

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: SEPTEMBER 28, 2015

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: SITE DEVELOPMENT PERMIT SDP15-0027 TO ALLOW THE CONSTRUCTION OF A NEW, DETACHED DWELLING UNIT IN CONJUNCTION WITH ADDITIONS TO AN EXISTING SINGLE-FAMILY DWELLING IN THE RESIDENTIAL DUPLEX (RD-14) ZONING DISTRICT AT 27071 CAMINO DE ESTRELLA

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Site Development Permit SDP15-0027.

APPLICANT/OWNER: David Kennedy

REQUEST: Approval of a Site Development Permit to allow the construction of a new, 1,261 square foot detached dwelling unit with attached 666 square foot three-vehicle garage, in conjunction with the addition of 116 square feet to an existing single-family dwelling.

LOCATION: 27071 Camino de Estrella
Assessor Parcel Number (APN): 123-340-34

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on September 16, 2015, published within a newspaper of general circulation on September 17, 2015, and posted on September 18, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling.

ISSUES:

- Project consistency with the development standards of the Dana Point General Plan and Zoning Code (DPZC).
- Project satisfaction of all findings required pursuant to the DPZC for approval of a Site Development Permit (SDP).
- Project compatibility with and enhancement of the site, surrounding neighborhood.

BACKGROUND: The subject property measures 6,500 square feet (.15 acres) and is presently developed with a single family dwelling comprising 814 square feet (originally constructed in 1946), a detached, two-vehicle garage and a small shed at the rear of the property. The remainder of the lot is covered by a mixture of landscaping, a lengthy driveway leading to the aforementioned garage as well as turnaround space located immediately behind the dwelling.

Pursuant to adopted City maps, the subject property is zoned as "Residential Duplex 14" (RD-14) and is not located within the City's Coastal Overlay District (the California Coastal Zone) or a homeowner's association (HOA).

The proposed scope of work would demolish the existing shed and two-vehicle garage, remodel the property's existing single-family dwelling and construct a new, detached residential unit at the rear of the property. Pursuant to Section 9.71.020 of the DPZC, construction of a new duplex (whether the units are attached or detached) shall require approval of a Site Development Permit (SDP).

DISCUSSION:

As stated, the subject project proposes the construction of a new residential dwelling unit. The structure would comprise two stories, two bedrooms and 1,261 square feet of habitable floor area with an attached, 666 square foot three-vehicle garage. Two of the garage's three stalls would service the new unit; the third stall would provide parking for the property's existing dwelling. As this arrangement is somewhat unusual, a condition of approval (No. 21 in the attached draft resolution) has been included requiring clear visual assignment of parking spaces to the respective dwelling unit they serve. The new duplex structure would stand 25 feet eight inches tall with a sloped roof pitched at 3.25:12, well under the maximum, potential height of 28 feet permitted in the property's RD-14 Zoning District.

The property's existing dwelling would be remodeled and expanded by 116 square feet to include a new laundry room and bathroom, as well as new single-vehicle garage. The remainder of the interior would be reconfigured, resulting in a larger living-room and kitchen. The dwelling would remain single-story and contain two bedrooms. Overall

structure height would remain unchanged at 12 feet tall. Finally, new landscaping would be added throughout the property and the aforementioned shed at the rear of the property would be removed. All proposed development is allowed in the property's RD-14 Zoning District and complies with standards of the DPZC.

Site Development Permit SDP15-0027

The subject application proposes the construction of a new, detached dwelling unit (an addition to the property's existing single-family dwelling) and so pursuant to Section 9.71.020 of the DPZC, shall require approval of a Site Development Permit. Section 9.71.050 of the DPZC stipulates a minimum of four findings for approval of a SDP, requiring:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

Staff's recommended findings to approve the SDP request are enumerated in the attached draft resolution.

CORRESPONDENCE: To date, one item of correspondence has been received from the public (Attachment 5 - Public Correspondence).

CONCLUSION: Staff finds that the subject project is consistent with the policies and provisions of the Dana Point General Plan and Zoning Code. As the project has been found to comply with all standards of development and findings can be made for approval of the request, staff recommends the Planning Commission adopt the attached resolution, approving Site Development Permit SDP15-0027.


Evan Langan, AICP
Associate Planner


Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 15-09-28-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)
5. Public Correspondence

RESOLUTION NO. 15-09-28-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT SDP15-0027 TO ALLOW THE CONSTRUCTION OF A NEW, DETACHED DWELLING UNIT IN CONJUNCTION WITH ADDITIONS TO AN EXISTING SINGLE-FAMILY DWELLING IN THE RESIDENTIAL DUPLEX (RD-14) ZONING DISTRICT AT 27071 CAMINO DE ESTRELLA

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, David Kennedy (the "Applicant") is the owner of real property commonly referred to as 27071 Camino de Estrella (APN 123-340-34) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Site Development Permit to allow the construction of a new, detached dwelling unit in conjunction with additions to an existing dwelling unit at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act ("CEQA"), the project is Categorically Exempt per Section 15303 (a) (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling; and

WHEREAS, the Planning Commission did, on the 28th day of September, 2015 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Site Development Permit SDP15-0027.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves SDP15-0027 subject to conditions:

Findings:

Site Development Permit SDP15-0027

1. Compliance of the site design with the standards of the Dana Point Zoning Code in that all proposed development is permitted in the property's Residential Duplex 14 (RD-14) Zoning District, subject to approval of a SDP. The subject project has been reviewed by Planning and Building/Safety Divisions as well as the Public Works/Engineering Department and found to conform to all standards of development.
2. That the site is suitable for the proposed use and development in that the subject project proposes the construction of a new, residential duplex providing at least 2,500 square feet of land area per unit as required in the property's RD-14 Zoning District.
3. That the project complies with all elements of the General Plan as well as applicable provisions of the City's Urban Design Guidelines in that the proposal *"achieves design excellence in site planning, architecture, landscape architecture and signage in new development and modifications to existing development."* The proposed duplex has been designed to complement existing, vicinity residential development in both form and mass, and coupled with new or additional site landscaping, constitutes an overall enhancement of the subject property.
4. That the site and structural design are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture, in that the proposed development is permitted within the property's RD-14 Zoning District and been found to conform to all applicable standards therein.

Conditions:

A. General:

1. Approval of this application permits the construction of a new, 1,261 square foot detached dwelling unit with attached 666 square foot three-vehicle garage, in conjunction with the addition of 116 square feet to an existing single-family dwelling at 27071 Camino de Estrella. Subsequent submittals shall be in substantial compliance with the plans presented to the Planning Commission and in compliance with applicable provisions of the Dana Point Zoning Code.

2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The

Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

7. The Applicant and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The Applicant and Applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. An Encroachment Permit shall be obtained prior to any work within Public Rights-of-Way.
10. The Applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The Applicant shall provide erosion control measures and devices and shall maintain such until the Director of Public Works approves their removal.
11. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
12. The Applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of all utilities.
13. The Applicant or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling. Said plan shall be reviewed and approved by the City's C&D Compliance Official prior to issuance of any permits.
14. The Applicant shall submit payment for any and all applicable development impact fees prior to issuance of a building permit.
15. All documents prepared by a professional shall be wet-stamped and signed.

B. Prior to Issuance of a Building Permit:

16. Building plan check submittal shall include four sets of the following construction documents:
 - *Building Plans*
 - *Energy calculations*
 - *Structural Calculations*
 - *Soils/Geology Report*
 - *Drainage Plan*
17. The Applicant shall submit for review and approval by the Planning and Building/Safety Divisions, a Final Landscaping Plan that complies with the standards of the Dana Point Zoning Code and the preliminary plan approved by the Planning Commission.

C. Following Issuance of a Building Permit:

18. Prior to commencement of framing, the Applicant shall submit a foundation certification for both onsite dwellings, by survey that the structures will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of SDP15-0027. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
19. Prior to release of the roof sheathing inspection, the Applicant shall certify by a survey or other appropriate method that the height of the new, two-story duplex at the rear of the subject property is in compliance with plans approved by the Planning Commission and the structure heights included as part of SDP15-0027. No height certification shall be required for the property's existing, single-story dwelling. The City's standard "Height Certification" form, obtained at time of permit issuance, shall be completed by a licensed civil engineer/surveyor and delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

D. Prior to Issuance of a Certificate of Occupancy

20. A Final Geotechnical Report (drafted in accordance with the City of Dana Point Grading Manual) shall be provided to the Public Works/Engineering Department by the project geotechnical consultant.
21. Final construction plans shall clearly assign each garage parking space to the dwelling unit it serves. The exterior of each garage shall be clearly addressed.
22. A written approval shall be provided to the Public Works/Engineering Department by the Geotechnical Engineer of Record stipulating that all grading has been completed in conformance with the approved grading plan.
23. All structural Best Management Practices (BMP's) shall be constructed and installed in conformance with approved plans and specifications.
24. The Applicant shall schedule a final inspection by the Community Development Department that shall include a review of approved development, landscaping, finish architecture/materials and general compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 28th day of September, 2015, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

April O'Connor, Chairperson
Planning Commission

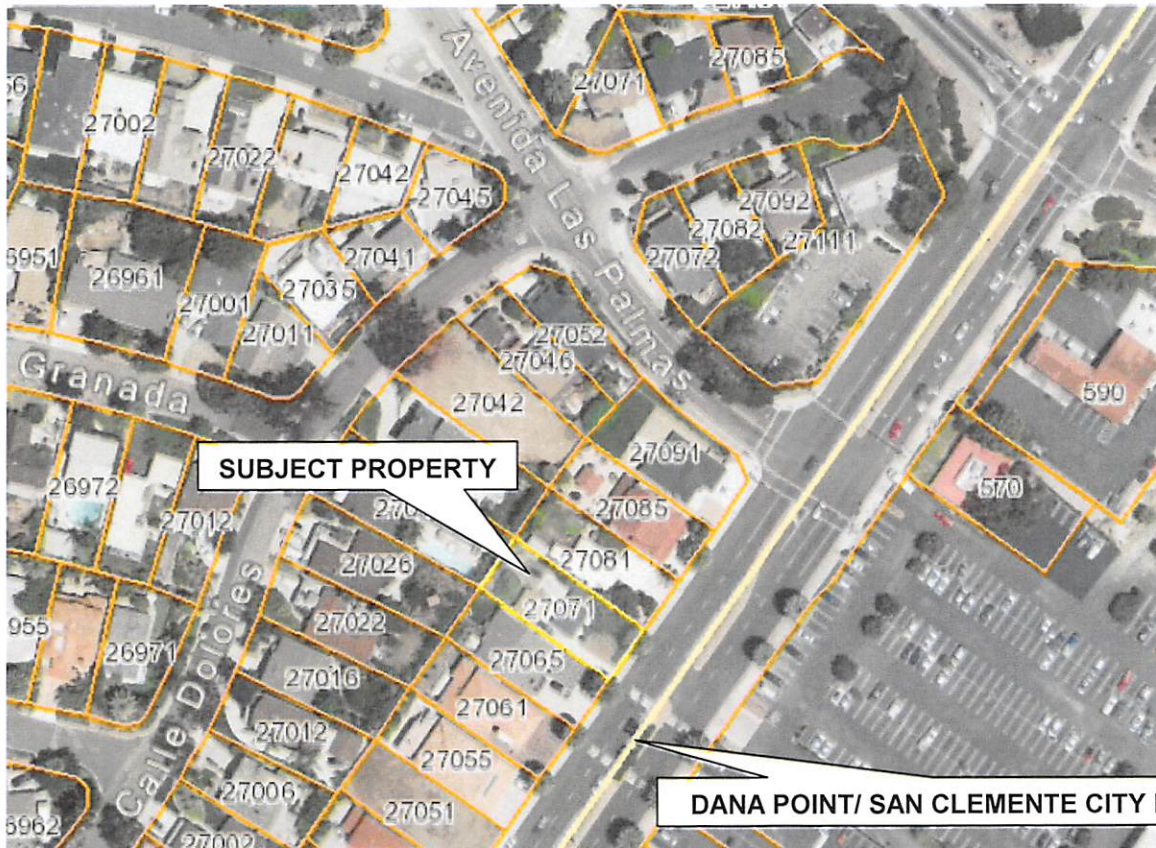
ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department



City of Dana Point
Site Development Permit SDP15-0027
Evan Langan, AICP, Associate Planner
Community Development Department
33282 Golden Lantern, Suite 209
Dana Point, CA 92629-1805

VICINITY MAP



Project: *SDP15-0027*

Applicant/Owner: *David Kennedy*

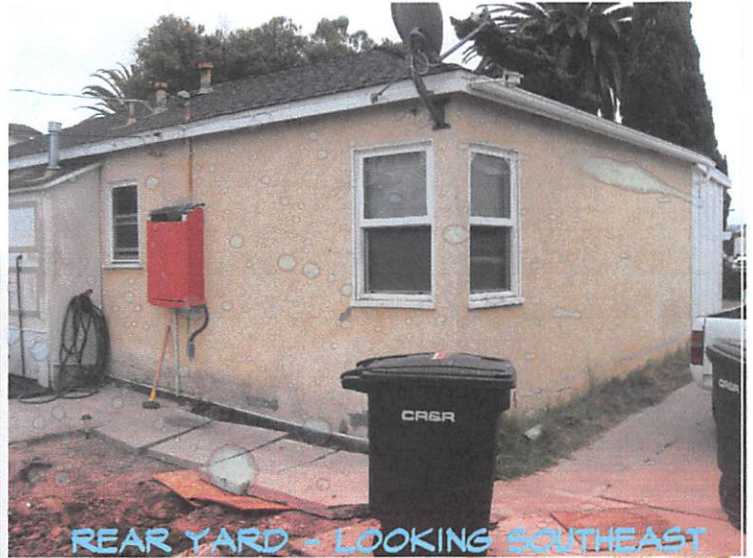
Location: *27071 Camino de Estrella*



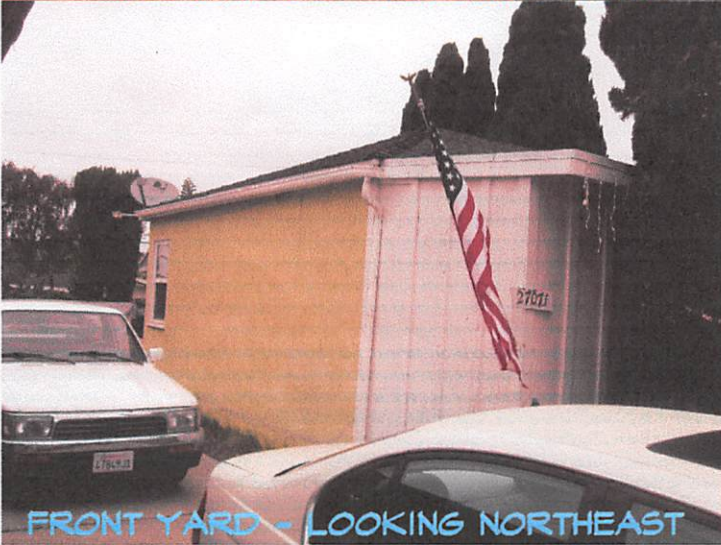
27071 CAMINO DE ESTRELLA - PROPERTY EXHIBIT



REAR YARD - LOOKING SOUTH



REAR YARD - LOOKING SOUTHEAST



FRONT YARD - LOOKING NORTHEAST



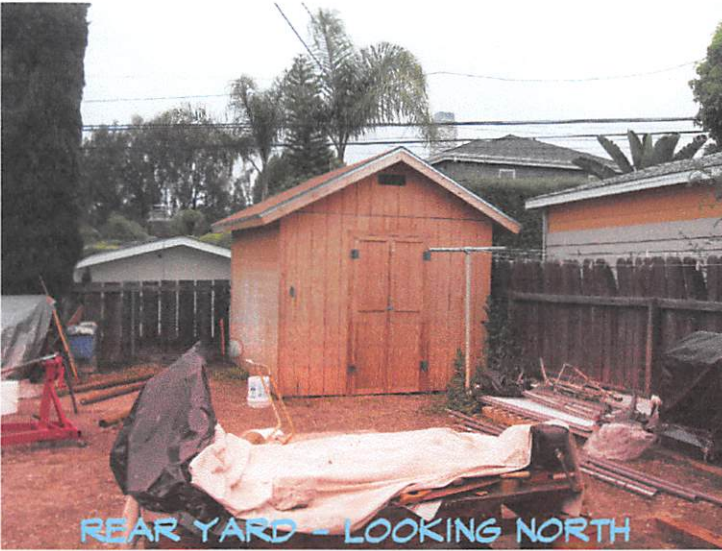
FRONT YARD - LOOKING NORTH

These drawings / plans and related specifications are in general conformance with local building code requirements as well as the 2013 California Building Standards Code: 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Energy Code, 2013 California Fire Code, 2013 California Green Building Standards Code.

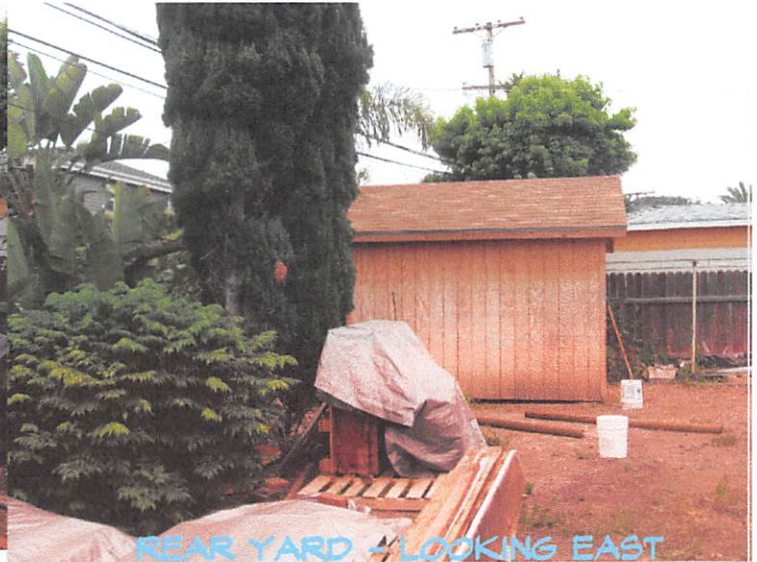
Signed: William J. Stoffregen 6/26/15
WILLIAM J. STOFFREGEN - PLAN PREPARER DATE

Firm Name: CAD Works
Firm Address: 24972 Southwest St
Laguna Hi
949-230-

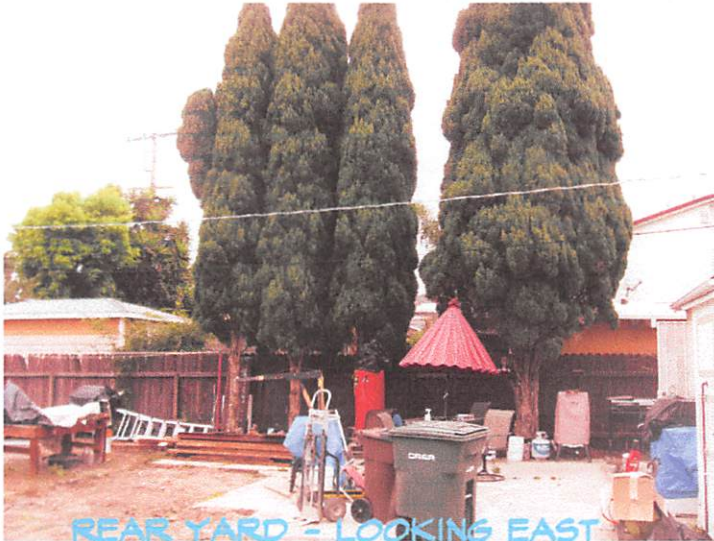
27071 CAMINO DE ESTRELLA - PROPERTY EXHIBIT



REAR YARD - LOOKING NORTH



REAR YARD - LOOKING EAST



REAR YARD - LOOKING EAST



FRONT YARD - LOOKING SOUTH

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Signed: William J. Stoffregen 6/26/15
WILLIAM J. STOFFREGEN - PLAN PREPARER DATE

Firm Name: CAD Works
Firm Address: 24972 Southport St.
Laguna Hills, CA 92653
949-230-8042

27071 CAMINO DE ESTRELLA - PROPERTY EXHIBIT



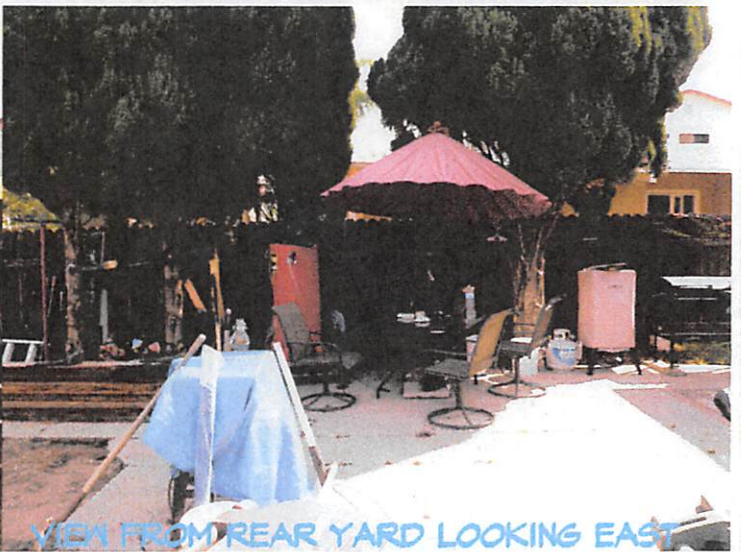
VIEW FROM REAR YARD LOOKING WEST



VIEW FROM REAR YARD LOOKING WEST



VIEW FROM REAR YARD LOOKING EAST



VIEW FROM REAR YARD LOOKING EAST

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WILLIAM J. STOFFREGEN - PLAN PREPARER DATE

Firm Name: CAD Works
Firm Address: 24972 Southport St.
Laguna Hills, CA 92653
949-230-8042

WINDOW AND DOOR NOTES

ALL NEW WINDOWS AND DOORS TO HAVE TEMPERED DUAL-PANE GLAZING WITH LOW-E. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL PERFORMANCE RATING COUNCIL (NPRC) AND SHOWING COMPLIANCE WITH THE ENERGY CODES.

PROVIDE CAULKING / APPROVED SEALANT AROUND WINDOWS AND DOORS.

INTERIOR DOORS ARE TO HAVE RAISED PANELING.

SEE TITLE 24 SHEET FOR MINIMUM WINDOW AND DOOR PERFORMANCE.

ALL EXTERIOR DOORS TO BE SOLID CORE.

THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1364.

WHERE A WINDOW SILL IS LOCATED HIGHER THAN 12" ABOVE ADJACENT GRADE OR FINISHED SURFACE ON THE OPPOSITE SIDE, THE LOWEST PART OF THE OPENING SHALL BE 24" MINIMUM ABOVE THE ROOM FLOOR SURFACE. OPERABLE SECTIONS OF THE WINDOW SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF 4" SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF FINISHED FLOOR.

1/2" MAX THRESHOLD TO STOOPS / FINISHED SURFACES AT ALL DOORS THAT SWING OUTSIDE.

1" MAX THRESHOLD TO STOOPS / FINISHED SURFACES AT ALL DOORS THAT SWING INSIDE OR SLIDE.

ALL GLAZING AT WINDOWS TO HAVE MINIMUM ONE TEMPERED PANE PER LIGHT FOR 20 MINUTE RATINGS.

INDICATES EGRESS WINDOW.

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET OPENABLE HEIGHT DIMENSION SHALL BE 24" INCHES. THE MAXIMUM NET CLEAR OPENABLE WIDTH SHALL BE 20" INCHES. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" INCHES ABOVE THE FLOOR.

PLUMBING NOTES

ACCESS PANEL (12"x12") REQUIRED FOR TUB TRAP SLIP-JOINT OR USE NON-SLIP (WELDED) JOINTS.

IN SHOWERS AND TUB-SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES (MAX TEMP. 120° F). PER CBC SEC. 403.4 & 403.2.

ALL HOSE BIBBS MUST HAVE AN APPROVED ANTI-SIPHON DEVICE.

GAS VENTS AND NON-COMBUSTIBLE PIPING IN WALLS PASSING THROUGH FLOORS OR LESS SHALL BE EFFECTIVELY DRAFT-STOPPED AT EACH FLOOR OR CEILING.

PROVIDE HANDS-AWAY CENTER, WATER-RESISTANT BACKING BOARD AS BASE FOR TILE OR WALL PANELS FOR TUB OR SHOWER ENCLOSURES OR WATER CLOSET COMPARTMENT WALLS.

NOT MOPPED SHOWER PAN SHALL BE INSPECTED UPON COMPLETION OF HOT TAPPING AND SHALL BE FILLED WITH WATER FOR DIRECTION.

ALL FLOOR LIGHTS TO BE 18" ABOVE FLOOR IN GARAGE - CBC 308.1.

FIXTURE TYPE	MAX. FLOW RATE
WATER CLOSETS	1.29 GAL. / FLUSH
RESIDENTIAL LAVATORY AND KITCHEN FAUCETS	1.5 GAL. AT 60 PSI
SINGLE SHOWER HEAD	2.5 GPM AT 80 PSI
MULTIPLE SHOWER HEADS	2.5 GPM AT 80 PSI (20 MIN)
DISHWASHERS AND CLOTHES WASHERS	BE ENERGY STAR COMPLIANT

MECHANICAL NOTES

PROVIDE SMOOTH METAL DUCT FOR DRYER EXHAUST - 4" DIA. MIN.

PROVIDE DRYER EXHAUST TO OUTSIDE AIR.

DRYER VENT SHALL HAVE BACKDRAFT CHIMNEY.

PROVIDE A 1/4" OPENING WITH A METAL GRILLE INSERT (100 SO. IN. CLR. NET) ABOVE DOOR FOR REQUIRED MAKE-UP AIR.

WALL NOTES

SPECIFICATIONS FOR LATH PLASTER AND DRYWALL SHALL CONFORM TO THE REQUIREMENTS OF CBC CHAPTER 7.

ANY PLUMBING DRAINPIPE OR VENT PIPE OUT THROUGH EXTERIOR WALL SHALL BE 2x4 STUD WALLS OR TWO 2x4 WALLS WITH PLYWOOD SHEAR PANEL, ON NON-PLUMBERS WALL.

PROVIDE 2 LAYERS OF GRADE D PAPER (FELT) OVER PLYWOOD SHEAR WALLS.

WALL INSULATION NOTES

R-15 BATT INSULATION @ 2x4 EXT. WALLS

R-19 BATT INSULATION @ 2x6 EXT. WALLS

R-30 BATT INSULATION @ CEILING

ALL INSULATION MATERIALS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450.

STUCCO NOTES

WEATHER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION 1402.1 OF THE CALIF. BUILDING CODES AND MUST APPLIED OVER WOOD BASE SHEATHING, SHALL INCLUDE TWO (2) LAYERS OF GRADE "D" PAPER.

MISC. NOTES

TEMP. INDICATES WINDOWS REQUIRING SAFETY GLAZING (TEMPERED).

CONCRETE PADS FOR AIR CONDITIONING UNITS TO BE 4" MIN. ABOVE FINISH GRADE.

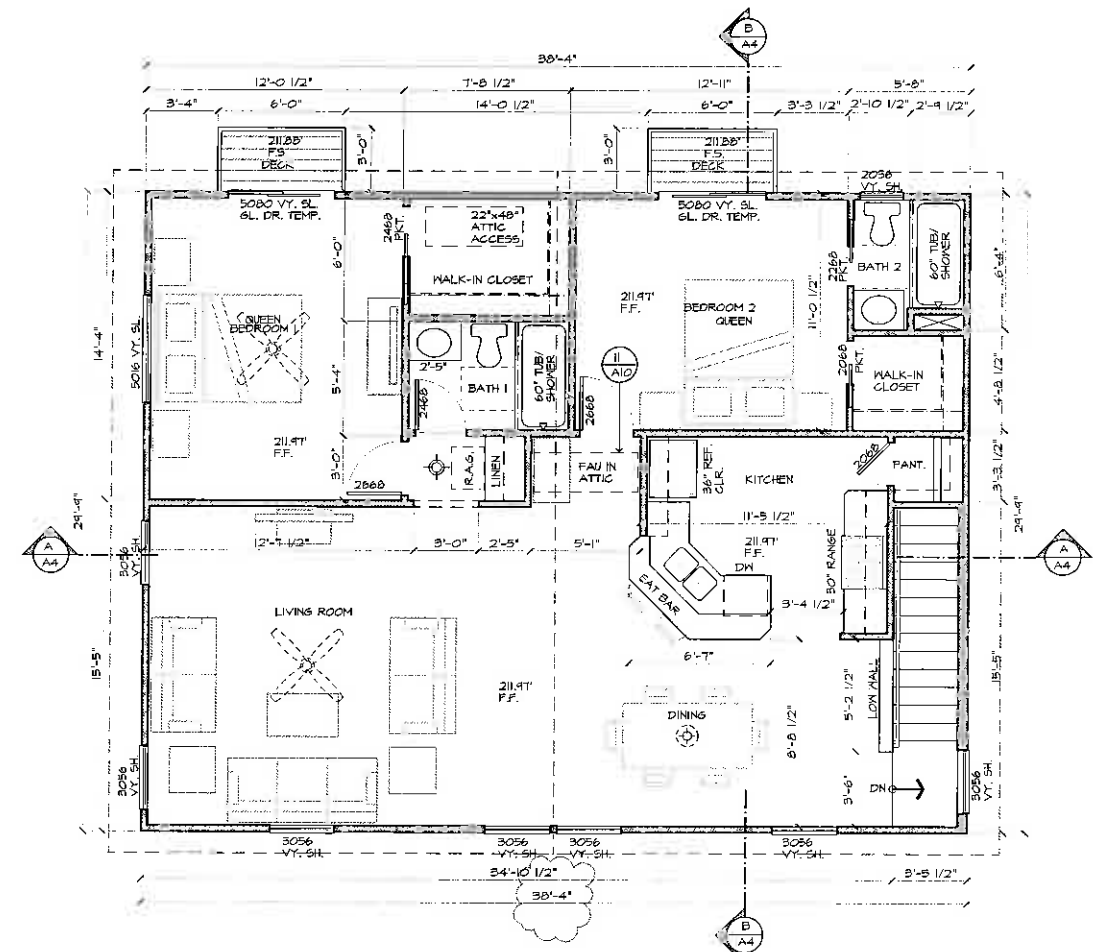
TILE INSTALLATION SHALL BE IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS OF THE TILE COUNCIL OF AMERICA AND HANDBOOK FOR CERAMIC TILE INSTALLATION.

PROVIDE WEATHER STRIPS AT THE ATTIC ACCESS PANEL TO PREVENT BACKDRAFT.

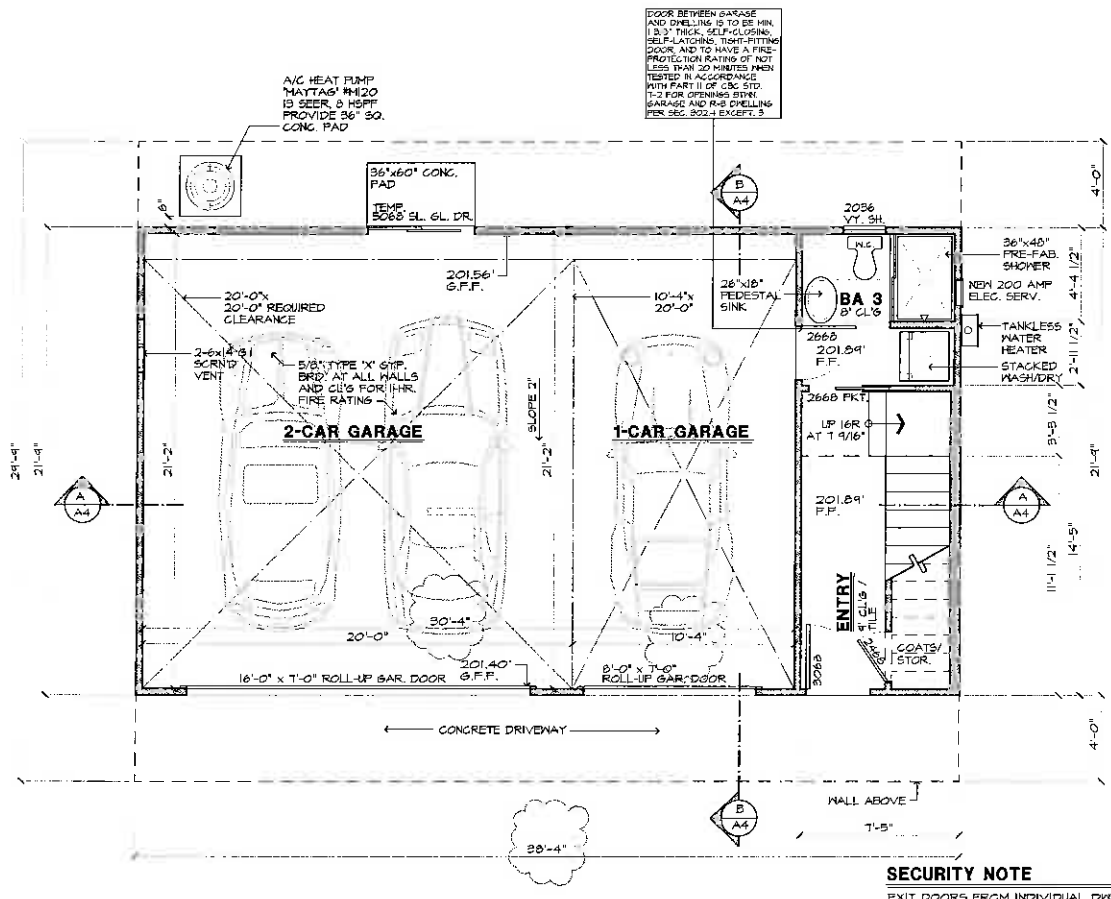
PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET.

These drawings / plans and related specifications are in general conformance with local building code requirements as well as the 2013 California Building Standards Code, 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Fire Code, 2013 California Energy Code, 2013 California Fire Code, 2013 California Green Building Standards Code.

W.J. STOFFREGEN
8/15/15
AS NOTED
A2



NEW UPPER LEVEL
SCALE: 1/4" = 1'-0"



NEW LOWER LEVEL
SCALE: 1/4" = 1'-0"

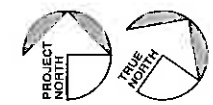
DOOR BETWEEN GARAGE AND DWELLING IS TO BE MIN. 1 3/4" THICK, SELF-CLOSING, SELF-LATCHING, TEMP-FITTING DOOR AND TO HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH PART 11.07 OF CBC STD. 1-2 FOR OPENINGS BETWEEN GARAGES AND DWELLING PER CBC SEC. 303.4 EXCEPT 5.

SECURITY NOTE

EXIT DOORS FROM INDIVIDUAL DWELLING UNITS HAVING ANY OCCUPANT LOAD OF 10 OR LESS MAY BE PROVIDED WITH A NIGHT LATCH, DEAD BOLT OR SECURITY CHAIN, PROVIDED SUCH DEVICES ARE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR TOOL, OR SPECIAL KNOWLEDGE OR EFFORT AND MOUNTED AT A HEIGHT NOT TO EXCEED 48" INCHES ABOVE THE FINISHED FLOOR. (CBC 1009.3.1.B)

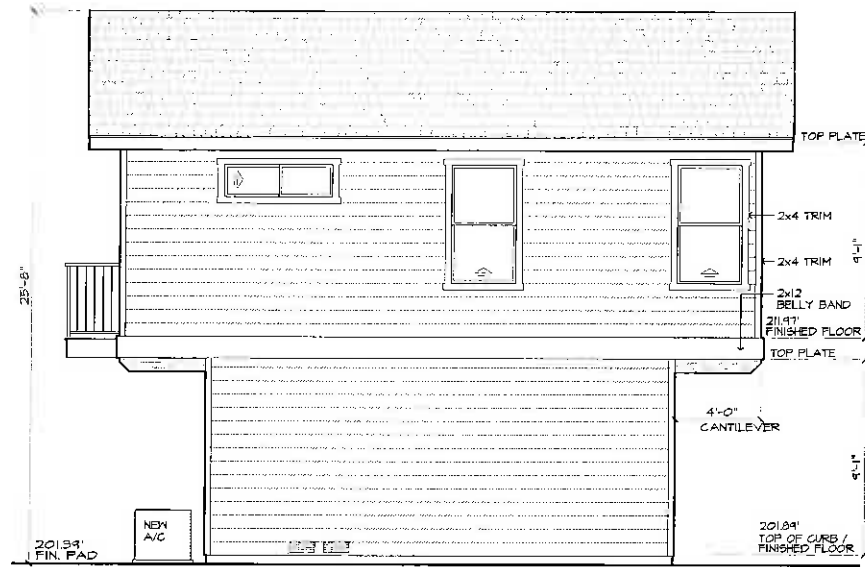
EXIT NOTE

THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPENED 90 DEGREES. THE MINIMUM CLEAR HEIGHT OF THE DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. CBC SEC. R312.



FLASHING NOTE 2

FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHINGS SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEY, PORCHES, DECKS, BALCONIES, AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND AT THE ENDS OF GOFINNS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM PER CBC



**ACCESSORY LIVING QUARTERS
LEFT (WEST) ELEVATION**

SCALE: 1/4" = 1'-0"



**ACCESSORY LIVING QUARTERS
REAR (NORTH) ELEVATION**

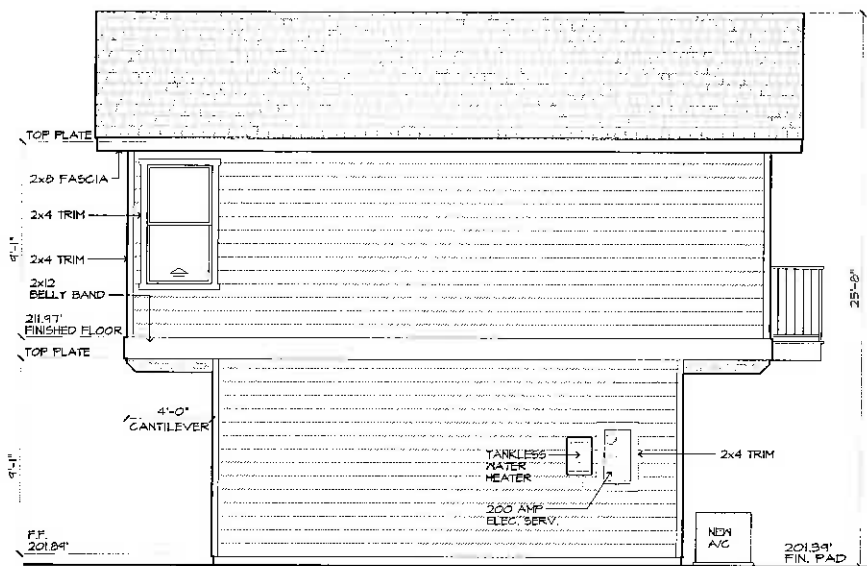
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH NOTES

- ALL EXPOSED WOOD TO BE S4S
- PROVIDE 3 LAYERS OF GRADE D PAPER (FELT) OVER PLYWOOD SHEAR WALLS
- ALL EXTERIOR WALL FINISHES SHALL BE IN ACCORDANCE WITH CBC AND TITLE 24
- ALL TRIM 4'-0" OR LESS FROM 1ST FLOOR LINE TO BE WOOD W/ STUCCO U.N.D. TRIM ABOVE 4'-0" CAN BE FOAM
- ALL DOOR AND WINDOW TRIM TO BE STUCCOED OVER U.N.D.
- STUCCO LATH AND DRYWALL SHALL BE NAILED TO TOP AND BOTTOM PLATES
- ALL EXPOSED WOOD PENETRATING STUCCO TO BE G.I. FLASHED AT PENETRATION
- PROVIDE 2" CLR. FROM STUCCOED TRIM TO WINDOW FRAMES

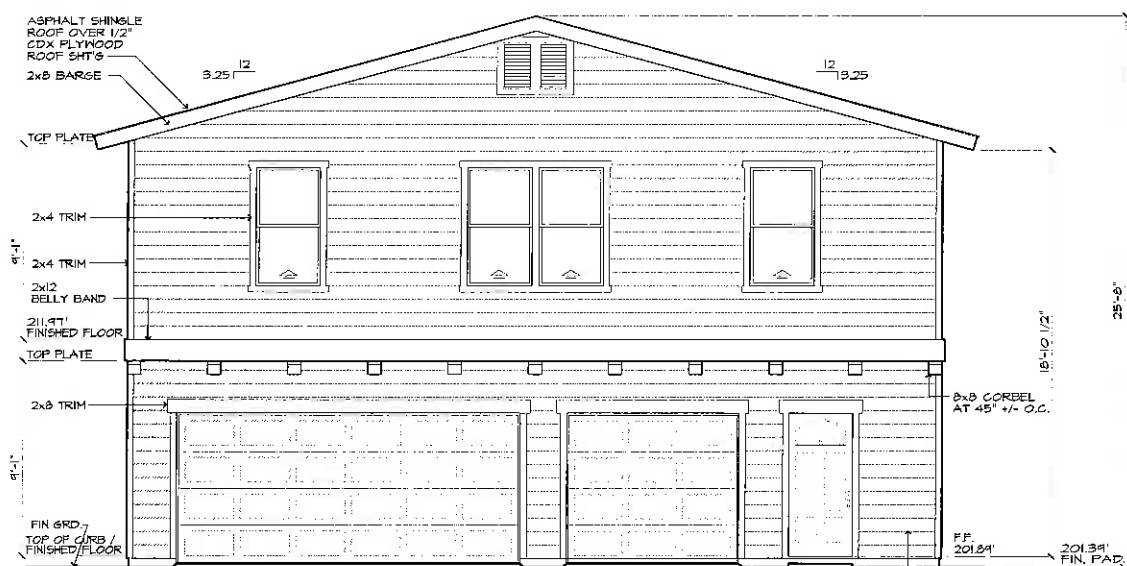
FLASHING NOTE

FLASHING AT VALLEY AND VERTICAL CONFIGURATIONS WILL BE IN ACCORDANCE WITH CBC



**ACCESSORY LIVING QUARTERS
RIGHT (EAST) ELEVATION**

SCALE: 1/4" = 1'-0"

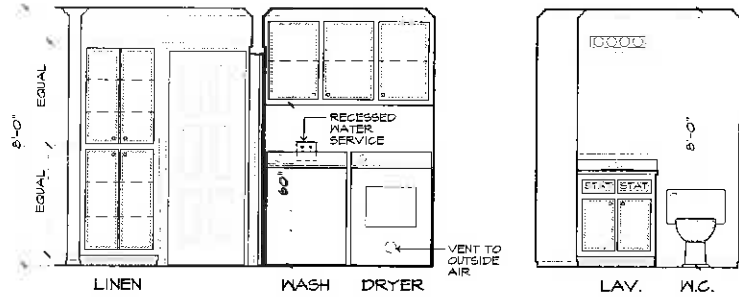


**ACCESSORY LIVING QUARTERS
FRONT (SOUTH) ELEVATION**

SCALE: 1/4" = 1'-0"

These drawings / plans and related specifications are in general conformance with local building code requirements as well as the 2013 California Building Standards Code, 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Energy Code, 2013 California Fire Code, 2013 California Green Building Standards Code.

Signed: **WILLIAM J. STOFFEGEN** - DESIGN / PLAN PREPARER DATE
Firm Name: **CAD WORKS**
Firm Address: 249 1/2 Southport St.
Laguna Hills, CA 92653
949-230-8042

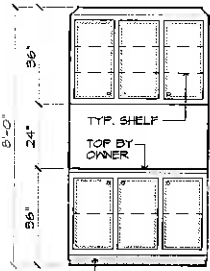


HALL 2 / LAUNDRY

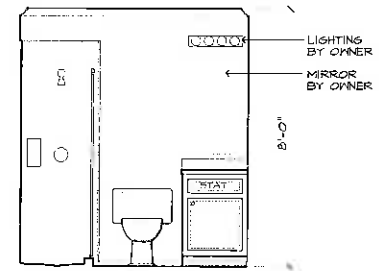
BATH 2

CABINETRY NOTES

- CABINET DOOR & DRAWER FACE DESIGN & STYLE BY OWNER. CABINET CASING SHALL BE PLYWOOD. PARTIAL BOARD NOT ALLOWED.
- DIMENSIONS TO BE FIELD VERIFIED PRIOR TO ORDERING OR FABRICATION.
- CABINETMAKERS SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY OWNER PRIOR TO FABRICATION.
- ALL EXPOSED CABINET MATERIALS, INCL. DOORS, DRAWER FACES, FACE FRAMES, ETC. TO BE OF STAIN GRADE MATERIALS AS SELECTED BY I.D. AND APPROVED BY OWNER.
- ALL CABINET HARDWARE INCLUDING HINGES, SLIDES AND PULLS WILL BE SELECTED AND APPROVED BY OWNER.
- CABINET TOP & SPLASH MATERIALS TO BE PRE-VERIFIED AS TO TYPE, PATTERN & THICKNESS. MATERIAL SHALL BE EITHER GRANITE, CERAMIC TILE OR SOLID WOOD (ALUMINUM OR TEAK). OWNER WILL SELECT AND APPROVE COUNTER TOP AND SPLASH MATERIAL.
- BATHROOM MIRRORS AND WALL MOUNTED DECORATIVE LIGHTS SHALL BE SELECTED AND APPROVED BY OWNER.
- ALL EQUIPMENT/APPLIANCE SPECS. TO BE VERIFIED PRIOR TO CABINET FABRICATION.
- CLEARANCE TO BE PROVIDED FOR APPLIANCES & COMPONENTS ACCORDINGLY.



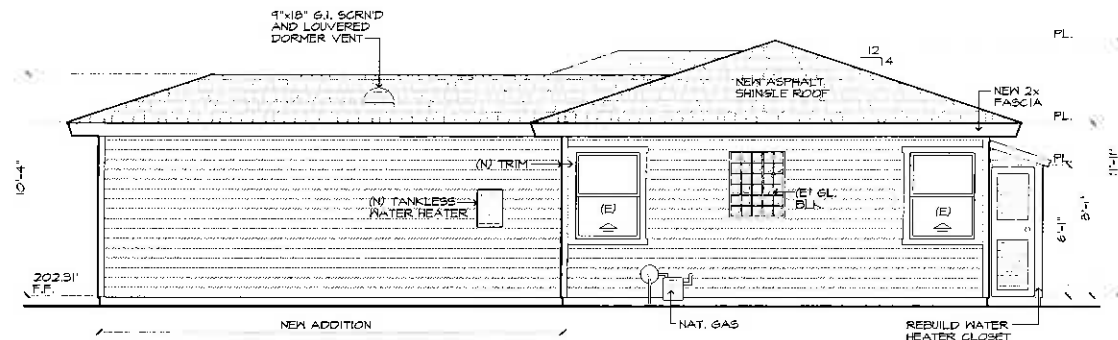
HALL 1



BATH 1

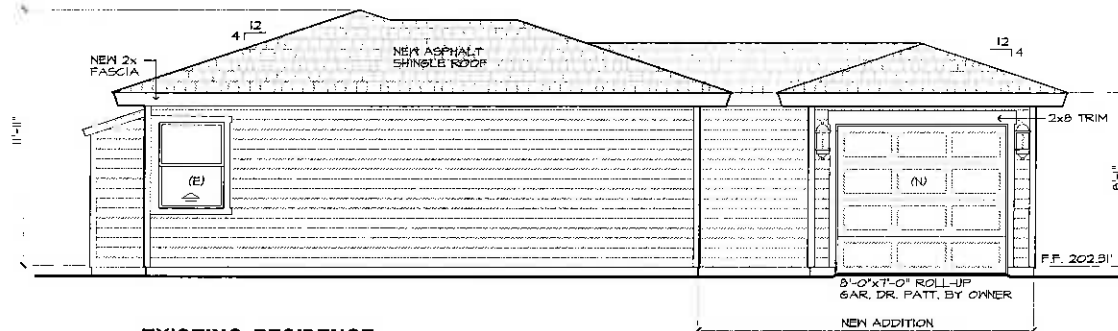
INTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"



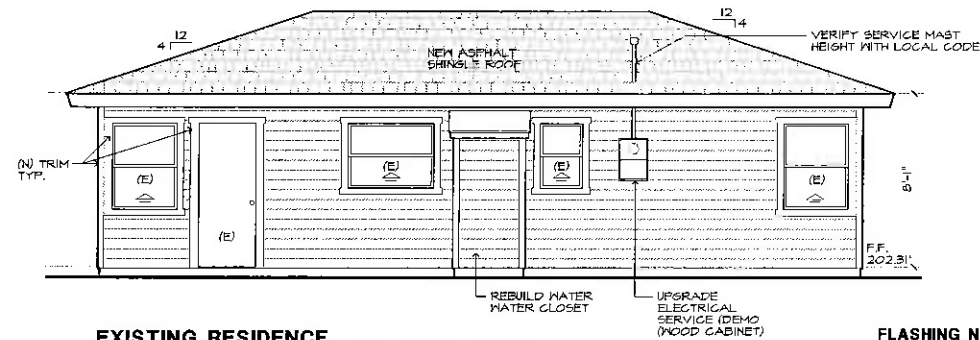
EXISTING RESIDENCE RIGHT (EAST) ELEVATION WITH OVERALL HEIGHTS SHOWN

SCALE: 1/4" = 1'-0"



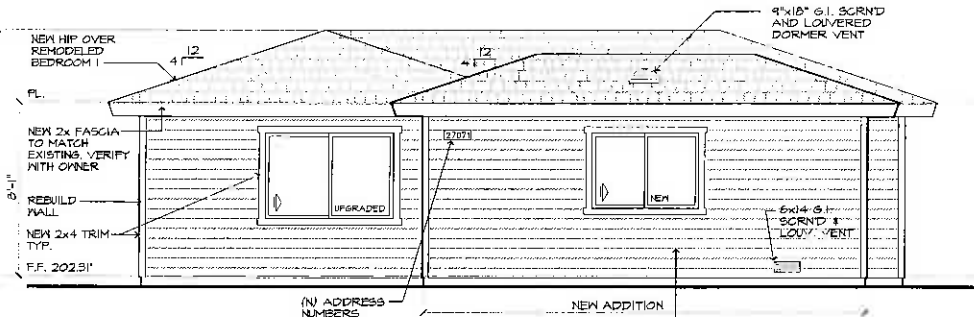
EXISTING RESIDENCE LEFT (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



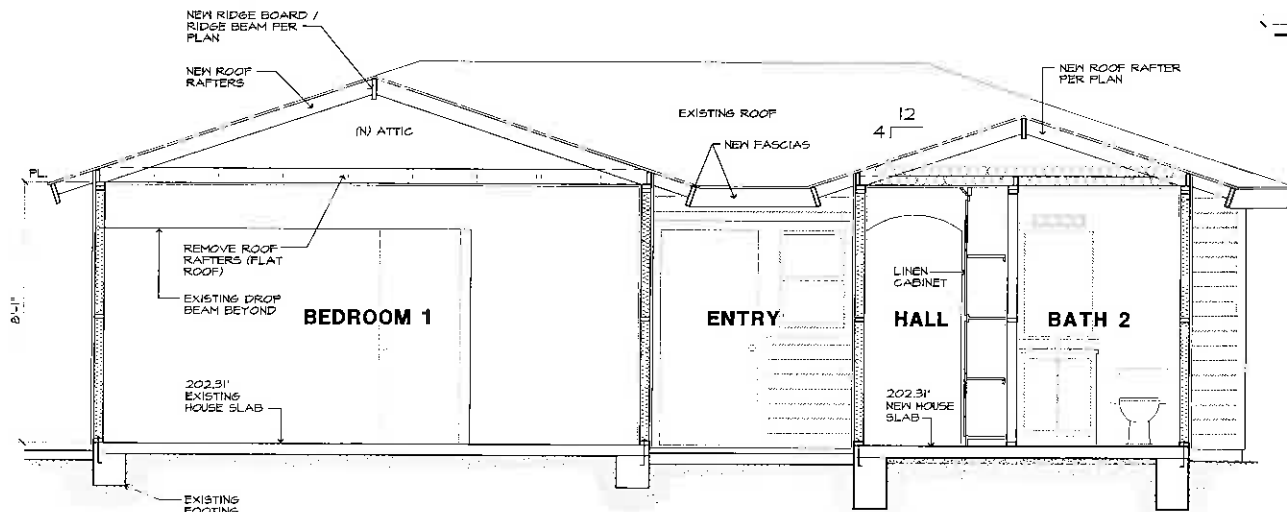
EXISTING RESIDENCE REAR (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



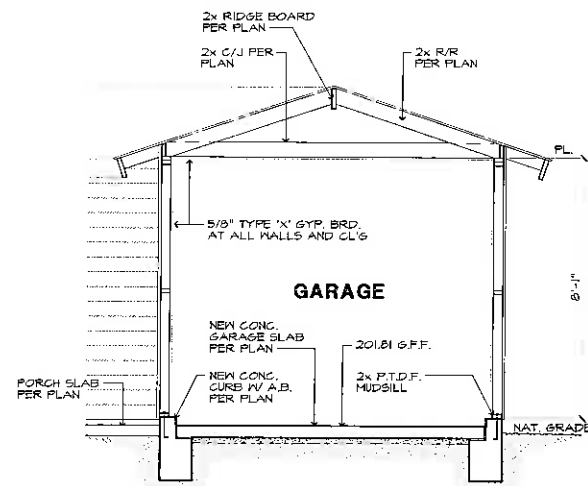
EXISTING RESIDENCE FRONT (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"



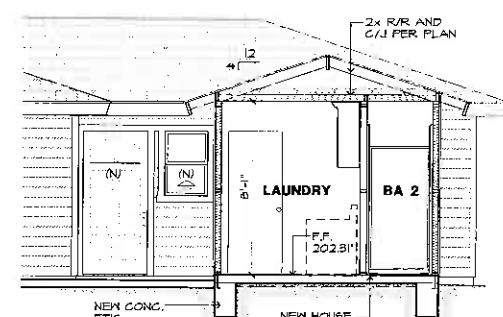
SECTION D-D

SCALE: 2/8" = 1'-0"



SECTION E-E

SCALE: 3/8" = 1'-0"



EXISTING RESIDENCE ENTRY (SOUTH) ELEVATION / SECTION C-C

SCALE: 1/4" = 1'-0"

INSULATION NOTES

SEE TITLE 24 NOTES FOR REQUIREMENTS

FRAMING NOTE

FIRE BLOCK STUD WALLS (AT 10' INTERVALS [HORIZ. & VERT.]) ENCLOSED AND CONCEALED SPACES, AND AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, BETWEEN ATTIC AND CHIMNEY CHASE, AT STAIR STRINGERS, AND SIMILAR PLACES AT CEILING AND FLOOR LEVELS.

EXTERIOR FINISH NOTES

ALL EXPOSED WOOD TO BE S4S
 PROVIDE 2 LAYERS OF GRADE D PAPER (FELT) OVER PLYWOOD SHEAR WALLS
 ALL EXTERIOR WALL FINISHES SHALL BE IN ACCORDANCE WITH CBC AND TITLE 24
 ALL TRIM 4'-0" OR LESS FROM 1ST FLOOR LINE TO BE WOOD W/ STUCCO U.N.O. TRIM ABOVE 4'-0" CAN BE FOAM
 ALL DOOR AND WINDOW TRIM TO BE STUCCOED OVER U.N.O.
 STUCCO LATH AND DRYMATH SHALL BE NAILED TO TOP AND BOTTOM PLATES
 ALL EXPOSED WOOD PENETRATING STUCCO TO BE G.I. FLASHED AT PENETRATION
 PROVIDE 2" CLR. FROM STUCCOED TRIM TO WINDOW FRAMES

FLASHING NOTE

FLASHING AT VALLEY AND VERTICAL CONFIGURATIONS WILL BE IN ACCORDANCE WITH CBC

FLASHING NOTE 2

FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEY, PORCHES, DECKS, BALCONIES, AND SIMILAR PROJECTIONS AND AT BUILT-IN BUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND AT THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM PER CBC

CAD WORKS
 Residential Design
 24972 Southport St.
 Laguna Hills, CA 92653
 949-230-8042

New Duplex Building & Addition
 At
 27071 Camino De Estrella
 Capistrano Beach, City of Dana Point, CA 92624

ELEVS. / SECS. / INTS.
MAIN BUILDING ADDITION

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Designed: WILLIAM J. STOFFREGEN - DESIGN / PLAN PREPARED DATE
 Firm Name: CAD Works
 Firm Address: 24972 Southport St.
 Laguna Hills, CA 92653
 949-230-8042

WJSTOFFREGEN
 8/15/15
 AS NOTED
A9

9/19/15

CITY OF DANA POINT
DANA POINT, CA 92629

RECEIVED

SEP 22 2015

ATTENTION: EVAN LANCAN, AICP
ASSOCIATE PLANNER
COMMUNITY DEVELOPMENT DEPT

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

REFERENCE NOTICE OF PUBLIC HEARING ON SITE
DEVELOPMENT PERMIT SDP 15-0027, HEARING
DATE 9/28/15, WE WISH TO GO ON RECORD
OPPOSING A PERMIT TO CONSTRUCT A NEW
DETACHED DWELLING UNIT IN CONJUNCTION
WITH ADDITIONS TO AN EXISTING SINGLE FAMILY
DWELLING.

OUR OBJECTION IS THAT THIS NEIGHBORHOOD
IS ALREADY ONE OF THE MOST DENSELY POPULATED
AREAS OF THE CITY AND INCREASING THE DENSITY
IS NOT A DESIRABLE POLICY IF WE ARE TO MAINTAIN
OUR EXISTING SMALL TOWN ATMOSPHERE AS A
COMMUNITY.

Sincerely,

BILL & MAGGIE CUNNING
27011 CALLE GRANADA
CAPISTRANO BEACH, CA 92624

Bill Cunningham
Maggie Cunningham