

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** January 11, 2016

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
URSULA LUNA-REYNOSA, DIRECTOR  
LIANE SCHULLER, PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP15-0019 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING ON LAND LOCATED WITHIN THE RESIDENTIAL SINGLE-FAMILY 4 (RSF-4) ZONING DISTRICT AT 431 MONARCH BAY DRIVE

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**RECOMMENDATION:** That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP15-0019.

**PROJECT APPLICANT:** Oatman Architects Inc.

**PROPERTY OWNER:** Clyde and Susan Stauff

**REQUEST:** Approval of a Coastal Development Permit to allow the demolition of an existing single-family dwelling and the construction of a new 4,623 square-foot, single-family dwelling and attached 887 square-foot garage, on land located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

**LOCATION:** 431 Monarch Bay Drive (APN 670-151-22)

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on December 23, 2015, published within a newspaper of general circulation on December 31, 2015, and posted on December 23, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in that the project proposes the construction of one single-family dwelling.

**ISSUES:**

- Project consistency with the Dana Point General Plan, Zoning Code (DPZC) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The project site is an 8,393 square-foot lot within the Monarch Bay Homeowners Association, a built-out neighborhood of single-family residences. The property currently contains a 2,240 square-foot home which is proposed to be demolished. Contiguous properties on either side are improved with single-family residences and the rear property line of the project site abuts Pacific Coast Highway.

The property is zoned "Residential Single-Family 4" (RSF-4), and is located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

The project site is located adjacent to Pacific Coast Highway, which is a designated noise generator pursuant to the Noise Element of the City's adopted General Plan. The property is zoned for and presently contains a single-family dwelling - a designated "noise sensitive receptor" per the same Element. The City's Community Noise Measurement Survey (1991) established ambient or baseline noise levels in this and other parts of the community, and utilized them to create projections for the area's community noise equivalent level (CNEL) - the average sound level (plus 5 - 10 decibels) in a given area during a 24 hour period. The noise measurement survey identifies a Pacific Coast Highway decibel rating of approximately 65 decibels (dB) within "Zone B" for single-family development and the receipt of a similar amount of sound for properties within close proximity.

That said, the Noise Element cites conventional construction materials and techniques (as contained within Chapter 12, Section 1207 of the California Building Code) as adequate for reducing interior noise for development within Zone B to acceptable levels (less than 45 decibels). The project has been conditioned to comply with all standards of construction and accordingly it is the determination of staff that the proposal complies with requirements as related to noise.

**DISCUSSION:** The proposed scope of work includes demolition of the existing residence, removal of all other site improvements and construction of a new 4,623 square-foot single-family residence.

The proposed residence is a split-level, four-bedroom home with an attached three-car garage. The architecture is described by the architect team as a tropical-transition style, with complementing landscape improvements which have been designed to blend with the common spaces of the adjoining residences on either side.

The project is found to comply with all applicable development standards of the Dana Point Zoning Code and no variances or other deviations are requested.

#### Coastal Development Permit CDP15-0019

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, demolition of a single-family dwelling and/or construction of a new single-family dwelling on land located in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires approval of a Coastal Development Permit (CDP). The subject application proposes the demolition of onsite development and the construction of a new single-family dwelling, thus requiring approval of a CDP.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

- 1. Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
- 2. If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
- 3. Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
- 4. Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
- 5. Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
- 6. Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*

*7. Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*


Recommended approval findings are set forth in the attached draft Resolution (Attachment 1).

**CORRESPONDENCE:** To date, the only correspondence received for this project has been a letter of project approval by the Monarch Bay Homeowners Association.

**CONCLUSION:** Staff finds that the subject project is consistent with the policies and provisions of the City of Dana Point General Plan, Zoning Ordinance and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached Resolution, approving Coastal Development Permit 15-0019 subject to findings and conditions of approval.

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Liane Schuller, Planner

  
Ursula Luna-Reynosa, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 15-07-13-xx

**Supporting Documents**

2. Vicinity Map
3. Homeowner's Association Approval Letter
4. Site Photos
5. Architectural Plans

**RESOLUTION NO. 15-07-13-xx**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP15-0019 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING ON LAND LOCATED WITHIN THE RESIDENTIAL SINGLE-FAMILY 4 (RSF-4) ZONING DISTRICT AT 431 MONARCH BAY DRIVE**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Clyde and Susan Stauff (collectively, the “Applicant”) are the owners of real property commonly referred to as 431 Monarch Bay (APN 670-151-22) (the “Property”); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit to allow for demolition of an existing single-family dwelling and the construction of a new single-family dwelling at 431 Monarch Bay Drive (APN 670-151-22); and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 - New Construction or Conversion of Small Structures); and

WHEREAS, the Planning Commission did, on the 11<sup>th</sup> day of January, 2016, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP15-0019.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP15-0019 subject to conditions of approval:

Findings:

Coastal Development Permit CDP15-0019

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by effecting new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County and State beaches and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in that it proposes the construction of a one new single-family dwelling.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an**

**already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.**

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located within an established area of residential uses with little to no natural landforms present and; in that the proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed project would construct a new single-family dwelling utilizing materials and methods that conform to the development and design standards of the Dana Point Zoning Code and so resulting in development of the property in a manner that is complementary to surrounding development.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staffs as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program for the subject property). There are no adopted specific plans that apply to the subject property.**

Conditions:

**General:**

1. Approval of this application permits demolition of all onsite development and the construction of a new single-family dwelling at 431 Monarch Bay Drive in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be

null and void.

3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant and owner, and their successors in interest, shall be fully responsible for knowing and complying with all conditions of approval,



including making known the conditions to City staff for future governmental permits or actions on the project site.

7. A grading permit shall be obtained prior to any work, including demolition activities.
8. The Applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television/internet services.
9. The Applicant shall be responsible for coordination with the Home Owner's Association (HOA) concerning the existing private sewer easement on the lot. The Applicant shall proceed at risk with any excavation and improvements within the private easement area.
10. The Applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The Applicant shall provide erosion control measures. The erosion control measures shall be shown and specified on a plan and shall be constructed prior to the start of any other grading operations. The Applicant shall maintain the erosion control devices until the final approval of all permits.
11. The Applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.

**Prior to Issuance of a Grading Permit:**

12. The Applicant shall submit a Grading Plan to the Public Works/Engineering Department for review and approval. The grading Plan shall comply with City standards and further include all documents as required by current Public Works Department plan check policies, the City of Dana Point Municipal Code and Grading Manual as well as the City's Municipal Separate Storm Sewer Systems (MS4s) Permit.
13. The Applicant shall submit a "wet-stamped and signed" topographic survey of the subject property, as prepared by a CA licensed surveyor.
14. The Applicant shall submit a geotechnical report in compliance with all City of Dana Point standards.
15. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.

16. The Applicant shall submit an application for shoring, as needed, to the Building Division. In the event shoring is required, a separate permit submittal shall be made to the Building Division for review and approval. All shoring permits shall be issued concurrently with the grading permit.
17. The Applicant shall submit a Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works. The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
18. A performance bond shall be required for all grading activities up to 100% of the proposed improvements. A separate performance bond may be required for shoring activities to ensure completion of grading activities and protection of adjoining improvements.
19. The Applicant and Applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.

**Prior to Issuance of a Building Permit:**

20. The Applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with approved grading plans and reports.
21. Building plan-check submittal shall include four sets of the following construction documents:
  - *Building (structural) plans*
  - *Structural calculations*
  - *Energy calculations*
  - *Soils/geology report*
  - *Drainage plan*
22. Project approval from the Orange County Fire Authority (OCFA) is required. The Applicant shall three sets of building plans directly to that agency for review and approval.
23. Fire sprinklers shall be required for this project and be illustrated in submitted structural or other plans as required by the Building Official and/or the CA Building Code.
24. All improvements authorized under this approval shall comply with 2013 CA Code of Regulations, Parts 1 - 12 and any local amendments thereto as

well as with 2013 T-24 Energy Conservation Regulations.

25. All onsite utilities shall be undergrounded.
26. The foundation system shall provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise.
27. A Rough Grade/Pad Certification or Grading Release Form shall be obtained from the Building/Safety Division, completed, and returned for review and approval.
28. The Applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
29. The Applicant shall submit a separate rough grade geotechnical certification for review and approval by the City Engineer by separate submittal. The rough grade geotechnical certification by the geotechnical engineer (per the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the geotechnical recommendations and approved reports
30. Prior to commencement of framing, the Applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP15-0019. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of Building Permit issuance, prepared by a CA licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
31. An as-graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report

should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

**Prior to Issuance of a Certificate of Occupancy:**

32. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
33. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
34. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.
35. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
36. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 11<sup>th</sup> day of January, 2015 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

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April O'Connor, Chairperson  
Planning Commission

ATTEST:

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Ursula Luna-Reynosa, Director  
Community Development Department

DRAFT



City of Dana Point  
**CDP15-0019**  
Liane Schuller, Planner  
Community Development Department  
33282 Golden Lantern  
Dana Point, CA 92629-1805

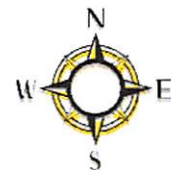
## VICINITY MAP



**Project :** *CDP15-0019*

**Project Applicant:** *Oatman Architects Inc.*

**Location:** *431 Monarch Bay Drive*





# Monarch Bay Association

June 16, 2015

Clyde and Susie Stauff  
431 Monarch Bay Drive  
Monarch Beach, CA 92629

via e-mail

RE: 431 MONARCH BAY DRIVE  
RESULTS OF APPEAL - NEW HOME PLANS BY OATMAN ARCHITECTS  
DATED 4/13/15

Dear Mr. and Mrs. Stauff,

Thank you for attending the June 15, 2015 Monarch Bay Association Board of Directors Meeting to present your appeal of the Architectural Committee's denial for your plans for new home construction and variance for the expansion of the footprint of 431 Monarch Bay Drive (as proposed in plans by Oatman Architects dated 04/13/15). The Architectural Committee had advised that they would approve the design of the home and the height variance requested in those same plans, so the primary issue being reconsidered by the Board was the variance request to expand the footprint of the new proposed home.

Based on the presentation made by Clyde at this meeting, the comments provided by the Architectural Committee and the Association's Consulting Architect Jim Keisker, the Board's review of all correspondence in this matter and site visits to the Stauff home made by the Board members, the Board determined that the following were the primary issues for their consideration and reconsideration of the plans:

- 1) This lot backs to PCH and therefore does not impact ocean views, view corridors or open space pathways/greenbelts;
- 2) The directly adjacent neighbors support the plan as presented;
- 3) The distance between the homes on both sides of this proposed home will be 29' and 34' respectively if the home were approved to be built;
- 4) This proposed home is setback from the street more than most other homes in the Mall;
- 5) This proposed home does not exceed 40% lot coverage;



6) *This proposed home is not out of scale in comparison to the neighboring homes that also back up to PCH;*

7) *This proposed home is not in close proximity to nor would it impact pathways or greenbelts.*

*After a discussion and for the 7 reasons stated above, the Board unanimously (minus the vote of Susan Stauff who has recused herself from the discussions and the vote in this matter) overturned the Architectural Committee's decision in this matter and on reconsideration approves the plans and variance request as presented.*

*We thank you for your cooperation and understanding throughout this process.*

*Respectfully,*

*THE MONARCH BAY ASSOCIATION  
BOARD OF DIRECTORS*

*Doug McLeish /LK*  
By: *Doug McLeish, President*

CC: *Architectural Control Committee  
MB/431/arch/appeal decision – approval of plans and variance/06.16.15*



Existing Photos for 431 Monarch Bay Drive



# STAUFF RESIDENCE

LOT 43, 431 MONARCH BAY DRIVE, DANA POINT, CA  
APN: 670-151-22



DATMAN ARCHITECTS INC.  
ARCHITECTS & ENGINEERS

412 31st Street, Newport Beach, CA 92660  
P (949) 675-1755 • F (949) 675-1758  
datmanarchitects.com

**PROJECT TEAM:**  
**PROJECT CONTACTS:** HOMER DATMAN  
TODD BALICKI  
**E-MAIL:** hdatman@datmanarchitects.com  
tbalicki@datmanarchitects.com  
**PRINCIPAL:** HOMER DATMAN  
**PROJECT DIRECTOR:** TODD BALICKI  
**PROJECT DESIGNER:** HOMER DATMAN  
**PROJECT MANAGER:** TODD BALICKI

**LICENSE STAMP:**



This is an electronic stamp and signature

NO.	DATE	DESCRIPTION
	10/26/15	GDP SUBMITTAL #2

**Owner:**  
MR. & MRS. CLYDE STAUFF  
LOT 43, 431 MONARCH BAY DRIVE  
DANA POINT, CA  
APN: 670-151-22

**PROJECT:**

**STAUFF  
RESIDENCE**  
431 MONARCH BAY DR.  
DANA POINT, CA  
APN: 670-151-22

PLAN CHECK NO. :

Project No: 2013-009

IF THE OWNER AND/OR GENERAL CONTRACTOR RESPONSIBILITY FOR THE DESIGN OF THE WORK IS TO BE ASSIGNED TO ANY OTHER PARTY, THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSIONS FROM THE LOCAL GOVERNING AGENCY AND THE ARCHITECT PRIOR TO THE OWNER'S DESIGN CONSTRUCTION PROCEEDURES WITH THE WORK. THE OWNER SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION PROCEDURES IF THESE PROCEDURES ARE NOT FOLLOWED.

NOTE: THE ORIGINAL SIZE OF THE DRAWING SHEET IS 36"X48"

**SHEET TITLE:**

TITLE SHEET

**SHEET NO:**

T-1.0

## ABBREVIATIONS

& /	AND	F.O.C.	FACE OF CONCRETE	R	RISER
A	ANGLE	F.O.F.	FACE OF FINISH	RAD.	RADIUS
AT	CENTERLINE	F.O.M.	FACE OF MULLION	RAG.	RETURN AIR GRILLE
C	DIAMETER OR ROUND	F.O.S.	FACE OF STUDS	R	RADIUS
Ø	DIAMETER OR ROUND	F.P.	FIREPLACE	R.C.W.	RECESSED COLD WATER
#	EXISTING	F.P.F.	PREPROOF	R.D.	ROOF DRAIN
ID	EXISTING	FR	FRENCH	REF.	REFERENCE
AB.	ANCHOR BOLT	FRAMG	FRAMING	REFR.	REFRIGERATOR
ABV.	ABOVE	FS.	FULL SIZE	REV.	REVERSE
AC.	AIR CONDITIONER	FT.	FOOT OR FEET	REIN.	REINFORCE, REINFORCED
ACOUS.	ACOUSTICAL	FTG.	FOOTING	R.G.	REGISTER
AD.	AREA DRAIN	FURF.	FURRING	R.H.B.	RECESSED HOSE BIBB
ADJ.	ADJUSTABLE	FUT.	FUTURE	REQ.	REQUIRED/ REQUIREMENTS
AFF.	ABOVE FINISH FLOOR	GA.	GAUGE	RESIL.	RESILIENT
AGGR.	AGGREGATE	GAUV.	GALVANIZED	R.M.	ROUGH OPENING
AL.	ALUMINUM	GB.	GRAB BAR	R.G.	REVERSE OSMOSIS
ALLUM.	ALUMINUM	GL.	GLASS	R.W.O.	REDWOOD
∠	ANGLE	GND.	GROUND	RWL.	RAIN WATER LEADER
APPROX.	APPROXIMATE	G.P.F.	GALLONS PER FLUSH	S.	SOUTH
ARCH.	ARCHITECT	G.P.M.	GALLONS PER MINUTES	S.C.	SOLID CORE
ARCH-L.	ARCHITECTURAL	GR.	GRADE	S.C.D.	SEAT COVER DISPENSER
ASPH.	ASPHALT	GYP.	GYP-SUM	SCH.	SCHEDULE
AV.	AUDIO/ VIDEO	GYP. BD.	GYP-SUM BOARD	S.D.	SOAP DISPENSER
AWING	AWNING	GB.	GYP-SUM BOARD	SECT.	SECTION
BD.	BOARD	HB.	HOSE BIBB	S.F.	SQUARE FEET
BDRM.	BEDROOM	H.C.	HOLLOW CORE	SH.	SINGLE HUNG
BL.	BUILT-IN	HW.	HARDWOOD	SHR.	SHOWER
BLDG.	BUILDING	HWARE	Hardware	SHT.	SHEET
BLK.	BLOCK	HDR.	HEADER	SHTG.	SHEATHING
BLKG.	BLOCKING	H.M.	HOLLOW METAL	SIM.	SIMILAR
BLT.	BOLT	HORIZ.	HORIZONTAL	SKYLT.	SKYLIGHT
BM.	BEAM	HR.	HOUR	SLPG.	SLOPING
BOB.	BOTTOM OF BEAM	HT.	HEIGHT	S.LDR.	SLIDERY/ SLIDING
BOT.	BOTTOM	H.V.A.C.	HEATING VENTILATING AIR CONDITIONING	S.ND.	SANITARY NAPKIN DISPENSER
B.S.	BAR SINK	HORIZ.	HORIZONTAL	S.NR.	SANITARY NAPKIN RECEPTACLE
CAB.	CABINET	ID.	INTERIOR DESIGNER	SPEC.	SPECIFICATIONS
C.B.	CATCH BASIN	IDIA.	INSIDE DIAMETER	SQ.	SQUARE
CEM.	CEMENT	INSUL.	INSULATION	SST.	STAINLESS STEEL
CER.	CERAMIC	INT.	INTERIOR	STA.	STATION
CL.	CAST IRON	JAL.	JALOUSIE	STD.	STANDARD
C.G.	CORNER GUARD	JAN.	JANITOR	STL.	STEEL
CLG.	CEILING	JT.	JOINT	STOR.	STORAGE
CLKG.	CAULKING	LAM.	LAMINATE	STRUC.	STRUCTURAL
CLO.	CLOSET	LAV.	LAVATORY	STRUCT.	STRUCTURE
CLR.	CLEAR	LIN.	LINEN	S.S.	SERVICE SINK
CNTR.	COUNTER	LKR.	LOCKER	SUSP.	SUSPENDED
C.O.	CASED OPENING	LT.	LIGHT	SUB-FL.	SUB-FLOOR
COL.	COLUMN	LVD.	LOUVERED	SW.	SOLID WOOD
CONC.	CONCRETE	MAINT.	MAINTENANCE	SYM.	SYMMETRICAL
CONN.	CONNECTION	MAX.	MAXIMUM	S4S	SURFACED 4 SIDES
CONSTR.	CONSTRUCTION	MB.	MACHINE BOLT	T.B.	TOWEL BAR
CONT.	CONTINUOUS	MC.	MEDICINE CABINET	TBD	TO BE DETERMINED
C.O.F.	CORNER OF FINISH	MDF.	MEDIUM DENSITY FIBER BD.	T.C.	TOP OF CURB
CORR.	CORROSION	MECH.	MECHANICAL	T.O.C.	TOP OF CURB
CSMT.	CASEMENT	MEMB.	MEMBRANE	T.O.D.	TOP OF DECKING
CNTR.	CENTER	MET.	METAL	T.O.P.	TOP OF PLATE
CTSK.	COUNTERSUNK	MFGR.	MANUFACTURING	T.O.PAR.	TOP OF PARAPET
DBL.	DOUBLE	MFR.	MANUFACTURER	T.O.S.	TOP OF SLAB
DEPT.	DEPARTMENT	MH.	MANHOLE	T.O.PAV.	TOP OF PAVEMENT
D.F.	DRINKING FOUNTAIN	MNL.	MINIMUM	T.P.	TOILET PAPER DISPENSER
DET.	DETAIL	MIR.	MIRROR	TRD.	TREAD
DI.	DIAMETER	MISC.	MISCELLANEOUS	TRV.	TELEVISION
DM.	DIMENSION	M.O.	MASONRY OPENING	TW.	TOP OF WALL
DN.	DOWN	MTD.	MOUNTED	TYP.	TYPICAL
D.O.	DOOR OPENING	MUL.	MULLION	UNF.	UNFINISHED
DOR.	DOWNSPOUT	N.	NORTH	UNQ.N.	UNLESS OTHERWISE NOTED
DSP.	DRY STANDPIPE	NIC.	NOT IN CONTRACT	UR.	URINAL
DV.	DRYER VENT	NO. OR #	NUMBER	O.A.	OVERALL
DW.	DISHWASHER	NOM.	NOMINAL	OBS.	OBSOLETE
DWGS	DRAWINGS	N.T.S.	NOT TO SCALE	O.C.	ON CENTER
DWR.	DRAWER	O.	OVER	OD.	OUTSIDE DIAMETER (DIM)
E	EAST	O/O.	OFFICE	OFF.	OFFICE
E.A.	EACH	OPNG.	OPENING	O/H.C.	OVERHEAD CABINET
EDF.	DRINK FOUNTAIN	OPP.	OPPOSITE	OPNG.	OPENING
EJ.	EXPANSION JOINT	PAN.	PANTRY	PAN.	PANTRY
EL.	ELEVATION	P.D.	POCKET DOOR	PD.	POCKET DOOR
ELEC.	ELECTRICAL	PRCST.	PRECAST	PL.	PLATE
ELEV.	ELEVATOR	PL.	PLATE	PLAM.	PLASTIC LAMINATE
EMER.	EMERGENCY	PLAS.	PLASTER	PLYWD.	PLYWOOD
ENCL.	ENCLOSED	PLYWD.	PLYWOOD	PNL.	PANEL
EP.	ELECTRICAL PANELBOARD	PTD.	PAINTED	PLUMB.	PLUMBING
EQ.	EQUAL	PLYWD.	PLYWOOD	PLWD.	PLYWOOD
EQPT.	EQUIPMENT	R.	PROPERTY LINE	PR.	PAIR
EW.C.	ELECTRIC WATER COOLER	PR.	PROPERTY LINE	PR.	PAIR
EXST.	EXISTING	PR.	PROPERTY LINE	P.T.	PRESSURE TREATED
EXP.	EXPANDED	PRFAB.	PREFABRICATED	P.T.D.	PAPER TOWEL DISPENSER
EXT.	EXTERIOR	R.T.D./R.	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE	P.T.D./R.	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE
FA.	FIRE ALARM	PTN.	PARTITION	PTR.	PAPER TOWEL RECEPTACLE
FAU.	FORCED AIR UNIT	Q.T.	QUARRY TILE		
FB.	FLAT BAR				
FDN.	FLOOR DRAIN				
FDN.	FOUNDATION				
FE.	FIRE EXTINGUISHER				
FEC.	FIRE EXTINGUISHER CABINET				
FF.	FINISH FLOOR				
FG.	FINISH GRADE OR FIXED GLASS				
FGAS.	FUEL GAS				
FHC.	FIRE HOSE CABINET				
FIN.	FINISH				
FINED.	FINISHED				
FL.	FLOOR				
FLASH.	FLASHING				
FLUOR.	FLUORESCENT				

## APPLICABLE CODES PER LOCAL AND STATE REQUIREMENTS

2013 CALIFORNIA RESIDENTIAL CODE  
2013 CALIFORNIA BUILDING CODE  
2013 CALIFORNIA MECHANICAL CODE  
2013 CALIFORNIA PLUMBING CODE  
2013 CALIFORNIA ELECTRICAL CODE  
2013 CALIFORNIA FIRE CODE  
2013 CALIFORNIA ENERGY CODE  
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE  
2013 TITLE-24 BUILDING ENERGY EFFICIENCY STANDARDS  
CITY OF DANA POINT, CA MUNICIPAL AND ZONING CODE  
THIS PROJECT SHALL COMPLY WITH ALL OTHER REGULATIONS AND ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCY OF DANA POINT, CA.

**CALIFORNIA GREEN GENERAL NOTES:**  
REFER TO GENERAL NOTE SHEET GN-30 & MEP DRAWINGS FOR APPLICABLE CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIREMENTS AS IT PERTAINS TO LOW-RISE RESIDENTIAL BUILDINGS.

**USE:** SINGLE FAMILY DETACHED RESIDENCE

**OCCUPANCY TYPE:** R-3 / U (PRIVATE GARAGE)

**TYPE OF CONSTRUCTION:** V-B (NFPA 13-D SPRINKLERS REQUIRED)

**NOTE:**  
AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE 2013 NFPA 13-D AND AMENDMENTS AS ADOPTED BY THE LOCAL JURISDICTION.  
**CITY OF DANA POINT:**  
PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT OF WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

## PROJECT SCOPE AND DESCRIPTION

THE FOLLOWING PROJECT CONSISTS OF A NEW 2 STORY SINGLE FAMILY DETACHED RESIDENCE WITH AN ATTACHED 3-CAR GARAGE

## SITE INFORMATION AND REQUIREMENTS

**MINIMUM BUILDING SETBACKS:**

FRONT: 14'-0" FROM ANY FRONT PROPERTY LINE  
(PER HOA VARIANCE COMMITTEE LETTER DATED 8/25/05)

REAR YARD: 16'-0" FROM ANY REAR PROPERTY LINE (74'94" + 85.25" + 2 X 0.2 = 160.0')

SIDE YARDS: 6'-0" FROM ANY SIDE PROPERTY LINE

**MAXIMUM BUILDING HEIGHT:**  
SLOPED ROOF (3/12 MIN & 6/12 MAX) 100.90' + 22'-10" = 123.73'

**MAX. HT. ELEV. DETERMINATION:**  
BASED ON TOP OF EXCAVATION FOR THE PAD AT 100.90' (101'40" - 6') AT THE SOUTH CORNER OF THE LOWEST FLOOR LEVEL ESTABLISHED FROM TOPOGRAPHIC SURVEY.

**CITY LOT COVERAGE (45% MAX. OF LOT AREA (6,393.37 X .45 = 2,877.02 MAX.))**  
RESIDENCE FOOTPRINT AREA: 2,840.62 SF.  
EXTERIOR AREAS: 512.90 SF.  
TOTAL GROUND FLOOR AREA LOT COVERAGE: 3,353.52 SF.  
3,353.52 SF. ÷ 6,393.37 SF. = 39.95%

## PROJECT TEAM

**OWNER:** CLYDE & SUSIE STAUFF  
LOT 43 MONARCH BAY DRIVE  
DANA POINT, CA

**MEP & T-24 ENERGY:** SOUTHLAND ENERGY CONSULTANTS  
1491 GLENNEIRE STREET  
LAGUNA BEACH, CA 92651  
(949) 497-3591 OFFICE  
(949) 497-3210 FAX  
CONTACT: PAUL KANDARIAN

**ARCHITECT:** DATMAN ARCHITECTS, INC.  
412 31ST STREET  
NEWPORT BEACH, CA 92660  
(949) 675-1755 OFFICE  
(949) 675-1758 FAX  
CONTACT: HOMER DATMAN, AIA  
TODD BALICKI, ASSOC. AIA

**GEOTECHNICAL ENGINEER:** GMI GEOTECHNICAL, INC.  
23241 ARROYO VISTA  
RANCHO SANTA MARGARITA, CA 92686  
(949) 888-6513 OFFICE  
(949) 888-1380 FAX  
CONTACT: DAVID HANSEN

**CIVIL ENGINEER:** TOAL ENGINEERING, INC.  
139 AVENIDA NAVARRO  
SAN CLEMENTE, CA 92672  
(949) 482-8686 OFFICE  
(949) 498-9625 FAX  
CONTACT: CALES RIOS

**LANDSCAPE ARCHITECT:** EXTERIORS INC.  
333 SHIPYARD WAY, SUITE A  
NEWPORT BEACH, CA 92663  
(949) 285-9692 OFFICE  
CONTACT: RICHARD KING

**STRUCTURAL ENGINEER:** AOX ENGINEERING, INC.  
520 BROOKHOLLOW DRIVE  
SANTA ANA, CA 92705  
(714) 662-0510 OFFICE  
(714) 662-0559 FAX  
CONTACT: QIANG 'CHUNG' XIAO, P.E.

**INTERIOR DESIGNER:** INSERT DESIGN, INC.  
(714) 609-6313 OFFICE  
(714) 484-7313 FAX  
CONTACT: JENNA SCHUMACHER

## SHEET INDEX

CIVIL	MECHANICAL
C-1	GRADING TITLE SHEET
C-2	PRECISE GRADING PLAN
C-3	SECTIONS AND DETAILS
C-4	EROSION CONTROL PLAN
C-5	TOPOGRAPHIC SURVEY

ARCHITECTURAL	PLUMBING	ELECTRICAL
GN-10	GENERAL NOTES	
GN-20	GENERAL NOTES	
GN-30	GENERAL NOTES	
GN-40	GENERAL NOTES	
GN-50	GENERAL NOTES	
A-10	ARCHITECTURAL SITE PLAN	
A-20	SQUARE FOOTAGE CALCULATIONS	
A-30	SLAB EDGE PLAN	
A-40	GROUND FLOOR PLAN	
A-41	UPPER FLOOR PLAN	
A-50	ROOF PLAN	
A-60	EXTERIOR ELEVATIONS	
A-61	EXTERIOR ELEVATIONS	
A-70	BUILDING SECTIONS	
A-71	BUILDING SECTIONS	
A-80	GROUND FLOOR RCP	
A-81	UPPER FLOOR RCP	
A-8P1	ENLARGED STAIR PLANS	
SCH-1	DOOR SCHEDULE	
SCH-2	WINDOW SCHEDULE	
D-10	ARCHITECTURAL DETAILS	
D-20	ARCHITECTURAL DETAILS	
D-30	ARCHITECTURAL DETAILS	
D-40	ARCHITECTURAL DETAILS	
D-50	ARCHITECTURAL DETAILS	
D-60	ARCHITECTURAL DETAILS	
D-60	ARCHITECTURAL DETAILS	
D-70	ARCHITECTURAL DETAILS	
D-80	ARCHITECTURAL DETAILS	

LANDSCAPE	
L-1	HARDSCAPE PLAN
L-2	LIGHTING PLAN
L-3	TREE PLAN
L-4	PLANTING PLAN

## SQUARE FOOTAGE CALCULATIONS (SEE SHT. A-2.0)

CONDITIONED AREAS:	
GROUND FLOOR	1972.13 SF.
UPPER FLOOR	2650.75 SF.
TOTAL CONDITIONED AREA:	4622.88 SF.

UNCONDITIONED AREAS:	
GROUND FLOOR (MECH/ELEC + STORAGE)	157.73 SF.
UPPER FLOOR (ELEV. SHAFT)	33.00 SF.
GARAGE:	887.29 SF.
TOTAL UNCONDITIONED FLOOR AREA:	1078.02 SF.

EXTERIOR AREAS:	
GROUND FLOOR	0.00 SF.
UPPER LEVEL OPEN DECK:	512.90 SF.
TOTAL EXTERIOR AREA:	512.90 SF.

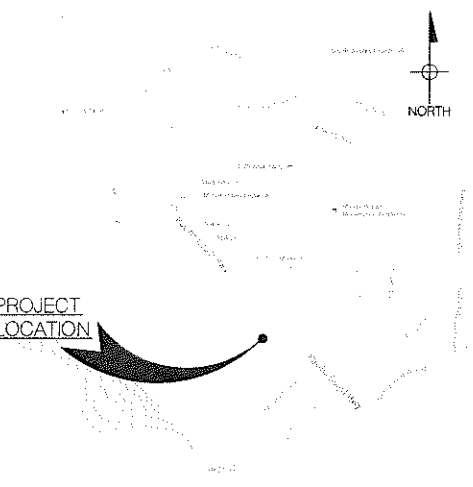
  

TOTAL STRUCTURE:	
GROUND FLOOR	3017.15 SF.
UPPER LEVEL (INCLUDING DECK):	3196.65 SF.
TOTAL STRUCTURE AREA:	6213.80 SF.

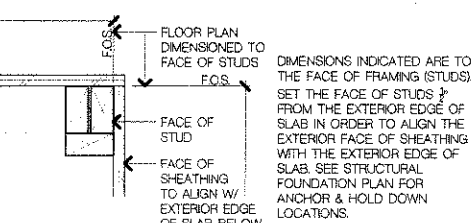
## LEGAL DESCRIPTION

CITY: DANA POINT, CA  
COUNTY: ORANGE  
ZONING DISTRICT: RSF-4, SINGLE UNIT RESIDENTIAL  
COSTAL LAND USE: YES  
PARCEL (APN): 670-151-22  
TRACT: 4472  
LOT: 43  
LOT SIZE: 8,393.37 SF. (GROSS)  
4,890.28 SF. (BUILDABLE AREA)

## VICINITY MAP (N.T.S.)



## DIMENSIONAL NOTE



## CONSTRUCTION NOTES

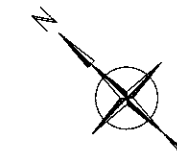
HEIGHT OF CONSTRUCTION	DISTANCE FROM CONSTRUCTION TO LOT LINE	TYPE OF PEDESTRIAN PROTECTION REQUIRED
8'-0" OR LESS	LESS THAN 5'-0"	CONSTRUCTION RAILINGS
	5'-0" OR MORE	NONE
	LESS THAN 5'-0"	BARRER/COVERED WALKWAY
MORE THAN 8'-0"	5'-0" OR MORE, BUT NOT MORE THAN 1/4 THE HEIGHT OF CONSTRUCTION	BARRER/COVERED WALKWAY
	5'-0" OR MORE, BUT BETWEEN 1/4 AND 1/2 THE HEIGHT OF CONSTRUCTION	BARRER
	5'-0" OR MORE, BUT EXCEEDING 1/2 THE HEIGHT OF CONSTRUCTION	NONE

BUILDING PERMITS ISSUED BY THE CITY OF DANA POINT. ISSUANCE OF A BUILDING PERMIT BY THE CITY OF DANA POINT DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

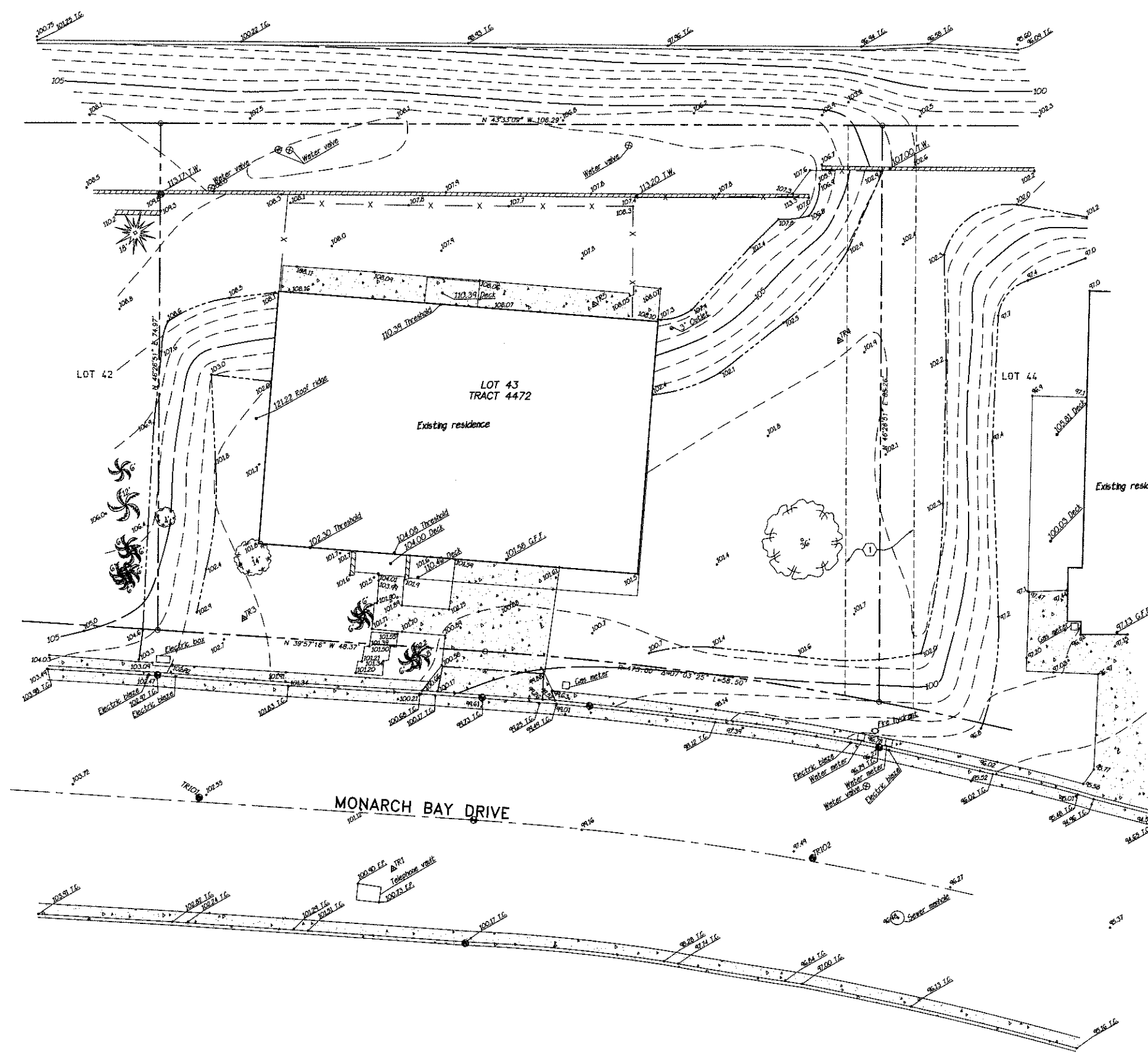
## DEFERRED SUBMITTALS

- SEPARATE DRAWING SUBMITTALS AND PERMITS IS/ARE REQUIRED FOR THE GRADING PLAN, LANDSCAPE PLAN, ANY SWIMMING POOL AND/OR SPA, POOL AND SPA MECHANICAL EQUIPMENT, ANY SITE RETAINING WALLS OVER 4 FEET HIGH FROM THE BOTTOM OF THE FOUNDATION TO TOP OF WALL, ANY BLOCK WALLS OVER 3'-6" HIGH, MASONRY OR CONCRETE FENCES OVER 3'-6" HIGH, DETACHED PATIO COVERS, TRELLISES, ACCESSORY BUILDING(S) ... ETC.
- SEPARATE DRAWING SUBMITTALS AND PERMITS IS/ARE REQUIRED FOR NFPA 13-D AUTOMATIC FIRE SPRINKLER SYSTEMS. THE SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE 2013 NFPA 13-D AND AMENDMENTS AS ADOPTED BY THE LOCAL JURISDICTION. REQUIRED SPRINKLER PLANS SHALL BE SUBMITTED AND APPROVED BY PRIOR TO ISSUANCE OF A BUILDING PERMIT OR SHALL BE OBTAINED PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION. THE SYSTEM SHALL BE OPERATIONAL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY FOR ALL ON-SITE STRUCTURES.
- ALL DEFERRED SUBMITTALS ARE TO BE REVIEWED BY THE PROJECT ARCHITECT AND/OR ENGINEER OF RECORD, AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

PACIFIC COAST HIGHWAY



SCALE: 1/8"=1'



**LEGEND**

---	PROPERTY LINE
-X-X-	FENCE
▨	CONCRETE SURFACE
▧	MASONRY WALL
▩	WOOD WALL
▪	ROCK WALL
FF	FINISHED FLOOR
FS	FINISHED SURFACE
TC	TOP OF GRATE
INV	INVERT OF PIPE
TC	TOP OF CURB
EP	EDGE OF PAVEMENT
TW	TOP OF WALL
●	FOUND MONUMENT
▲	SURVEY CONTROL POINT

BENCHMARK NOTE:  
 OCSBM J-1313  
 ELEV=77.535  
 NAVD88 DATUM, 2004 ADJ.

EASEMENT NOTE:  
 THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT.  
 UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

① A RESERVATION FOR A 10' WIDE PRIVATE EASEMENT FOR SEWER AND WATER LINE PURPOSES AS SHOWN ON TRACT 4472, M.M. 191/11-14 O.R.

BOUNDARY NOTE:  
 THE PLAT SHOWN HEREON REPRESENTS A BEST FIT OF THE RECORD BOUNDARY TO THE FOUND MONUMENTS AND LINES OF OCCUPATION. IT SHALL NOT BE CONSIDERED THE FINAL BOUNDARY, AND A BOUNDARY SURVEY IS RECOMMENDED PRIOR TO DESIGN OR CONSTRUCTION OF IMPROVEMENTS.

TOPOGRAPHIC SURVEY  
 LOT 43 TRACT 4472  
 431 MONARCH BAY DRIVE, DANA POINT, CALIFORNIA  
 PREPARED FOR: CLYDE STUNIFF

H. SCALE	V. SCALE	DATE OF SURVEY	DR. FILE	BY	DATE	APVD.
1/8"=1'	N/A	2-5-14				
DATE	DRN	CHKD.	APVD.	DATE	APVD.	DATE
2-19-14	MSF & MCH					

**TOAL ENGINEERING, INC.**  
 Civil Engineers and Land Surveyors  
 139 Avenida Navarero, San Clemente, Calif. 92672  
 Ph: 949-492-8586 Fax: 949-498-8625



**ARCHITECTURAL SITE PLAN NOTES**

- DO NOT SCALE DRAWINGS.
- THIS ARCHITECTURAL SITE PLAN IS INTENDED FOR BUILDING SETBACK PURPOSES AND LOCATION OF UTILITIES ONLY. SEPARATE DRAWING SUBMITTALS AND PERMITS(S) IS/ARE REQUIRED FOR THE GRADING PLAN, LANDSCAPE PLAN, SWIMMING POOL, AND SPA MECHANICAL EQUIPMENT, ANY SITE RETAINING WALLS OVER 4 FEET HIGH FROM THE BOTTOM OF THE FOUNDATION TO TOP OF WALL, ANY BLOCK WALLS OVER 35 FEET, MASONRY OR CONCRETE FENCES OVER 35 FEET HIGH, DETACHED PATIO COVERS, TRELLISES, ACCESSORY BUILDINGS(S) . . . ETC.
- REFER TO THE ARCHITECTURAL FLOOR PLANS AND GENERAL NOTES FOR ADDITIONAL REQUIRED INFORMATION.
- REFER TO THE GEOTECHNICAL SOILS REPORT FOR GRADING AND FOUNDATION REQUIREMENTS AND RECOMMENDATIONS.
- REFER TO CIVIL DRAWINGS FOR EXACT PROPERTY LINE DIMENSIONS, TOPOGRAPHY, PRECISE GRADING PLAN, EROSION CONTROL PLAN, TOP OF WALL, HEIGHTS, PAD AND FLOOR ELEVATIONS, SITE DRAINAGE, LOCATION(S) OF BACKWATER VALVES, LOCATION AND DIRECTION OF FLOW OF THE STORM AND SEWER CONNECTIONS, LOCATION OF NATURAL GAS AND WATER METERS. . . ETC.
- REFER TO STRUCTURAL DRAWINGS FOR ALL SITE RETAINING WALL INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR THE HARDSCAPE PAVING MATERIAL PLAN, SOFTSCAPE PLANTING PLAN, IRRIGATION PLAN, GARDEN WALLS, FENCES(S), GATES, SWIMMING POOL AND SPA PLAN. . . ETC.
- REFER TO THE ARCHITECTURAL AND MEP PLANS FOR LOCATION(S) OF ALL UTILITIES AND MECHANICAL EQUIPMENT NOT SHOWN ON THE SITE PLAN.
- SCHEDULE A PRE-GRADE MEETING WITH THE CITY INSPECTOR, ARCHITECT, GEOTECHNICAL ENGINEER, CIVIL ENGINEER AND GRADING CONTRACTOR AT THE SITE PRIOR TO THE START OF GRADING.
- PROVIDE THE LOCAL AGENCY HAVING JURISDICTION OVER THE PROJECT A "WILL SERVE" LETTER AND/OR "SERVICE WORK" ORDER FROM THE SERVING WATER, GAS, AND ELECTRIC COMPANIES. THE NATURAL GAS SUPPLIER SHALL ALSO STATE THE LOCATION OF THE GAS METER AND AVAILABILITY OF THE DESIRED PRESSURE PRIOR TO THE START OF CONSTRUCTION.
- EXISTING SEWER COLLECTION, WATER, AND GAS DISTRIBUTION ARE PUBLIC SYSTEMS.
- THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN A NECESSARY PERMIT FROM STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY AND CAL/OSHA PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
- STRUCTURAL OBSERVATION AND ANY SPECIAL INSPECTION CERTIFICATION REQUIREMENTS BY LICENSED PROFESSIONALS ARE REQUIRED FOR CONSTRUCTION OF ALL NEW BUILDINGS PER THE REQUIREMENTS OF THE LOCAL BUILDING AND SAFETY DEPARTMENT.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- ALL WATER SUPPLY LINES TO THE HOUSE SHALL BE NO LESS THAN 1-1/2".
- MINIMUM SLOPE OF SEWER LINE AND DRAINAGE PIPING IS 2% PER 2013 C.P.C. SECTION 709.
- AN APPROVED BACKWATER VALVE IS REQUIRED FOR DRAINAGE PIPING SERVING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. CLEAN OUTS FOR DRAINS THAT PASS THROUGH A BACK WATER VALVE SHALL BE CLEARLY IDENTIFIED WITH A PERMANENT LABEL STATING "BACKWATER VALVE DOWNSTREAM" PER 2013 C.P.C. SECTION 710.1.
- FINISH GRADE AROUND THE NEW STRUCTURE SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%) WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING, PER 2013 C.P.C. SECTION R401.3.
- PRIOR TO THE RELEASE OF THE FOOTING INSPECTION, THE APPLICANT SHALL SUBMIT CERTIFICATION, BY SURVEY OR OTHER APPROPRIATE METHOD, THAT THE STRUCTURES WILL BE CONSTRUCTED IN COMPLIANCE WITH THE DIMENSIONS SHOWN AND IN COMPLIANCE WITH THE SETBACKS OF THE LOCAL ZONING CODE.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET AND BEACHFRONT AND TO BE A MINIMUM OF 4" HIGH X 1" WIDE NONCOMBUSTIBLE, CONTRASTING MATERIALS OR PER LOCAL CITY AND FIRE DEPARTMENT REQUIREMENTS.
- AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
- A PUBLIC WORK DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT RIVAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURBS AND GUTTER, AND ALLEY/ STREET PAVEMENT WILL BE REQUIRED AND 100% PAID BY THE OWNER. SAID DETERMINATION AND EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
- NEW SEWER CLEAN OUT NEEDS TO BE INSTALLED ON THE EXISTING SEWER LATERAL PER CITY STANDARD DETAIL, (STD-406-L) ADJACENT TO THE PROPERTY LINE IN THE VA LORCA PUBLIC RIGHT-OF-WAY. IF INSTALLED AT A LOCATION THAT WILL BE SUBJECT TO VEHICLE TRAFFIC, EACH SHALL BE INSTALLED WITH A TRAFFIC GRADE BOX AND COVER.
- THE STREET ADJACENT TO THE PROPERTY LINE IS ON THE CITY'S STREET/ ALLEY MORATORIUM LIST. TRENCHING INTO SAID ALLEY AS A PART OF THIS DEVELOPMENT WILL REQUIRE EXTENSIVE STREET/ ALLEY REPAIR WORK, PER CITY STANDARD DETAIL, (STD-105-L-F)
- REPAIR DAMAGED CURB AND/OR GUTTER PER CITY STANDARD ALONG THE ENTIRE PROPERTY STREET/ALLEY FRONTAGE.
- ALL WORK RELATED TO THE WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.

**LEGAL INFO.**

CITY: DANA POINT, CA  
 COUNTY: ORANGE  
 ZONING DISTRICT: RSF-4, SINGLE UNIT RESIDENTIAL  
 COSTAL LAND USE: YES  
 PARCEL (APN): 670-151-22  
 TRACT: 4472  
 LOT: 43  
 LOT SIZE: 8,393.37 SF. (GROSS)  
 4,690.28 SF. (BUILDABLE AREA)

**PROJECT SCOPE AND DESCRIPTION**

THE FOLLOWING PROJECT CONSISTS OF A NEW 2 STORY SINGLE FAMILY DETACHED RESIDENCE WITH AN ATTACHED 3-CAR GARAGE

**LEGEND**

- BUILDING ENVELOPE
- EXTERIOR WALL LINE OF BUILDING
- PROPERTY LINE
- MINIMUM BUILDING SETBACK LINE PER CITY ZONING

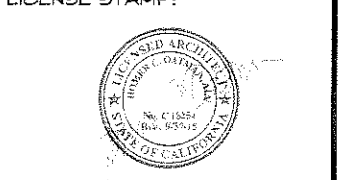
**SITE INFORMATION AND REQUIREMENTS**

MINIMUM BUILDING SETBACKS:		AREA CALCULATIONS	
FRONT:	14'-0" FROM ANY FRONT PROPERTY LINE (PER HOA VARIANCE COMMITTEE LETTER DATED 8/25/05)	CONDITIONED AREAS:	
REAR YARD:	16'-0" FROM ANY REAR PROPERTY LINE (7494' + 8526' + 2 X 0.2 = 1602)	GROUND FLOOR:	1972.13 SF.
SIDE YARDS:	5'-0" FROM ANY SIDE PROPERTY LINE	UPPER FLOOR:	2650.75 SF.
<b>MAXIMUM BUILDING HEIGHT:</b>		TOTAL CONDITIONED AREA:	4622.88 SF.
SLOPED ROOF (3:12 MIN. & 6:12 MAX):	100.90' + 22'-10" = 123.73'	UNCONDITIONED AREAS:	
<b>MAX. HT. ELEV. DETERMINATION:</b>		GROUND FLOOR (MECH/ELEC + STOR):	157.73 SF.
BASED ON TOP OF EXCAVATION FOR THE PAD AT 100.90' (10140' - 6') AT THE SOUTH CORNER OF THE LOWEST FLOOR LEVEL ESTABLISHED FROM TOPOGRAPHIC SURVEY.		UPPER FLOOR (ELEV. SHAFT):	3300 SF.
		GARAGE:	887.29 SF.
		TOTAL UNCONDITIONED FLOOR AREA:	10780.2 SF.
		EXTERIOR AREAS:	
		GROUND FLOOR:	0.00 SF.
		UPPER LEVEL OPEN DECK:	512.90 SF.
		TOTAL EXTERIOR AREA:	512.90 SF.
		TOTAL STRUCTURE:	
		GROUND FLOOR:	3017.15 SF.
		UPPER LEVEL (INCLUDING DECK):	3196.65 SF.
		TOTAL STRUCTURE AREA:	62138.0 SF.

CITY LOT COVERAGE (45% MAX. OF LOT AREA (8,393.37 X .45 = 3,777.02 MAX))  
 RESIDENCE FOOTPRINT AREA: 2,840.62 SF.  
 EXTERIOR AREAS: 512.90 SF.  
 TOTAL GROUND FLOOR AREA LOT COVERAGE: 3,353.52 SF.  
 3,353.52 SF. + 8,393.37 SF. = 39.95%

**DATMAN ARCHITECTS INC.**  
 411 214 Street, Newport Beach, CA 92660  
 P: (949) 512-1725, F: (949) 675-1748  
 datmanarchitects.com

**PROJECT TEAM:**  
 PROJECT CONTACTS: HOMER DATMAN, TODD BALICKI  
 E-MAIL: hdatman@datmanarchitects.com, tbalicki@datmanarchitects.com  
 PRINCIPAL: HOMER DATMAN  
 PROJECT DIRECTOR: TODD BALICKI  
 PROJECT DESIGNER: HOMER DATMAN  
 PROJECT MANAGER: TODD BALICKI



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NO.	DATE	DESCRIPTION
	10/26/15	CDP SUBMITTAL #2

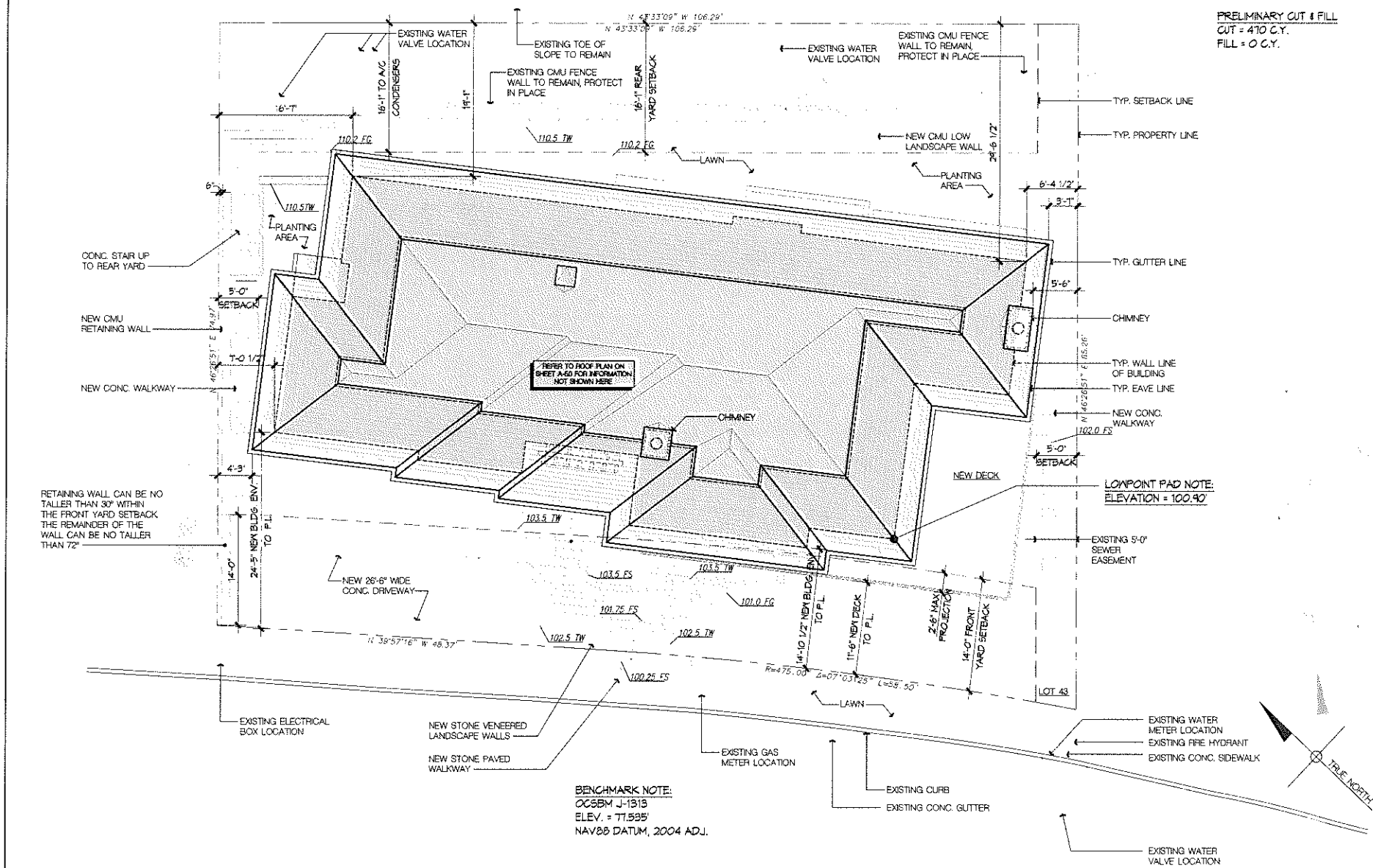
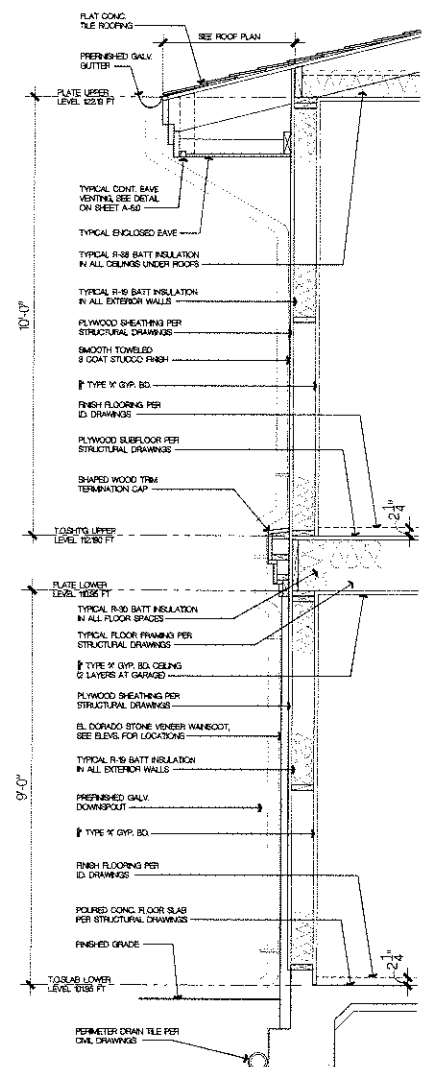
Owner: MR. & MRS. CLYDE STAUFF  
 LOT 43, 431 MONARCH BAY DRIVE  
 DANA POINT, CA  
 APN: 670-151-22

**PROJECT:**  
**STAUFF RESIDENCE**  
 431 MONARCH BAY DR.  
 DANA POINT, CA  
 APN: 670-151-22  
 PLAN CHECK NO. :

Project No: 2015-009  
 NOTE: THE ORIGINAL SIZE OF THE DRAWING SHEET IS 36" X 48"

SHEET TITLE:  
**ARCHITECTURAL SITE PLAN**

SHEET NO:  
**A-1.0**







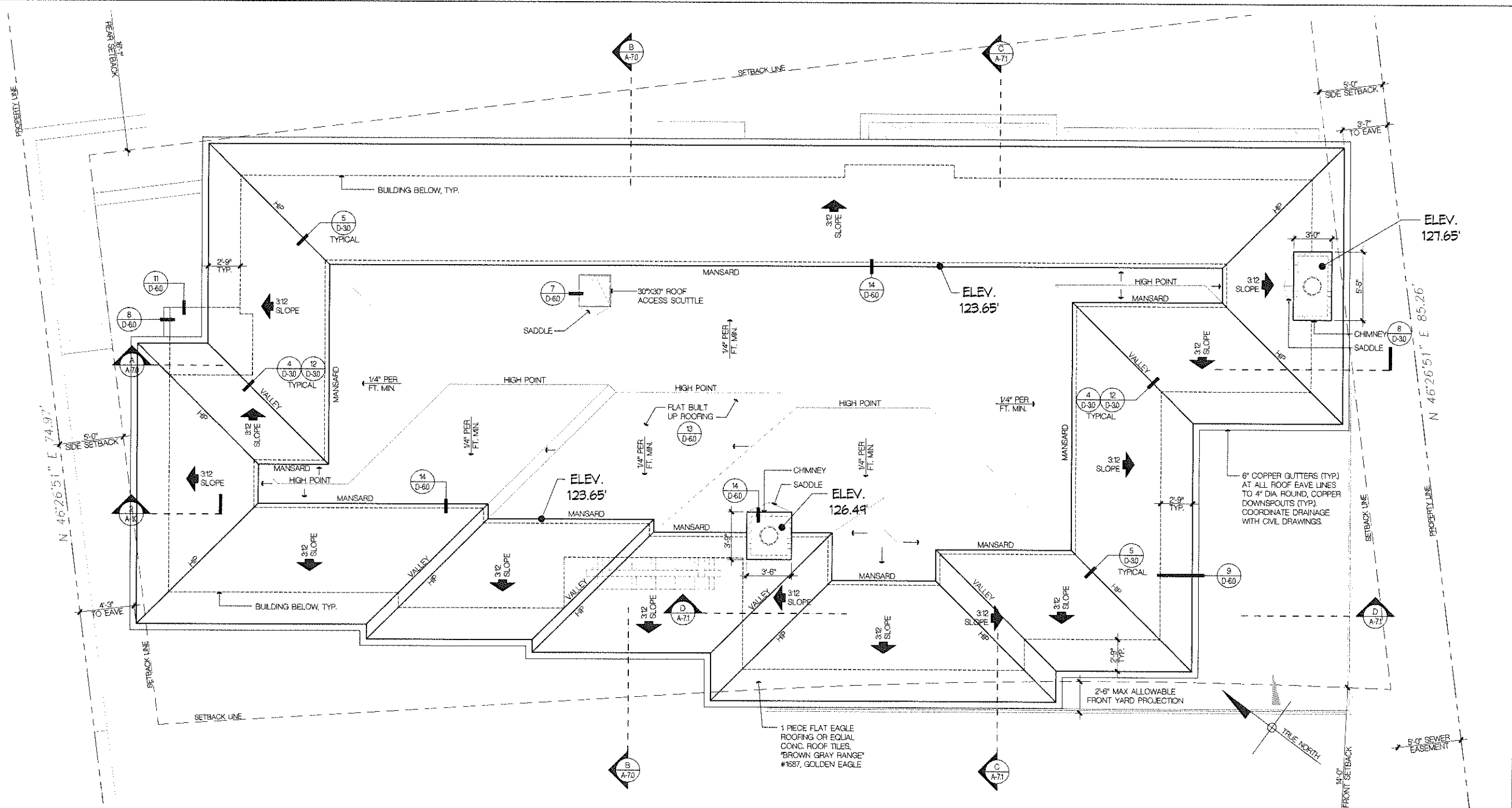
ROOF PLAN NOTES

- DO NOT SCALE DRAWINGS.
- REFER TO GENERAL NOTES FOR ADDITIONAL REQUIRED INFORMATION.
- ALL RIDGE ELEVATIONS ARE TO TOP OF ROOF TILE CAP/FINISH MATERIAL.
- ▲ INDICATES ROOF PITCH AS NOTED ON THE ROOF PLAN.
- ALL CHIMNEYS ARE TO BE EQUIPPED WITH AN UL APPROVED SPARK ARRESTORS OR WIRE MESH SCREENING NOT EXCEEDING 1/4" IN ANY DIRECTION AND PAINTED BLACK TO MINIMIZE VISIBILITY.
- PROVIDE PAINTED SHEET METAL SADDLE AT ALL CHIMNEYS AS REQUIRED. REFER TO DETAILS.
- ALL FLASHING, SHEET METAL, VENT STACKS AND PIPES SHALL BE PAINTED TO MATCH ADJACENT BUILDING SURFACE/ ROOFING MATERIAL.
- PROVIDE PAINTED SHEET METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONDITIONS. REFER TO DETAILS.
- ALL PLUMBING AND EQUIPMENT VENTS MUST BE CONSOLIDATED AND LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE. (7) D-30
- IN "CALIFORNIA" DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION, PER 2103 C.R.C. SECTION R806.
- IF "CALIFORNIA" DOUBLE FRAME AREA EXCEEDS 30 SQUARE FEET AND HAS A 30" MIN. CLEAR HEADROOM, PROVIDE A 22"x30" MIN. ACCESS THROUGH MAIN ROOF SHEATHING, PER 2103 C.R.C. SECTION R807. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.

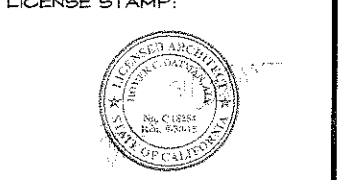
- AT ALL AREAS WITHIN THE ROOF ATTIC THAT EXCEED 30 SQUARE FEET AND WITH 30" MIN. CLEAR HEADROOM, PROVIDE A 22"x30" MIN. ATTIC ACCESS TO THOSE AREAS, PER 2103 C.R.C. SECTION R807. ATTICS WITH APPLIANCES OR FAU UNITS INSTALLED IN THEM, PROVIDE A 30"x30" MIN. ATTIC ACCESS (PROVIDED FAU MAY PASS THROUGH) WITH 30" MIN. CLEAR HEADROOM. PROVIDE WEATHER STRIPS AT PANEL TO PREVENT BACK DRAFT.
- INSTALL DRAFT STOPPING TO SUBGRADE ATTIC SPACES AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3000 SF, PER 2103 C.R.C. SECTION 717.43.
- PRIOR TO THE RELEASE OF THE ROOF SHEATHING INSPECTION, THE APPLICANT SHALL SUBMIT CERTIFICATION BY A SURVEY OR OTHER APPROPRIATE METHOD, THAT THE HEIGHT OF THE STRUCTURES IS IN COMPLIANCE WITH THE HEIGHT LIMITATIONS OF THE APPLICABLE ZONING DISTRICT.
- CLASS "A" ROOFING ASSEMBLY REQUIRED PER ICC ESR-1900.  
1 PIECE FLAT CONCRETE ROOF TILE TO MATCH EXISTING.  
NOTE: ROOF TILE WEIGHT APPROXIMATELY 100 LBS. PER SQUARE FOOT. REFER TO EXTERIOR ELEVATIONS AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- ROOF TILE NAILING SHALL BE PER THE MFG. SPECIFICATIONS AND PER 2013 C.R.C. TABLE R905.37 AND OVER 1 LAYER No. 72 ASTM CAP SHEET, AS MINIMUM REQUIREMENTS.
  - ROOF NAILING TO BE MINIMUM 11 GAL. CORROSION-RESISTANT NAILS LONG ENOUGH TO PENETRATE SHEATHING OR 3/4"
  - ALL RAKE TILES SHALL BE NAILED WITH 2 NAILS.
  - THE HEAD OF ALL TILES SHALL BE NAILED.
  - THE NOSES OF ALL RIDGE, HP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFERS MASTIC.

- THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS.
  - PROVIDE FASTENERS TO RESIST WIND LOADS OVER 85 MPH.
  - ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE C.R.C. SECTION R327 OR C.R.C. CHAPTER 7A AND CHAPTER 9. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS MANUFACTURERS INSTALLATION INSTRUCTIONS.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY, WRITTEN CERTIFICATION BY A CALIFORNIA REGISTERED ENGINEER THAT THE ROOF SLOPE IS IN CONFORMANCE WITH THE APPROVED PLANS SHALL BE SUBMITTED TO THE CITY BUILDING INSPECTOR.
  - ALL ROOF EAVE GUTTERS SHALL BE 6" HALF-ROUND, NON-EXTRUDED, CONTINUOUS, PAINTED SHEET METAL WITH NO SEAMS. ALL DOWNSPOUTS (DS) SHALL BE PAINTED SHEET METAL, 4" DIA. ROUND WITH WELDED SEAMS. REFER TO ROOF PLAN AND EXTERIOR ELEVATIONS FOR LOCATIONS.
  - COORDINATE CONNECTION OF CONTINUOUS ROOF EAVE GUTTERS AND DOWNSPOUTS TO ALLOW WATER TO FLOW AWAY FROM THE HOUSE. DOWNSPOUTS SHOULD BE CONNECTED TO CLOSED PIPES THAT DISCHARGE INTO SITE STORM DRAIN SYSTEM OR ON TO PAVED SURFACES THAT CARRY THE WATER AWAY AT LEAST 5'-0" FROM THE BUILDINGS FOUNDATION. REFER TO CIVIL DRAWINGS FOR SITE DRAINAGE.
  - ANY FORCED AIR UNITS LOCATED IN THE ATTIC MUST BE POSITIONED IN SUCH A MANNER THAT THE REQUIRED DISTANCE FROM THE VENT OUTLET TO THE TOP OF THE FLUE CAP IS WITHIN THE ATTIC, ALLOWING THE EXTERIOR HEIGHT OF THE FLUE CAP ABOVE THE FINISHED ROOFING TO BE THE MINIMUM ALLOWED BY CODE.
  - VENTING SHALL EXTEND ABOVE THE ROOF AND SHALL TERMINATE IN A VENT CAP. TERMINATION POINTS SHALL BE AT LEAST 4 FEET BELOW OR HORIZONTALLY FROM AND 1 FOOT ABOVE ANY OPENING INTO THE BUILDING, BE AT LEAST 3 FEET ABOVE ANY FORCED AIR INLET INTO THE BUILDING LOCATED WITHIN 10 FEET, AND SHALL BE 4 FEET AWAY FROM THE PROPERTY LINE, PER 2103 C.M.C. SECTIONS 802.62 AND 802.62.6.

- SOLAR REFLECTANCE AND THERMAL EMISSITANCE FOR NEW CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE COOL ROOF STANDARDS. FOR STEEP SLOPED ROOFS (RISE TO RUN GREATER THAN 2:12) THE FOLLOWING SHALL BE CONSIDERED EQUIVALENT TO (AN ALTERNATIVE) THE COOL ROOF REQUIREMENTS (SEE COOL ROOF VALUES):
  - INSULATION WITH A THERMAL RESISTANCE OF AT LEAST 86 HR-SF-F7/8TU OR AT LEAST A 3/4 INCH AIR SPACE IS ADDED TO THE ROOF DECK OVER AN ATTIC OR
  - EXISTING DUCTS IN THE ATTIC ARE INSULATED AND SEALED ACCORDING TO SECTION 15117.2 OR
  - BUILDINGS WITH AT LEAST R-30 CEILING INSULATION; OR
  - BUILDINGS WITH A RADIANT BARRIER IN THE ATTIC MEETING THE REQUIREMENTS OF SECTION 15117.2; OR
  - BUILDINGS THAT HAVE NO DUCTS IN THE ATTIC



**PROJECT TEAM:**  
 PROJECT CONTACTS: HOMER OATMAN, TODD BALICKI  
 E-MAIL: hoatmane@oatmanarchitects.com, tbalicki@oatmanarchitects.com  
 PRINCIPAL: HOMER OATMAN  
 PROJECT DIRECTOR: TODD BALICKI  
 PROJECT DESIGNER: HOMER OATMAN  
 PROJECT MANAGER: TODD BALICKI



This is an electronic stamp and signature

NO.	DATE	DESCRIPTION
	10/26/15	CDP SUBMITTAL #2

Owner: MR. & MRS. CLYDE STAUFF  
 LOT 49, 491 MONARCH BAY DRIVE  
 DANA POINT, CA  
 APN: 670-151-22

PROJECT:  
**STAUFF RESIDENCE**  
 491 MONARCH BAY DR.  
 DANA POINT, CA  
 APN: 670-151-22  
 PLAN CHECK NO. :

Project No: 2013-009  
IF THE OWNER AND ITS GENERAL CONTRACTOR RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO VERIFY THE ACCURACY OF ANY PROVIDED INFORMATION OR INFORMATION BY THE PLANS AND OR GENERAL NOTES OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. WRITTEN NOTIFICATIONS ADDRESSING SUCH DISCREPANCIES SHOULD BE SUBMITTED TO THE PROJECT PRIOR TO THE OWNER OR OWNER CONTRACTOR PROCEEDING WITH THE WORK. THE OWNER SHALL BE RESPONSIBLE FOR ANY ERRORS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.  
 NOTE: THE ORIGINAL SIZE OF THE DRAWING SHEET IS 24"X36"

SHEET TITLE:  
**ROOF PLAN**  
 SHEET NO:  
**A-5.0**



**EXTERIOR ELEVATION NOTES**

- DO NOT SCALE DRAWINGS
- REFER TO GENERAL NOTES FOR ADDITIONAL REQUIRED INFORMATION
- ALL RIDGE ELEVATIONS ARE TO TOP OF FINISH MATERIAL
- PROVIDE MOCK-UP OF ROOFING, EXTERIOR PLASTER FINISH COLOR AND TEXTURE, GUTTER AND DOWN SPOUT PAINT COLOR, AND EXTERIOR WINDOW AND DOOR FRAME FINISH FOR ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET AND BEACH-FRONT AND TO BE A MINIMUM OF 4" HIGH X 1" WIDE NONCOMBUSTIBLE, CONTRASTING MATERIALS OR PER LOCAL CITY AND FIRE DEPARTMENT REQUIREMENTS
- REFER TO LANDSCAPE DRAWINGS FOR THE HARDSCAPE PAVING MATERIAL PLAN, SOFTSCAPE PLANTING PLAN, IRRIGATION PLAN, GARDEN WALLS, EXTERIOR GUARDRAILS AND HANDRAILS, FENCES, GATES, SWIMMING POOL AND SPA PLAN

**HOA MATERIALS AND COLOR LEGEND**

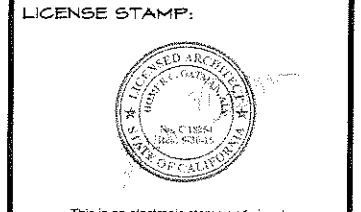
No.	Item	Material	Manufacturer	Color Name	Color Number	Comments
1	Roof	Flat Conc. Tile	Omega	Brown/Gray Range	1687 Blend	Keynote "A" on exterior elevations.
2	Walls - Field	Smooth Stucco	Omega	Kid Glove	CL 2721 W	Keynote "D" on exterior elevations.
3	Walls - Accent	Stone Veneer	El Dorado	Rustic Ledge	Phetop Blend	Keynote "K" on exterior elevations.
4	Fascia Trim	Wood	Wood	Coconut Kernel	CL 2611 W	Keynote "Q" on exterior elevations.
5	Wood Trim	Wood	Wood	Dark Bronze	Dark Bronze	Keynote "R" on exterior elevations.
6	Windows	Alum. Clad	Eagle	Dark Bronze	Dark Bronze	Keynote "B" on exterior elevations.
7	Garage Door	Wood	GDI or Equal	Medium Stain	Medium Stain	Keynote "E" on exterior elevations.
8	Entry Door	Wood	Custom	Medium Stain	Medium Stain	Keynote "C" on exterior elevations.
9	Exterior Doors	Alum. Clad	Eagle	Dark Bronze	Dark Bronze	Keynote "F" on exterior elevations.
10	Gutters	Galv. Metal	--	Dark Bronze	Dark Bronze	Keynote "G" on exterior elevations.
11	Gates	Wood	Custom	Medium Stain	Medium Stain	Keynote "I" on exterior elevations.
12	Driveway	Concrete	--	Natural	Natural	See Hardscaping Plan.
13	Hardscape	Limestone	--	Natural	Natural	See Hardscaping Plan.

**EXTERIOR ELEVATION KEYNOTES**

- A** ROOFING MATERIAL: 1 PIECE FLAT EAGLE ROOFING OR EQUAL CONC. ROOF TILES.
- B** WINDOWS MANUFACTURE T.B.D. BY ARCHITECT FINISH ALUMINUM CLAD SASH COLOR FACTORY DARK BRONZE
- C** MAIN ENTRY DOOR MANUFACTURE: WOOD FINISH: MEDIUM STAIN NOTE: FINAL DESIGN, SIZE, AND SHAPE MAY VARY FROM PROPOSED DESIGN.
- D** EXTERIOR PLASTER MANUFACTURE: OMEGA FINISH: SMOOTH STEEL TROWEL COLOR: FRAZEE CL2721W "KID GLOVE" NOTE: EXTERIOR LATH AND PLASTER SHALL CONFORM TO C.R.C. SECTIONS 7036 THRU 7036.5. PROVIDE FIBERGLASS ANTI-CRACKING MESH WITH DRYBOND CEMENTIOUS BINDER COAT AND TOP COAT OF POLYBOND CEMENT ACRYLIC COATING.
- E** GARAGE DOORS/GATE MATERIAL: WOOD FINISH: MEDIUM STAIN BASIS OF DESIGN: GDI CUSTOM GARAGE DOORS #SD-34
- F** DOORS MANUFACTURE T.B.D. BY ARCHITECT FINISH ALUMINUM CLAD COLOR FACTORY DARK BRONZE
- G** GUTTERS AND DOWNSPOUTS MATERIAL: GALV. METAL FINISH: PAINTED - DARK BRONZE TO MATCH WINDOW/DOOR 6" CONTINUOUS. FRAME GUTTER SIZE: HALF-ROUND, NON-EXTRUDED DOWNSPOUTS SIZE: 4" ROUND W/ SHEEPING CURVES NOTE: ALL GUTTERS TO HAVE GUTTER GUARDS PER 2013 C.R.C. R327.5.4
- H** MAIN DECK RAILING MATERIAL: STRUCTURAL GLASS WITH ROUND STAINLESS STEEL CAP CLEAR GLASS FINISH: NOTE FINAL DESIGN, SIZE, AND SHAPE T.B.D.
- J** EXTERIOR LIGHT FIXTURES MATERIAL: FACTORY PAINTED BLACK METAL STYLE: WALL BRACKET AND LANTERN
- K** ADHERED STONE VENEER THICKNESS: 1 1/2" MAXIMUM WEIGHT: 15 LBS. / SF. MAX. MATERIAL: MANUFACTURED STONE COLOR: PINE TOP PATTERN: RUSTIC LEDGE MANUF.: EL DORADO STONE
- L** REAR/SIDEYARD STAIR RAILING MATERIAL: STAINLESS STEEL CABLE RAIL WITH ROUND STAINLESS STEEL CAP FINISH: FACTORY CLEAR NOTE: FINAL DESIGN, SIZE, AND SHAPE T.B.D.
- M** SHAPED BEAM/WAFTER TAIL MATERIAL: WOOD FINISH: MEDIUM STAIN WITH LIGHT DISTRESSED FINISH
- N** STONE VENEER HEADER THICKNESS: 1 1/2" MAXIMUM WEIGHT: 15 LBS. / SF. MAX. MATERIAL: MANUFACTURED STONE COLOR: TAUPE MANUF.: EL DORADO STONE
- O** PAINTED FASCIA TRIM COLOR: CL2611W "COCONUT KERNEL" MANUF.: FRAZEE COLORLIFE
- P** PAINTED WINDOW TRIM COLOR: DARK BRONZE TO MATCH WINDOWS MANUF.: PER WINDOW MANUFACTURER

**OATMAN ARCHITECTS INC.**  
 412 21st Street Newport Beach, CA 92663  
 P: (949) 675-1755 F: (949) 675-1750  
 oatmanarchitects.com

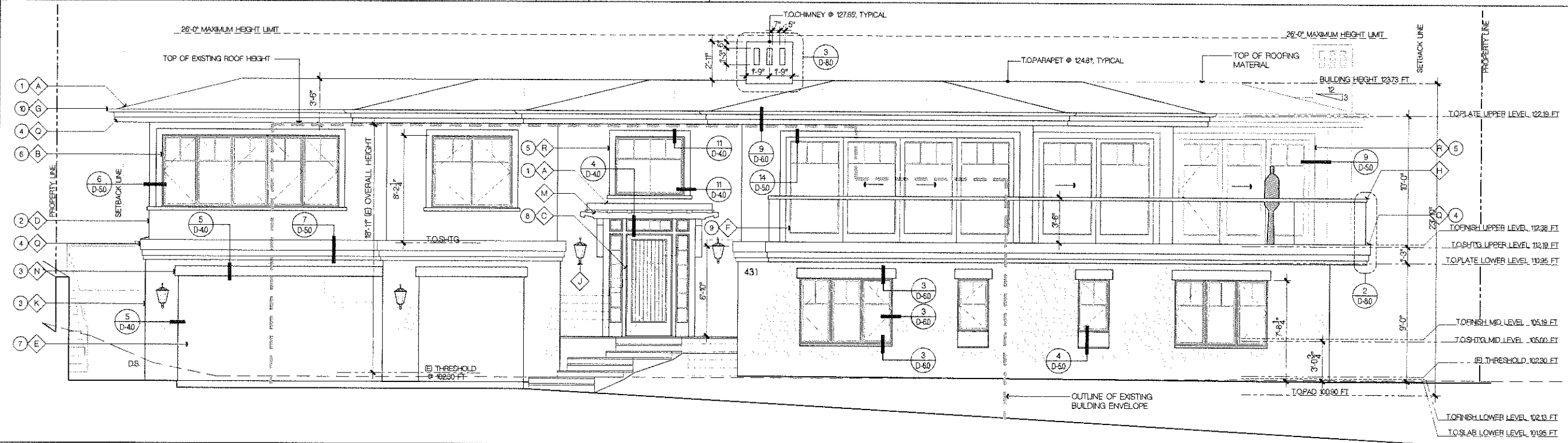
**PROJECT TEAM:**  
 PROJECT CONTACTS: HOMER OATMAN, TODD BALICKI  
 E-MAIL: noatman@oatmanarchitects.com, tbalicki@oatmanarchitects.com  
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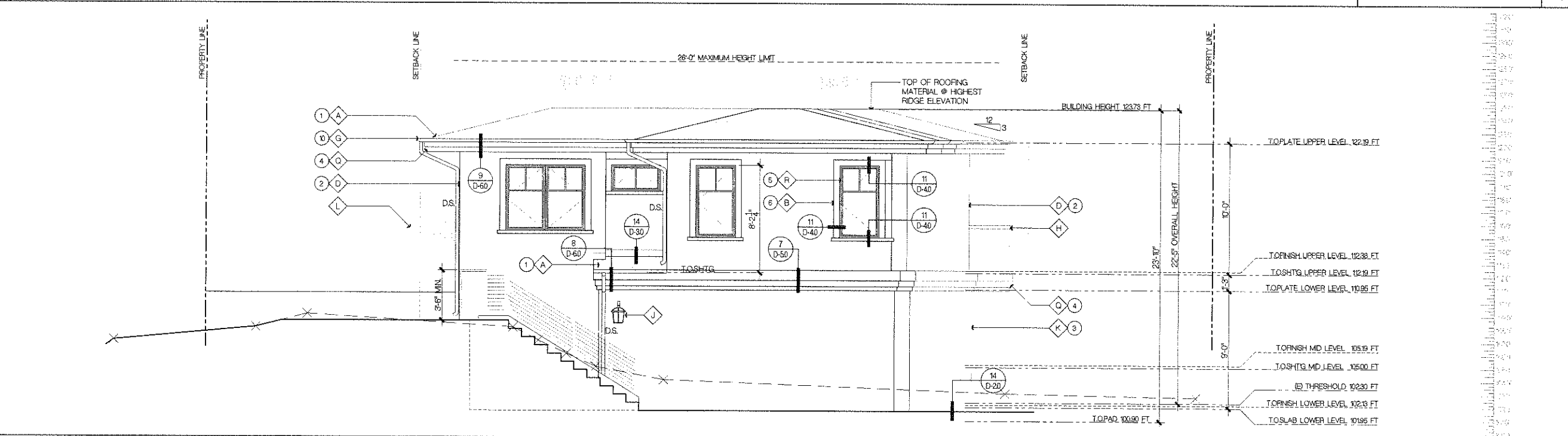
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NO.	DATE	DESCRIPTION
	10/26/15	CDP SUBMITTAL #2

Owner: MR. & MRS. CLYDE STAUFF  
 LOT 49, 431 MONARCH BAY DRIVE  
 DANA POINT, CA  
 APN: 670-151-22



**FRONT (SOUTH) EXTERIOR ELEVATION** SCALE: 1/4" = 1'-0" 1



**LEFT (WEST) EXTERIOR ELEVATION** SCALE: 1/4" = 1'-0" 2

**PROJECT:**  
**STAUFF RESIDENCE**  
 431 MONARCH BAY DR.  
 DANA POINT, CA  
 APN: 670-151-22  
 PLAN CHECK NO. :

Project No: 2013-009

IT IS THE OWNER'S AND ITS GENERAL CONTRACTORS RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO VERIFY THE ACCURACY OF THE INFORMATION AND ANY PROVIDED DRAWING OR OTHERWISE IN THE PLANS AND ON GENERAL NOTES OF WHICH A CONTRACTOR THOROUGHLY SHOULD BE AWARE. WRITTEN NOTIFICATIONS ADDRESSING SUCH INFORMATION SHOULD BE SUBMITTED TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. THE OWNER OR OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK. THE OWNER WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

SHEET NO:  
**A-6.0**



**EXTERIOR ELEVATION NOTES**

- DO NOT SCALE DRAWINGS.
- REFER TO GENERAL NOTES FOR ADDITIONAL REQUIRED INFORMATION.
- ALL RIDGE ELEVATIONS ARE TO TOP OF FINISH MATERIAL.
- PROVIDE MOCK-UP OF ROOFING, EXTERIOR PLASTER FINISH COLOR AND TEXTURE, GUTTER AND DOWN SPOUT PAINT COLOR, AND EXTERIOR WINDOW AND DOOR FRAME FINISH FOR ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET AND BEACHFRONT AND TO BE A MINIMUM OF 4" HIGH X 1" WIDE NONCOMBUSTIBLE CONTRASTING MATERIALS OR PER LOCAL CITY AND FIRE DEPARTMENT REQUIREMENTS.
- REFER TO LANDSCAPE DRAWINGS FOR THE HARDSCAPE PAVING MATERIAL PLAN, SOFTSCAPE PLANTING PLAN, IRRIGATION PLAN, GARDEN WALLS, EXTERIOR GUARDRAILS AND HANDRAILS, FENCES(S), GATES, SWIMMING POOL AND SPA PLAN.

**HOA MATERIALS AND COLOR LEGEND**

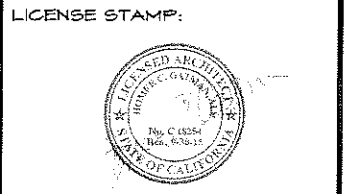
No.	Item	Material	Manufacturer	Color Name	Color Number	Comments
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4	Fascia Trim	Wood	Wood	Coconut Kamel	CL 2611 W	Keynote "Q" on exterior elevations.
5	Wood Trim	Wood	Wood	Dark Bronze	Dark Bronze	Keynote "R" on exterior elevations.
6	Windows	Alum. Clad	Eagle	Dark Bronze	Dark Bronze	Keynote "B" on exterior elevations.
7	Garage Door	Wood	GDI or Equal	Medium Stain	Medium Stain	Keynote "E" on exterior elevations.
8	Entry Door	Wood	Custom	Medium Stain	Medium Stain	Keynote "C" on exterior elevations.
9	Exterior Doors	Alum. Clad	Eagle	Dark Bronze	Dark Bronze	Keynote "F" on exterior elevations.
10	Gutters	Galv. Metal	--	Dark Bronze	Dark Bronze	Keynote "G" on exterior elevations.
11	Gates	Wood	Custom	Medium Stain	Medium Stain	Keynote "V" on exterior elevations.
12	Driveway	Concrete	--	Natural	Natural	See Hardscaping Plan.
13	Hardscape	Limestone	--	Natural	Natural	See Hardscaping Plan.

**EXTERIOR ELEVATION KEYNOTES**

- A** ROOFING MATERIAL: 1 PIECE FLAT EAGLE ROOFING OR EQUAL CONC. ROOF TILES 'BROWN GRAY RANGE' #1687, GOLDEN EAGLE CLASS "A" ASSEMBLY - ICC-ESR 1900
- B** WINDOWS MANUFACTURE T.B.D BY ARCHITECT FINISH ALUMINUM CLAD SASH COLOR: FACTORY DARK BRONZE
- C** MAIN ENTRY DOOR MATERIAL: WOOD FINISH: MEDIUM STAIN NOTE: FINAL DESIGN, SIZE, AND SHAPE MAY VARY FROM PROPOSED DESIGN.
- D** EXTERIOR PLASTER MANUFACTURE: OMEGA FINISH: SMOOTH STEEL TROWEL COLOR: FRAZEE CL2721W 'KID GLOVE' NOTE: EXTERIOR LATH AND PLASTER SHALL CONFORM TO CRC SECTIONS 7036 THRU 7036.5 PROVIDE FIBERGLASS ANTI-CRACKING MESH WITH DRYBOND CEMENTIOUS BINDER COAT AND TOP COAT OF POLYBOND CEMENT ACRYLIC COATING.
- E** GARAGE DOORS/GATE MATERIAL: WOOD FINISH: MEDIUM STAIN BASIS OF DESIGN: GDI CUSTOM GARAGE DOORS #SD-34
- F** DOORS MANUFACTURE T.B.D BY ARCHITECT FINISH: ALUMINUM CLAD COLOR: FACTORY DARK BRONZE
- G** GUTTERS AND DOWNSPOUTS MATERIAL: GALV. METAL FINISH: PAINTED - DARK BRONZE TO MATCH WINDOW/DOOR 6" CONTINUOUS, FRAME GUTTER SIZE: HALF-ROUND NON-EXTRUDED DOWNSPOUTS SIZE: 4" ROUND W/ SWEEPING CURVES NOTE: ALL GUTTERS TO HAVE GUTTER GUARDS PER 2018 C.R.C. R327.54
- H** MAIN DECK RAILING MATERIAL: STRUCTURAL GLASS WITH ROUND STAINLESS STEEL CAP CLEAR GLASS FINISH: NOTE: FINAL DESIGN, SIZE, AND SHAPE T.B.D.
- I** EXTERIOR LIGHT FIXTURES MATERIAL: FACTORY PAINTED BLACK METAL STYLE: WALL BRACKET AND LANTERN
- J** ADHERED STONE VENEER THICKNESS: 1 1/2" MAXIMUM WEIGHT: 15 LBS. / SF. MAX. MATERIAL: MANUFACTURED STONE COLOR: PINETOP PATTERN: RUSTIC LEDGE MANUF.: EL DORADO STONE
- K** BEAR/SIDEYARD STAIR RAILING MATERIAL: STAINLESS STEEL CABLE RAIL WITH ROUND STAINLESS STEEL CAP FINISH: FACTORY CLEAR NOTE: FINAL DESIGN, SIZE, AND SHAPE T.B.D.
- L** SHAPED BEAM/BATFER TAIL MATERIAL: WOOD FINISH: MEDIUM STAIN WITH LIGHT DISTRESSED FINISH
- M** STONE VENEER HEADER THICKNESS: 1 1/2" MAXIMUM WEIGHT: 15 LBS. / SF. MAX. MATERIAL: MANUFACTURED STONE COLOR: TALPE MANUF.: EL DORADO STONE
- N** PAINTED FASCIA TRIM COLOR: CL2611W 'COCONUT KERNEL' MANUF.: FRAZEE COLORLIFE
- O** PAINTED WINDOW TRIM COLOR: DARK BRONZE TO MATCH WINDOWS MANUF.: PER WINDOW MANUFACTURER

**DATMAN ARCHITECTS INC.**  
SPECIALTY ARCHITECTURE & PLANNING  
412 91st Street Newport Beach, CA 92663  
P (949) 675-1755 F (949) 675-1758  
datmanarchitects.com

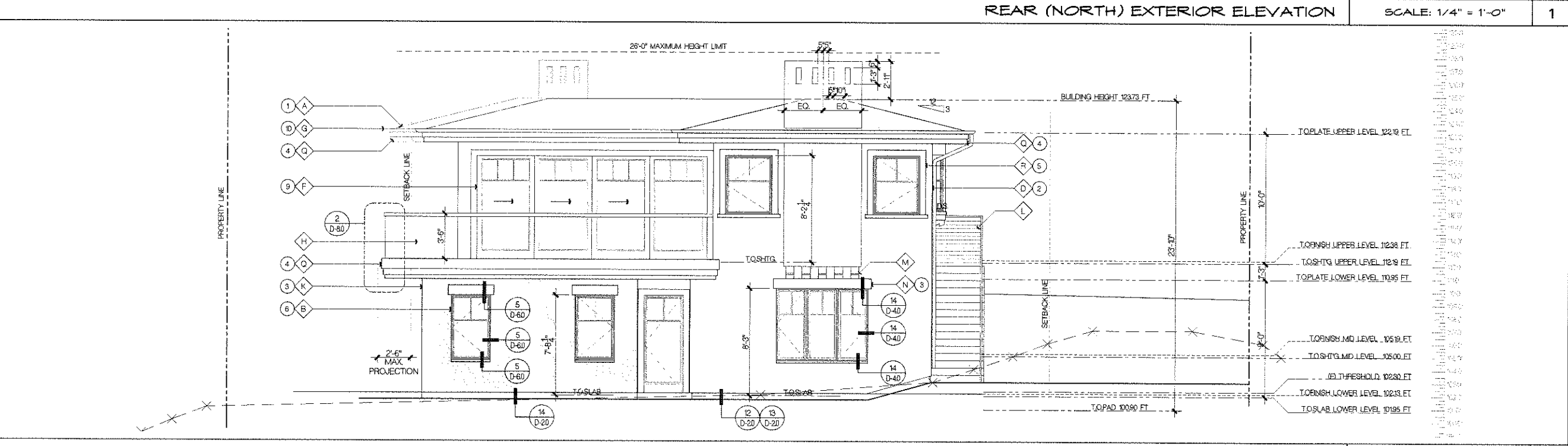
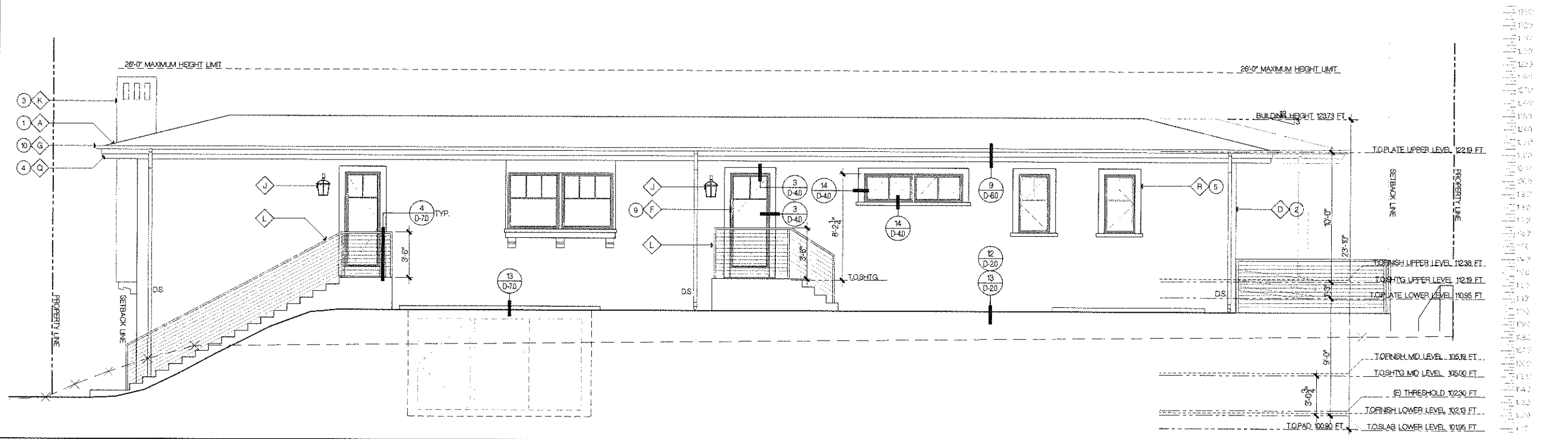
**PROJECT TEAM:**  
 PROJECT CONTACTS: HOMER DATMAN, TODD BALICKI  
 E-MAIL: hdatman@datmanarchitects.com, tbalicki@datmanarchitects.com  
 PRINCIPAL: HOMER DATMAN  
 PROJECT DIRECTOR: TODD BALICKI  
 PROJECT DESIGNER: HOMER DATMAN  
 PROJECT MANAGER: TODD BALICKI



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NO.	DATE	DESCRIPTION
10/26/15	10/26/15	CDP SUBMITTAL #2

Owner: MR. & MRS. CLYDE STAUFF  
 LOT 48, 431 MONARCH BAY DRIVE  
 DANA POINT, CA  
 APN: 670-151-22



**PROJECT:**

**STAUFF RESIDENCE**  
 431 MONARCH BAY DR.  
 DANA POINT, CA  
 APN: 670-151-22

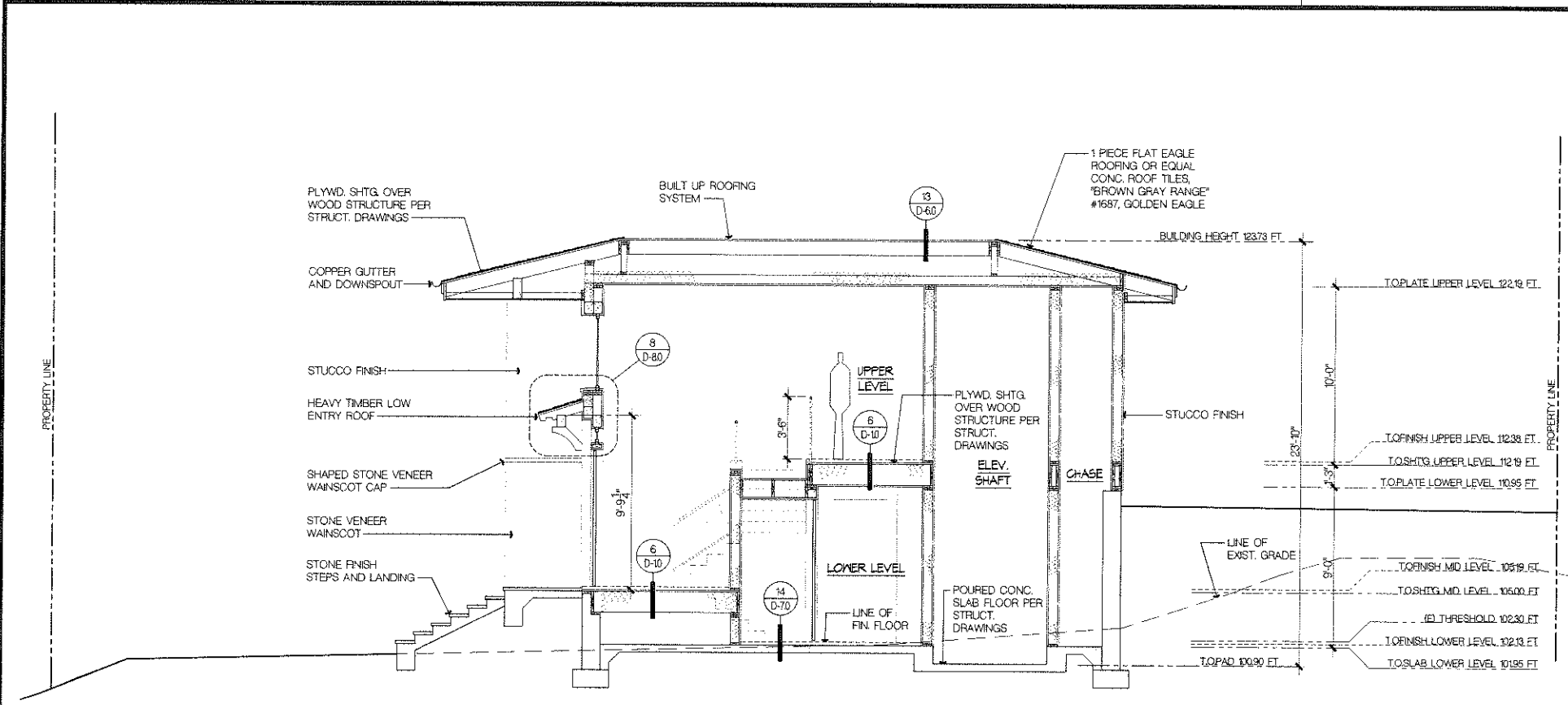
PLAN CHECK NO. :

Project No: 2013-009

NOTE: THE ORIGINAL SIZE OF THE DRAWING SHEET IS 30"X42"

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

SHEET NO:  
**A-6.1**

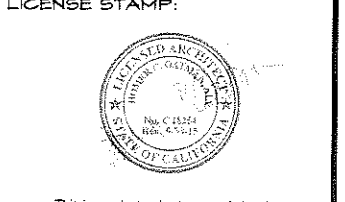


**BUILDING SECTION NOTES**

- DO NOT SCALE DRAWINGS.
- REFER TO GENERAL NOTES FOR ADDITIONAL REQUIRED INFORMATION.
- FREBLOCKING AND DRAFTSTOPPING SHALL BE PROVIDED THROUGHOUT THE STRUCTURE PER C.R.C. SECTIONS R302.11 AND R302.12.
- TITLE-24 BUILDING ENERGY EFFICIENCY STANDARDS:**  
**INSULATION**  
 - ROOF/CEILINGS (R-38)  
 - EXTERIOR WALLS (R-19)  
 - INTERIOR WALLS, BATHROOM AND LAUNDRY ROOM WALLS (R-13)  
 \*USE ABOVE NOTED VALUES IN LIEU OF TITLE-24 MINIMUMS.  
 AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS DESCRIBED IN SECTION 10-103(A)(2) AND FOR WHICH THE BUILDING PERMIT WAS ISSUED AND CONFORMS WITH THE REQUIREMENTS OF PART 5. THE CERTIFICATE SHALL STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED "R" VALUE AND (IN APPLICATION OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED DESIGN DENSITY FOR THE DESIRED "R" VALUE.  
 5. EXPOSED ATTIC FLOOR INSULATION SHALL HAVE A CRITICAL RADIANT FLUX OF NOT LESS THAN 0.02 WATT PER SQUARE CENTIMETER PER ASTM E 970.  
 6. PROVIDE A MINIMUM 1" AIRSPACE REQUIRED BETWEEN INSULATION AND ROOF SHEATHING PER C.R.C. SECTION R806.3.  
 7. REFER TO MEP DRAWINGS FOR THE TITLE-24 ENERGY CALCULATION FORMS AND MANDATORY REQUIREMENTS (CF-1R AND MF-1R) FOR ENERGY COMPLIANCE.  
 8. BUILDING SECTIONS ARE FOR ARCHITECTURAL DESIGN INTENT ONLY AND TO ILLUSTRATE THE RELATIONSHIPS OF FLOOR TO FLOOR LEVELS, FLOOR HEIGHTS AND ROOM VOLUMES. REFER TO STRUCTURAL DRAWINGS FOR:  
 A. FOUNDATION AND FOOTING DETAILS.  
 B. FLOOR, WALL, AND ROOF WOOD FRAMING MEMBER SIZES AND DETAILS.  
 C. STRUCTURAL STEEL MEMBER SIZES AND DETAILS.  
 D. DIRECTION OF WOOD FRAMING AND STEEL MEMBERS.  
 E. SHEAR WALL AND HOLD-DOWN LOCATION, SIZES AND DETAILS.



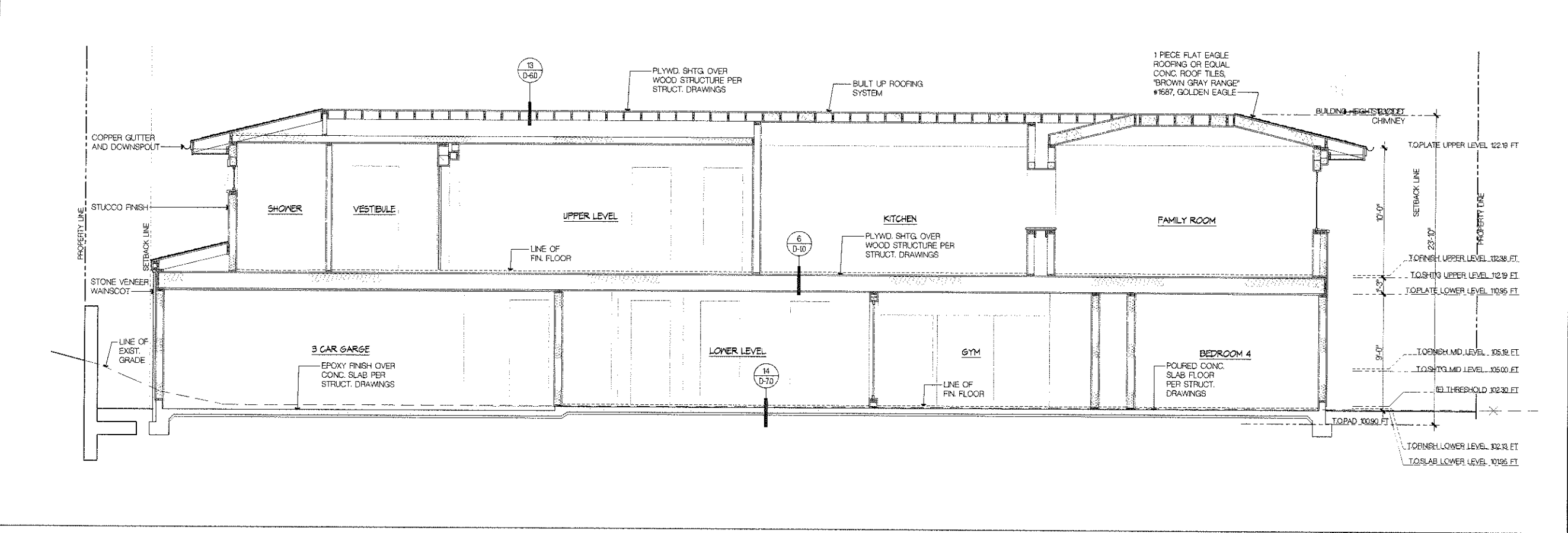
**PROJECT TEAM:**  
**PROJECT CONTACTS:** HOMER GATMAN, TODD BALICKI  
**E-MAIL:** hostmans@datmanarchitects.com, tbalicki@datmanarchitects.com  
**PRINCIPAL:** HOMER GATMAN  
**PROJECT DIRECTOR:** TODD BALICKI  
**PROJECT DESIGNER:** HOMER GATMAN  
**PROJECT MANAGER:** TODD BALICKI



This is an electronic stamp and signature

NO.	DATE	DESCRIPTION
	10/26/15	CDP SUBMITTAL #2

BUILDING SECTION SCALE: 1/4" = 1'-0" B



**Owner:**  
 MR. & MRS. CLYDE STAUFF  
 LOT 49, 491 MONARCH BAY DRIVE  
 DANA POINT, CA  
 APN: 670-151-22

**PROJECT:**  
**STAUFF RESIDENCE**  
 491 MONARCH BAY DR.  
 DANA POINT, CA  
 APN: 670-151-22  
 PLAN CHECK NO. :

Project No: 2013-009  
 IT IS THE OWNER'S AND ITS GENERAL CONTRACTOR'S RESPONSIBILITY, PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE ARCHITECT IN WRITING OF ANY REQUIRED PERMITS OR CHANGES IN THE PLANS AND/OR GENERAL NOTES OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND THE REQUIREMENTS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. WITHOUT ATTRIBUTING NEGLIGENCE TO ANY PARTY, THE ARCHITECT'S LIABILITY SHALL BE LIMITED TO THE NOTICE PROVIDED TO THE OWNER OR OWNER'S CONTRACTOR PRIOR TO THE WORK. THE OWNER WILL BE RESPONSIBLE FOR ANY DEFERRED OR OMISSIONS IN THE WORK. THE ARCHITECT'S LIABILITY SHALL NOT BE LIMITED FOR ANY DEFERRED OR OMISSIONS IN THE WORK.

**SHEET TITLE:**  
 BUILDING SECTIONS  
**SHEET NO.:**  
 A-7.0

BUILDING SECTION SCALE: 1/4" = 1'-0" A

**BUILDING SECTION NOTES**

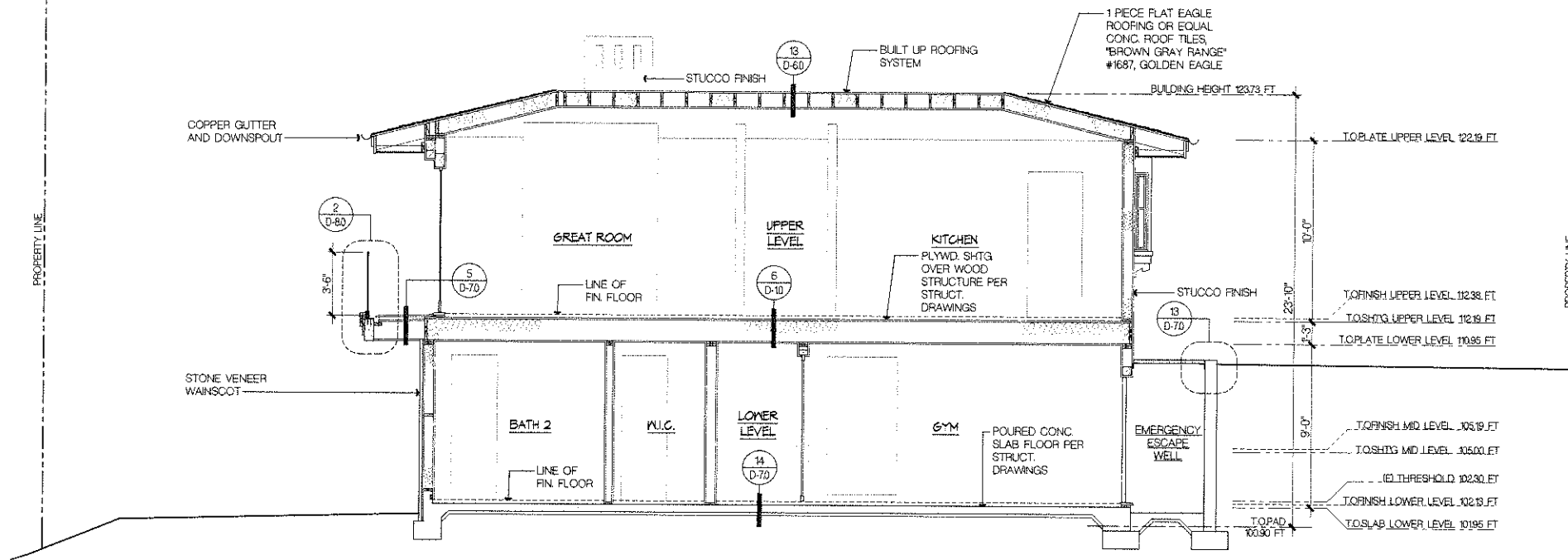
- DO NOT SCALE DRAWINGS.
- REFER TO GENERAL NOTES FOR ADDITIONAL REQUIRED INFORMATION.
- FREELOCKING AND DRAFTSTOPPING SHALL BE PROVIDED THROUGHOUT THE STRUCTURE PER C.R.C. SECTIONS R302.11 AND R302.12.
- TITLE-24 BUILDING ENERGY EFFICIENCY STANDARDS:

**INSULATION**

- ROOF/ CEILINGS (R-38)
  - EXTERIOR WALLS (R-19)
  - INTERIOR WALLS, BATHROOM AND LAUNDRY ROOM WALLS (R-13)
- \*\*USE ABOVE NOTED VALUES IN LIEU OF TITLE-24 MINIMUMS.

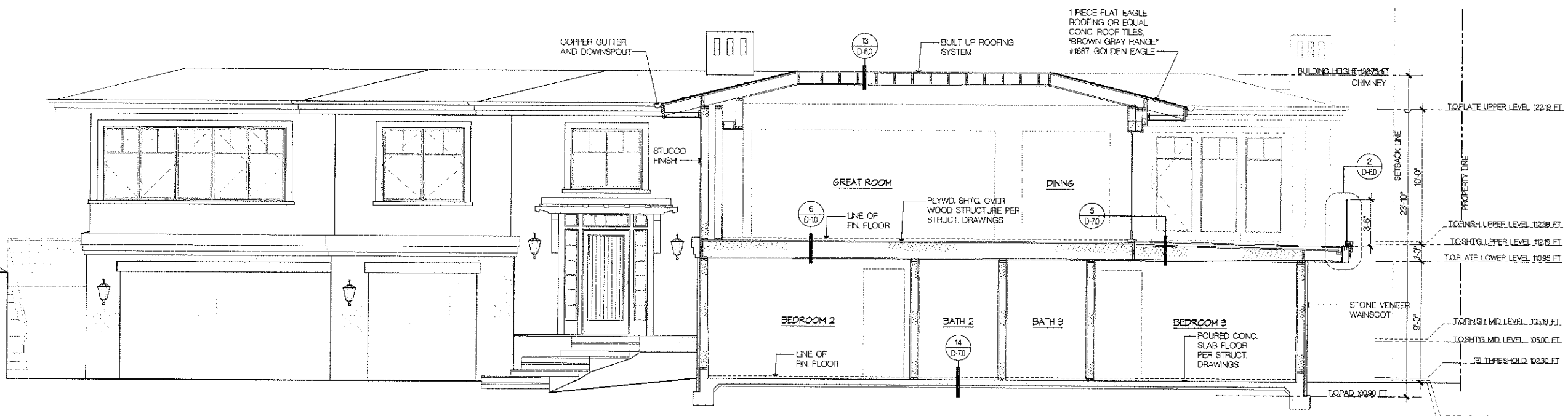
AFTER INSTALLING WALL, CEILING OR FLOOR INSULATION THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS DESCRIBED IN SECTION 10-133(A)(2) AND FOR WHICH THE BUILDING PERMIT WAS ISSUED AND CONFORMS WITH THE REQUIREMENTS OF PART 5. THE CERTIFICATE SHALL STATE THE MANUFACTURERS NAME AND MATERIAL IDENTIFICATION, THE INSTALLED "R" VALUE AND (IN APPLICATION OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURERS LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED "R" VALUE.

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- REFER TO MEP DRAWINGS FOR THE TITLE-24 ENERGY CALCULATION FORMS AND MANDATORY REQUIREMENTS (CF-IR AND MF-IR) FOR ENERGY COMPLIANCE.
- BUILDING SECTIONS ARE FOR ARCHITECTURAL DESIGN INTENT ONLY AND TO ILLUSTRATE THE RELATIONSHIPS OF FLOOR TO FLOOR LEVELS, PLATE HEIGHTS AND ROOM VOLUMES. REFER TO STRUCTURAL DRAWINGS FOR:
  - A. FOUNDATION AND FOOTING DETAILS.
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  - C. STRUCTURAL STEEL MEMBER SIZES AND DETAILS.
  - D. DIRECTION OF WOOD FRAMING AND STEEL MEMBERS.
  - E. SHEAR WALL AND HOLD-DOWN LOCATION, SIZES AND DETAILS.



PROPERTY LINE

**BUILDING SECTION** SCALE: 1/4" = 1'-0" **C**



**BUILDING SECTION** SCALE: 1/4" = 1'-0" **D**

**OATMAN ARCHITECTS INC.**  
ARCHITECTS

412 31st Street Newport Beach CA 92663  
P (949) 875-1755 • F (949) 674-1726  
oatmanarchitects.com

**PROJECT TEAM:**

**PROJECT CONTACTS:** HOMER OATMAN  
TODD BALICKI

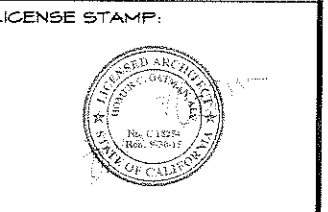
**E-MAIL:** hoatman@oatmanarchitects.com  
tbalicki@oatmanarchitects.com

**PRINCIPAL:** HOMER OATMAN

**PROJECT DIRECTOR:** TODD BALICKI

**PROJECT DESIGNER:** HOMER OATMAN

**PROJECT MANAGER:** TODD BALICKI



This is an electronic stamp and signature

NO.	DATE	DESCRIPTION
	10/26/15	CDP SUBMITTAL #2

**Owner:**

MR. & MRS. CLYDE STAUFF  
LOT 49, 491 MONARCH BAY DRIVE  
DANA POINT, CA  
APN: 670-151-22

**PROJECT:**

**STAUFF RESIDENCE**  
491 MONARCH BAY DR.  
DANA POINT, CA  
APN: 670-151-22

PLAN CHECK NO. :

Project No: 2013-009

IT IS THE OWNERS AND ITS GENERAL CONTRACTORS RESPONSIBILITY FROM TO OR DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERMANENT ERRORS OR OMISSIONS IN THE PLANS AND/OR GENERAL NOTES OF THESE CONTRACT DOCUMENTS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THESE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

**SHEET TITLE:**

**BUILDING SECTIONS**

**SHEET NO:**

**A-7.1**



Project Name  
**STAUFF RESIDENCE**  
 431 Monarch Bay Dr.  
 Dana Point, Ca.  
 92629

Sheet Title  
**PLANTING PLAN**



Project No. \_\_\_\_\_  
 Scale: 1/8" = 1'-0"  
 Date: October 4, 2015  
 Revision No. | Description

Sheet No.  
**L-4**

**PLANT LEGEND**

**SHRUBS**

Symbol	Botanical Name	Common Name	Size	Qty.	Mature Ht Ht. x W.
	<i>Liriodaphne</i>	Giant Mondo Grass	5 gal	18	30" x 30"
	Rose	Iceberg Rose	5 gal	5	4' x 4'
	<i>Dioon majise</i>	Dioon	15 gal	6	4' x 4'
	<i>Gardenia jasminoides</i>	Gardenia 'Mystery'	15 gal	24	4' x 4'
	<i>Philodendron selloum</i>	Big-Leaf Philodendron	15 gal	22	6' x 6'
	<i>Cycas revoluta</i>	Sago Palm	15 gal	5	4' x 5'
	<i>Ligularia tusilagines</i>	Giant Leopard Plant	3 gal	4	3' x 3'
	<i>Philodendron selloum 'Xanadu'</i>	Dwarf Philodendron	5 gal	85	2' x 2'
	<i>Syzygium paniculatum</i>	Brush Cherry	15 gal	20	12' x 5'
	<i>Camellia sasanqua</i>	White Dove Camellia	15 gal	21	5' x 5'

**HEDGES**

Symbol	Botanical Name	Common Name	Size	Qty.	Mature Ht Ht. x W.
	<i>Ligustrum japonica 'Texanum'</i>	Texas Privet	15G	30' O.C.	Maintain @ 3' Ht.

**GROUND COVER**

Symbol	Botanical Name	Common Name	Size	Qty.	Mature Ht Ht. x W.
	<i>Trachypogon daniellii</i>	Star Jasmine	1G	15' O.C.	2' x 5'

