFF EDGE AND SETBACK LOCATION PER FIGURE 2: GEOLOGIC & PROPOSED CONSTRUCTION MAP PREPARED BY SOUTH COAST GEOTECHNICAL SERVICES, DATED JULY 2015, PROJ. NO. 1262-01

[Symbol 1]	EDGE OF BLUFF
[Symbol 2]	25' SETBACK FROM EDGE OF BLUFF
[Symbol 3]	40' SETBACK FROM EDGE OF BLUFF
[Symbol 4]	1.5 FACTOR OF SAFETY
[Symbol 5]	1.5 FACTOR OF SAFETY & ESTIMATED 50 YEAR BLUFF RETREAT
[Symbol 6]	ESTIMATED 50 YEAR BLUFF RETREAT

REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT
				1"=8'	O.R.	O.R./A.A.	A.T.	TOAL ENGINEERING, INC.	BENCHMARK NOTE : OCS BN "RR-2-82" ; ELEV. = 16.280 FT. ; NAVD88 DATUM /1997 OCS ADJ	PLANNING DEPARTMENT
				DATE: 01/19/16				139 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 Tel: (949) 492-9586 Fax: (949) 498-8825		DATE
				PROJECT NO.: 15577	ENGINEER OF WORK					

**CITY OF DANA POINT**

**PRELIMINARY GRADING PLAN - 1**

**34341 AMBER LANTERN**

**LOTS 17 & 18, BLOCK K, TRACT 573**

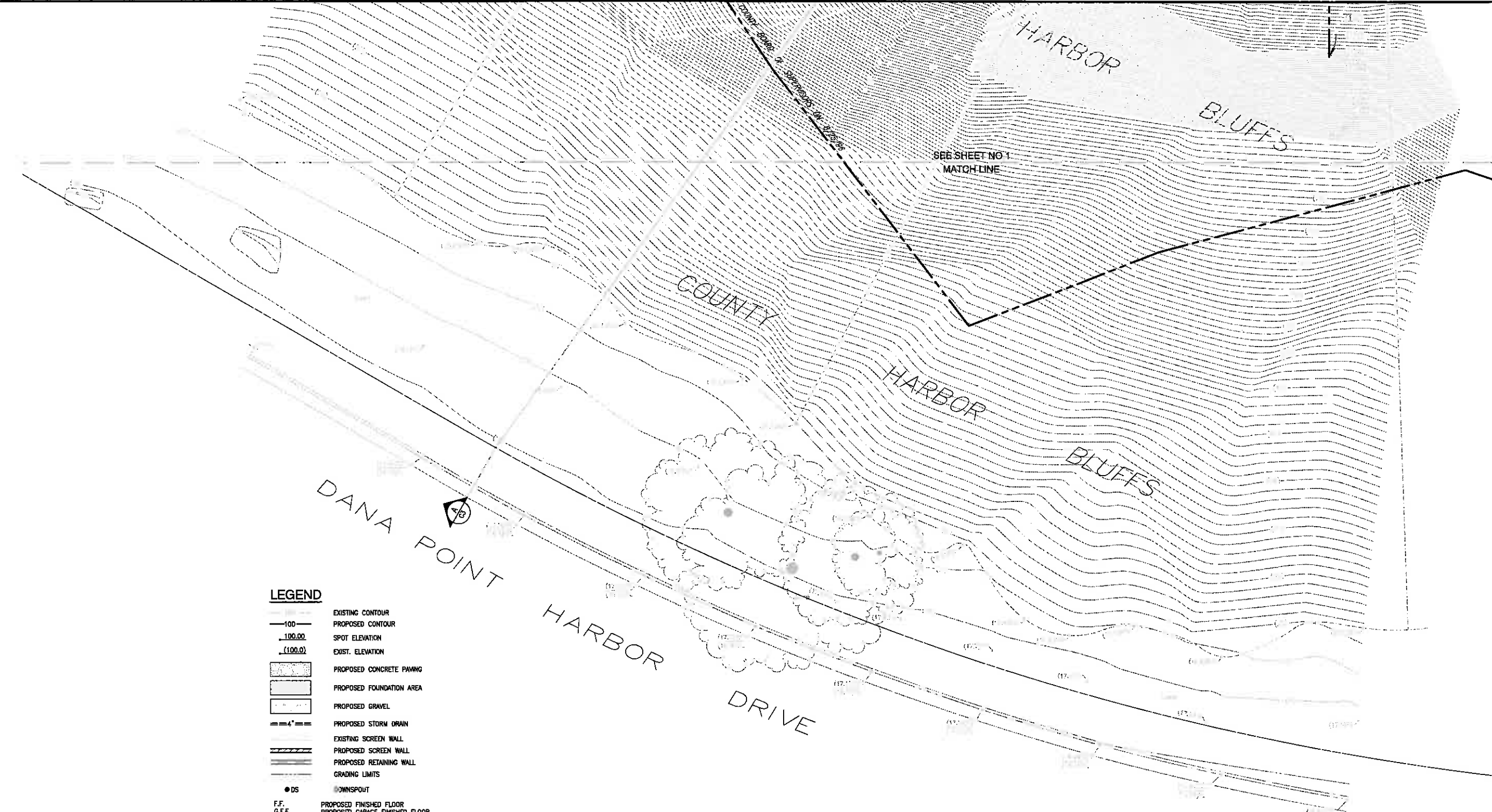
A.P.N.: 682-071-24

1

PLAN CHECK NO.  
ENG15-XXXX

1 OF 3 SHEETS

JAN 20 2016



- LEGEND**
- EXISTING CONTOUR
  - 100- PROPOSED CONTOUR
  - 100.00 SPOT ELEVATION
  - (100.0) EXIST. ELEVATION
  - [Pattern] PROPOSED CONCRETE PAVING
  - [Pattern] PROPOSED FOUNDATION AREA
  - [Pattern] PROPOSED GRAVEL
  - 4"--- PROPOSED STORM DRAIN
  - EXISTING SCREEN WALL
  - PROPOSED SCREEN WALL
  - PROPOSED RETAINING WALL
  - GRADING LIMITS
  - DS BENCHMARK
  - F.F. PROPOSED FINISHED FLOOR
  - G.F.F. PROPOSED GARAGE FINISHED FLOOR
  - T/SLAB PROPOSED TOP OF SLAB
  - PAD PROPOSED PAD ELEVATION
  - FS PROPOSED FINISHED SURFACE
  - FG PROPOSED FINISHED GROUND
  - TG TOP OF GRADE
  - INV INVERT OF PIPE
  - HP HIGH POINT
  - MIN. MINIMUM
  - MAX. MAXIMUM
  - TC TOP OF CURB
  - R.O.W. RIGHT-OF-WAY
  - P.L. PROPERTY LINE
  - LA LANDSCAPE AREA
  - TW TOP OF WALL
  - EQUIP. EQUIPMENT
  - F.Y.S.B. FRONT YARD SETBACK
  - R.Y.S.B. REAR YARD SETBACK
  - S.Y.S.B. SIDE YARD SETBACK
  - sub SUBDRAIN
  - TYP. TYPICAL
  - T/BERM TOP OF BERM

**EASEMENT NOTE**  
 NO TITLE REPORT WAS FURNISHED TO THIS OFFICE.  
 EASEMENTS, IF ANY, HAVE NOT BEEN PLOTTED.

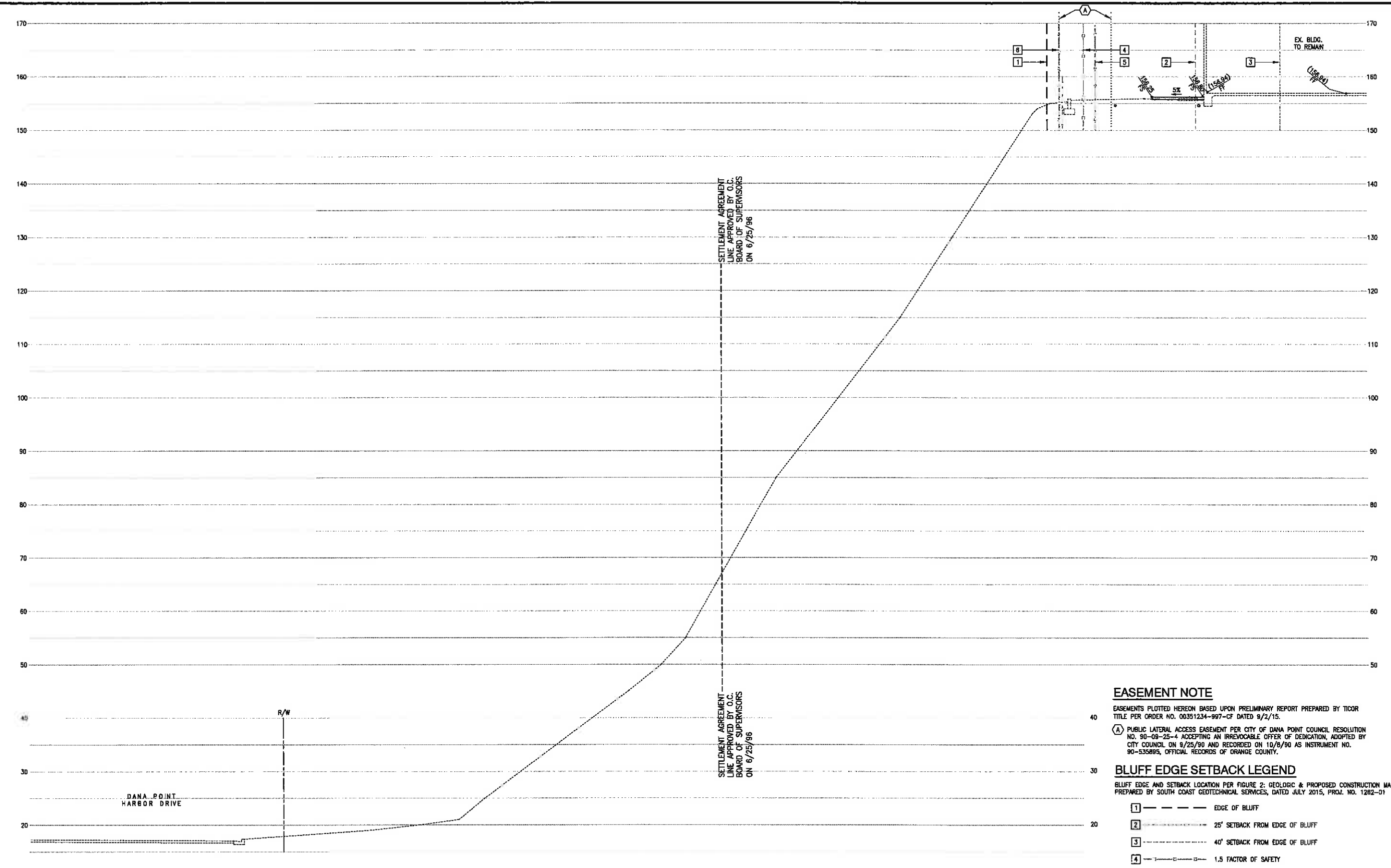
**TOPOGRAPHIC SURVEY NOTE**  
 SURVEY DONE BY RGA CONSULTANTS, INC.  
 DATED: AUG. 24, 2014

REVISION		DESCRIPTION		APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT:	CITY OF DANA POINT		2
						N/A	O.R.	O.R./A.A.	A.T.	TOAL ENGINEERING, INC.	OCS BN "388-2-82" ; ELEV. = 16.260 FT. ; NAVD88 DATUM /1997 OCS ADJ	PLANNING DEPARTMENT	PRELIMINARY GRADING PLAN - 2		PLAN CHECK NO.
						DATE: 01/19/16			DATE: 5/27/15	130 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 Tel: (949) 482-8686 Fax: (949) 488-8825	MATTHEW V. SENACORL, CITY ENGINEER RCE #59239 EXP. 08/30/15	34341 AMBER LANTERN		ENG15-XXXX	
						PROJECT NO.: 15577	ENGINEER OF WORK		R.C.E. NO.			LOTS 17 & 18, BLOCK K, TRACT 573		2 OF 3 SHEETS	
												A.P.N.: 682-071-24			

ORIGINAL SCALE: 1" = 40'

JAN 20 2016





**A SECTION**  
C-1 SCALE: 1/8" = 1'-0"

**EASEMENT NOTE**

EASEMENTS PLOTTED HEREON BASED UPON PRELIMINARY REPORT PREPARED BY TICOR TITLE PER ORDER NO. 00351234-997-CF DATED 9/2/15.  
 (A) PUBLIC LATERAL ACCESS EASEMENT PER CITY OF DANA POINT COUNCIL RESOLUTION NO. 90-09-25-4 ACCEPTING AN IRREVOCABLE OFFER OF DEDICATION, ADOPTED BY CITY COUNCIL ON 9/25/90 AND RECORDED ON 10/8/90 AS INSTRUMENT NO. 90-535895, OFFICIAL RECORDS OF ORANGE COUNTY.

**BLUFF EDGE SETBACK LEGEND**

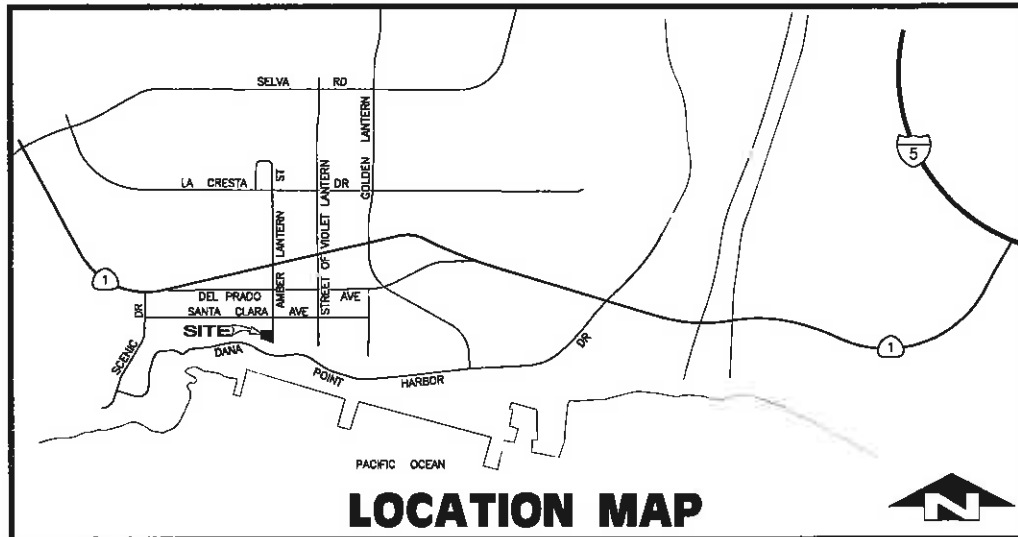
BLUFF EDGE AND SETBACK LOCATION PER FIGURE 2: GEOLOGIC & PROPOSED CONSTRUCTION MAP PREPARED BY SOUTH COAST GEOTECHNICAL SERVICES, DATED JULY 2015, PROJ. NO. 1282-01

- 1 — — — — — EDGE OF BLUFF
- 2 — — — — — 25' SETBACK FROM EDGE OF BLUFF
- 3 — — — — — 40' SETBACK FROM EDGE OF BLUFF
- 4 — — — — — 1.5 FACTOR OF SAFETY
- 5 — — — — — 1.5 FACTOR OF SAFETY & ESTIMATED 50 YEAR BLUFF RETREAT
- 6 — — — — — ESTIMATED 50 YEAR BLUFF RETREAT

REVISION	DESCRIPTION	APPROVED	DATE	SCALE: N/A	DESIGNED: A.T.	DRAWN: A.A.	CHECKED: A.T.	PLANS PREPARED BY: TOAL ENGINEERING, INC. 139 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 Tel: (949) 492-8536 Fax: (949) 499-8825	BENCHMARK: OCS BN "3RR-2-82" ; ELEV. = 18.280 FT. ; NAVD88 DATUM /1997 OCS ADJ	APPROVED BY THE CITY OF DANA POINT CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629 MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/15 THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.	CITY OF DANA POINT <b>SECTIONS</b> 34341 AMBER LANTERN LOTS 17 & 18, BLOCK K, TRACT 573 A.P.N.: 682-071-24	3 PLAN CHECK NO. ENG15-XXXX 3 OF 3 SHEETS
DATE: 01/19/16	PROJECT NO.: 15577	ENGINEER OF WORK	DATE: 5/27/15 R.C.E. NO.	CITY PLANNING DEPARTMENT	DATE							

ORIGINAL SCALE: 1" = 100' 0"

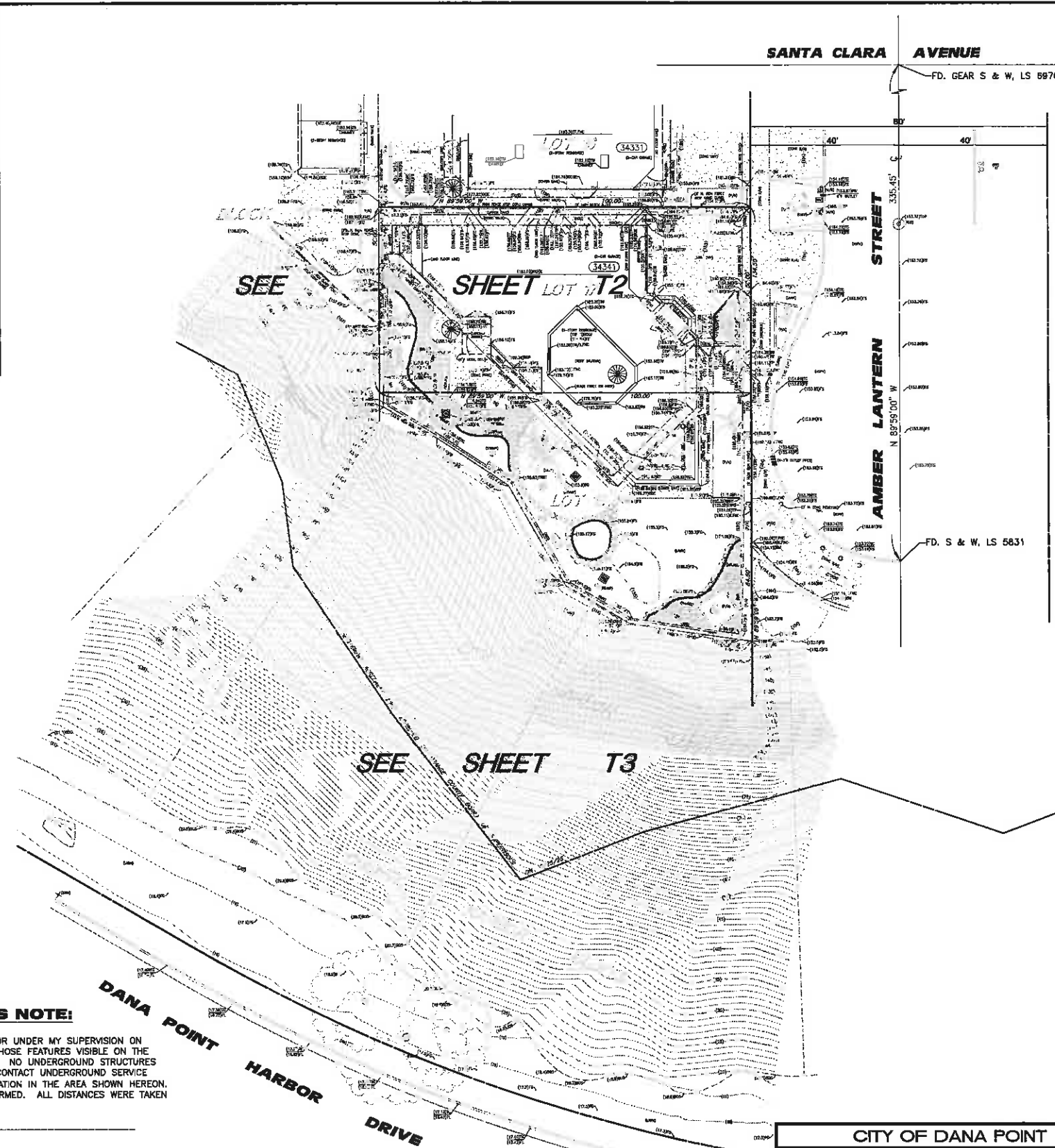
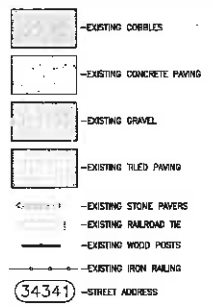
JAN 20 2016



**LOCATION MAP**

**LEGEND**

- A.C. - ASPHALT CONCRETE
- A.P.W.A. - AMERICAN PUBLIC WORKS ASSOCIATION
- A.U. - AIR-CONDITIONING UNIT
- B.C. - BEAM CURVE
- B.F.F. - BASEMENT FINISH FLOOR ELEVATION
- B.F.S. - BASEMENT FINISH SURFACE ELEVATION
- B.M. - BENCH MARK
- B.O.F. - BOTTOM OF FAIR ELEVATION
- B.O.P. - BOTTOM OF FOOTING ELEVATION
- B.O.S. - BOTTOM OF SLOPE ELEVATION
- B.V.C. - BEAM VERTICAL CURVE
- B.W. - BACK OF WALK ELEVATION
- C.B. - CATCH BASIN
- C.F. - CURB FACE
- C.I.P. - CAST IRON PIPE
- C.V. - CENTERLINE
- C.L.F. - CHAIN LINK FENCE
- C.S. - CURB & GUTTER
- C.O. - CLEAVOUT
- CONC. - CONCRETE
- D/A - DRIVEWAY APPROACH
- D.L. - DAYLIGHT LINE
- D.S. - DOWN SPOUT
- D.S.C.O. - DOWN SPOUT CLEAN-OUT
- D.W. - DRIVEWAY
- E.C. - END CURVE
- E.V.C. - END VERTICAL CURVE
- E.V. - END VERTICAL CURVE
- E.V.C. - END VERTICAL CURVE
- E.V. - END VERTICAL CURVE
- F.F. - FINISH FLOOR ELEVATION
- F.H. - FIRE HYDRANT
- F.L. - FLOWLINE ELEVATION
- F.S. - FINISHED SURFACE ELEVATION
- F.M. - FOUNDATION
- G.B. - GRADE BREAK
- G.F.S. - CHANGE FINISH SURFACE ELEVATION
- G.M. - GAS METER
- H.L. - HOUSE LATERAL
- H.P. - HOUSE POINT ELEVATION
- I.V. - INVERT ELEVATION
- L.P. - LOW POINT ELEVATION
- M.B. - MANHOLE
- M.H. - MANHOLE
- M.O.C. - MIDDLE OF CURVE
- O.H.W. - OVERHEAD WIRE(S)
- P.A. - PLANTER AREA
- P.B. - PULL BOX
- P.K. - PARKWAY
- P.L. - PROPERTY LINE
- P.P. - POWER POLE
- P.R.C. - POINT OF REVERSE CURVE
- P.M.T. - PAVEMENT
- R.D. - ROOF DRAIN
- R.L. - RIDGE LINE
- R.R.T. - RAILROAD TIE
- R/W. - RIGHT-OF-WAY
- R.W.M. - RELIABLE WATER METER
- S.D. - STORM DRAIN
- S.D.M.H. - STORM DRAIN MANHOLE
- S.G. - SUB-GRADE ELEVATION
- S.M.H. - SEWER MANHOLE
- S.S. - SANITARY SEWER
- STA. - STATION
- S.L.B. - STREET LIGHT PULL BOX
- S.L. - STREET LIGHT
- S/W. - SIDEWALK
- T.A. - TRASH AREA
- T.B.M. - TOP OF BERM ELEVATION
- T.B.M. - TEMPORARY BENCH MARK
- T.C. - TOP OF CURB ELEVATION
- T.F. - TOP OF FOOTING ELEVATION
- T.H. - TOP OF HOLE ELEVATION
- T.O.C. - TOP OF CHIMNEY ELEVATION
- T.O.S. - TOP OF SLAB ELEVATION
- T.P. - TOP OF PLASTER ELEVATION
- T.R.P. - TOP OF ROOF PARAPET ELEVATION
- T.S. - TRAFFIC SIGNAL
- T.W. - TOP OF WALL ELEVATION
- V.C. - VERTICAL CURVE
- V.E. - VENTZON
- V.P. - VINE POCKET
- W.H. - WATER HEATER
- W.I. - WOODLUM WORK
- W.M. - WATER METER



**LEGAL DESCRIPTION:**  
 LOTS 17 AND 18, IN BLOCK "K" OF TRACT NO. 573, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 20, PAGE 29 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN 682-071-24

**NOTE:**  
 NO TITLE REPORT WAS FURNISHED TO THIS OFFICE. EASEMENTS, IF ANY, HAVE NOT BEEN PLOTTED.



**CIVIL ENGINEER'S NOTE:**  
 THIS MAP WAS PREPARED BY ME OR UNDER MY SUPERVISION ON OCTOBER 10, 2012, AND SHOWS THOSE FEATURES VISIBLE ON THE SURFACE AT THE TIME OF SURVEY. NO UNDERGROUND STRUCTURES SEARCH HAS BEEN CONDUCTED. CONTACT UNDERGROUND SERVICE ALERT (USA) PRIOR TO ANY EXCAVATION IN THE AREA SHOWN HEREON. NO BOUNDARY SURVEY WAS PERFORMED. ALL DISTANCES WERE TAKEN FROM RECORD DATA.

MAHIR WABER, P.E.

REVISION	DESCRIPTION	APPROVED	DATE

SCALE: 1/16"=1'	DESIGNED: N/A	DRAWN: R.G.	CHECKED: N.W.
AGAD FILE NO.	MAHIR WABER		
PROJECT NO.	DATE		

PLANS PREPARED BY:  
**RG Consultants, Inc.**  
 CIVIL ENGINEERING - SURVEYING  
 34 GEORGETOWN  
 IRVINE - CALIFORNIA 92612  
 PHONE (949) 508-0908  
 FAX (949) 508-0901

BENCHMARK  
 OCS BM "RR-242"  
 ELEV.=16.280 FT NAVD83/1987 OCS ADA  
 OCS BM ON 4+4.9 CS DANA POINT HARBOR DR.  
 0.6 MILE W/O DEL PRADO ST, 36.5' S/O OF DANA  
 POINT HARBOR DR, 112.2' S/O 97'  
 #226846242L 40.6' W/O 'NO STOPPING AT ANY  
 TIME' SIGN. MON IS SET LEVEL WITH SW.

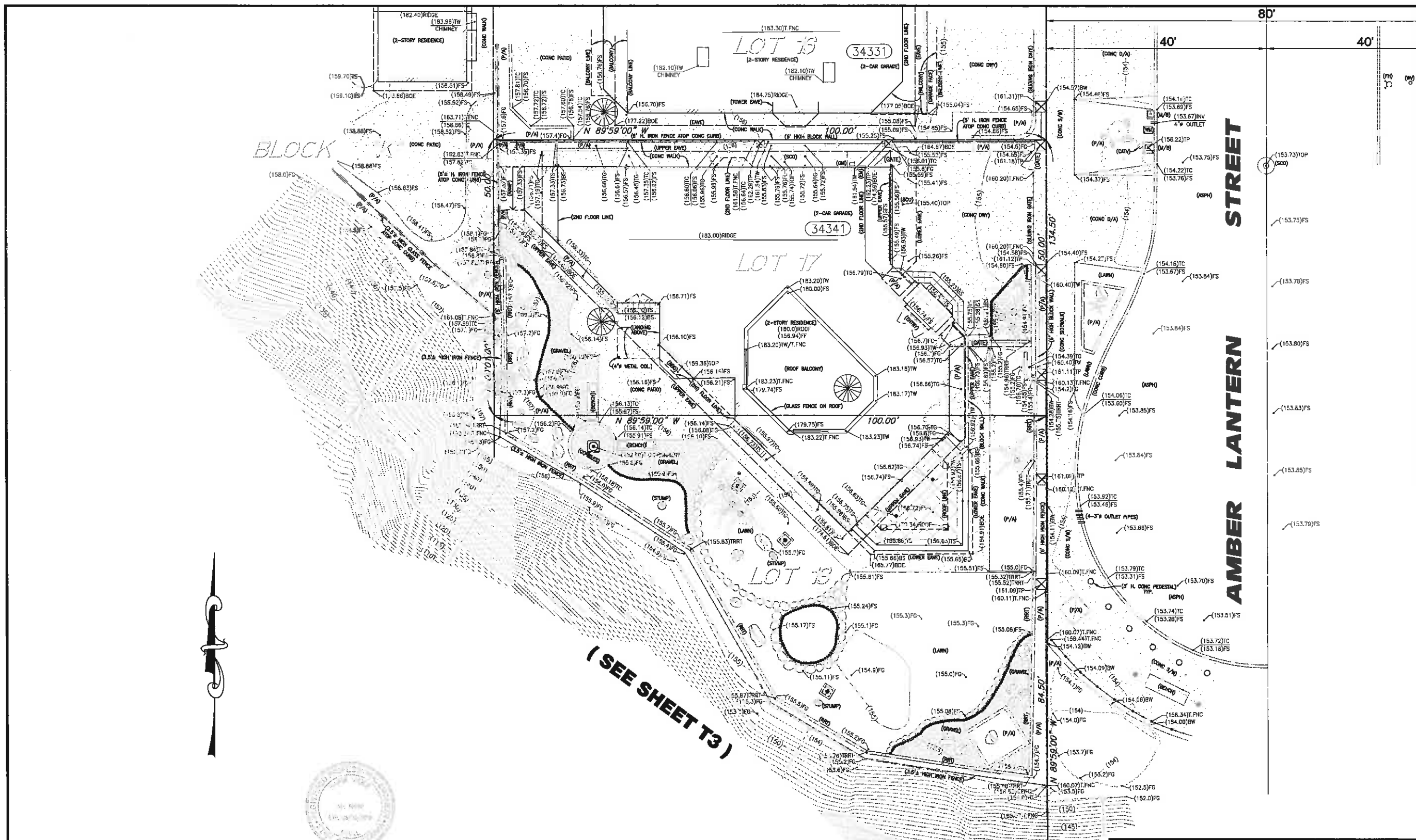
CITY OF DANA POINT  
**TOPOGRAPHIC SURVEY**  
 34341 & 34351 AMBER LANTERN STREET  
 LOTS 17 & 18, BLOCK "K", TRACT NO. 573, M.M. 20/29  
 A.P.N. 682-071-24

**T1**

LAST UPDATED: NOV 17, 2015 ; PLOT DATE: NOV 17, 2015 P:\RGA\065\2014\0114383\14363-TOPO-T1.DWG

ORIGINAL SCALE: 1"=40'

JAN 20 2016



(SEE SHEET T3)



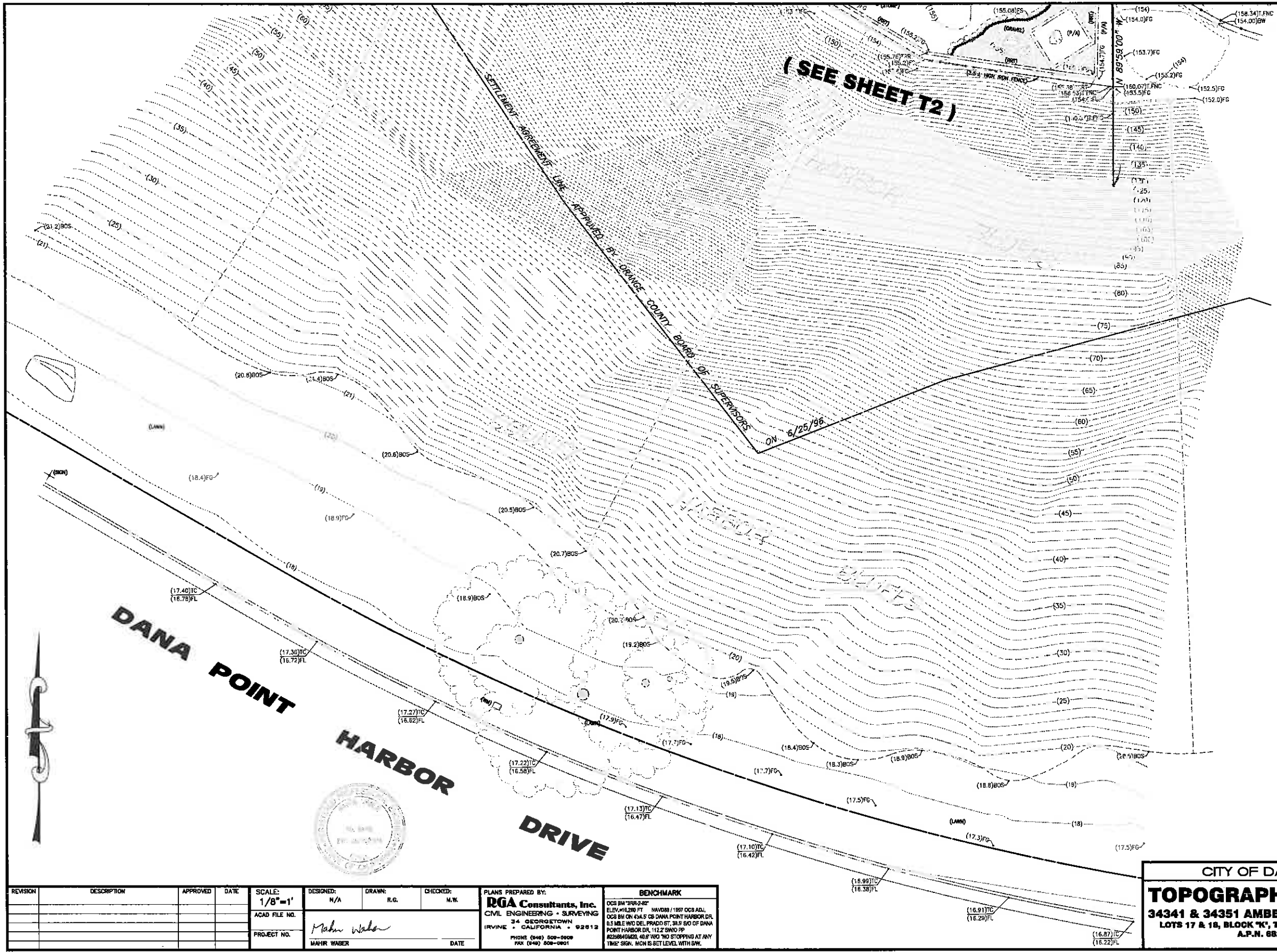
REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK
				1/8"=1'	N/A	R.C.	M.W.	<b>RG&amp;A Consultants, Inc.</b> CIVIL ENGINEERING & SURVEYING 34 GEORGETOWN IRVINE, CALIFORNIA 92612 PHONE (949) 808-0909 FAX (949) 808-0901	OC2 BM 1344-2C ELEV. 112.89 FT NAVD83 / 1997 OCS ADJ. OC3 BM ON 424.2' CB DANA POINT HARBOR DR. 0.5 MILE W/O DEL PRADO ST, 30.8' S/O OF DANA POINT HARBOR DR. 112.2' S/O OF #229646202, 40.8' W/O 'NO STOPPING AT ANY TIME' SIGN, MON IS SET LEVEL WITH SW.
						Mahir Waber			
						MAHIR WABER			

CITY OF DANA POINT  
**TOPOGRAPHIC SURVEY**  
 34341 & 34351 AMBER LANTERN STREET  
 LOTS 17 & 19, BLOCK "K", TRACT NO. 673, N.M. 20/29  
 A.P.N. 682-071-24  
**T2**

ORIGINAL SCALE: 1"=100'

LAST UPDATED: NOV 17, 2015, PLOT DATE: NOV 17, 2015 P:\RGA\065\2014\1141383\14393-TOPO-T2.DWG

JAN 20 2016



REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK
				1/8" = 1'	M/A	R.G.	M.W.	<b>PGA Consultants, Inc.</b> CIVIL ENGINEERING • SURVEYING 34 GEORGETOWN IRVINE • CALIFORNIA • 92612 PHONE (949) 508-0909 FAX (949) 508-0901	OGS BM "TMS-242" ELEV. 412.90 FT NAVD83 / 1997 OCS ADJ. OGS BM ON 434.5' CB DANA POINT HARBOR DR. 0.5 MILE W/O DEL. PRADO ST. 34.9' S/O OF DANA POINT HARBOR DR. 112.2' S/O OF PP 822584/MONOL. 40.0' W/O STOPPING AT ANY TIME SIGN. MON IS SET LEVEL WITH SW.
				ACAD FILE NO.	<i>Mahn Waber</i>				
				PROJECT NO.	MAHR WABER				

CITY OF DANA POINT

**TOPOGRAPHIC SURVEY**

34341 & 34351 AMBER LANTERN STREET  
LOTS 17 & 18, BLOCK "K", TRACT NO. 573, M.M. 20/29  
A.P.N. 682-071-24

**T3**

ORIGINAL SCALE: 5" = 1" INCHES

LAST UPDATED: NOV 17, 2015, PLOT DATE: NOV 17, 2015 P:\VIRAJ\055\2014\JN14333\14393-TOP0-T3.DWG

JAN 20 2016