

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JUNE 22, 2015

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP15-0002 TO DEMOLISH AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCT A NEW TWO-STORY, SINGLE-FAMILY DWELLING AND MINOR SITE DEVELOPMENT PERMIT SDP15-0018(M) TO ALLOW RETAINING AND SITE WALLS OVER SIX (6) FEET IN HEIGHT IN THE REQUIRED SIDE YARDS AND HEDGES EXCEEDING 42 INCHES IN HEIGHT IN THE REQUIRED FRONT YARD AT 319 MONARCH BAY DRIVE.

RECOMMENDATION: That the Planning Commission adopt a draft resolution approving Coastal Development Permit CDP15-0002 and Minor Site Development Permit SDP15-0018(M) (Action Document 1).

APPLICANT: James Conrad, Architect
OWNER: Mark and Bronwen Conway
REQUEST: A request to demolish an existing 1,820 square foot, single story, single-family dwelling and construct a new two-story, 3,216 square foot single-family dwelling with retaining and site walls over six (6) feet in height in the required side yards and hedges over 42 inches in height in the required front yard.
LOCATION: 319 Monarch Bay Drive (APN: 670-151-07)
NOTICE: Public Hearing notices were mailed to property owners within 500 feet of the site on June 11, 2015. The same notice was published in the Dana Point News on June 11, 2015, and notices were posted on or before June 12, 2015, at Dana Point City Hall, the Dana Point post office, the Capistrano Beach post office, and the Dana Point Library.

ENVIRONMENTAL: This project is categorically exempt (Class 3 - Section 15303 – New Construction) from the provisions of the California Environmental Quality Act (CEQA) since the project involves the construction of a single-family residence and associated retaining walls in a residential zone.

ISSUES:

1. Is the proposal consistent with the City's adopted General Plan/Local Coastal Program?

2. Is the proposal compatible with and an enhancement to the surrounding neighborhood and City?
3. Does the project satisfy all the findings required pursuant to the City's Zoning Code for approving a Coastal Development Permit and Minor Site Development Permit?

BACKGROUND: The subject site is a 7,242 square foot lot containing an existing 1,802 square foot, single-story, single-family dwelling constructed in 1966 (Supporting Documents 2 and 3). It is bordered by existing single-family development to the north, south east, and across Monarch Bay drive to the west. The neighborhood is designated as Residential Single Family 4 DU/AC (RSF 4), lies within the appeals area of the Coastal Overlay Boundary of the City's Zoning Map and is designated Residential 3.5 - 7 D.U./AC in the City's General Plan Land Use Element.

DISCUSSION: Due to the site's location within the appeals jurisdiction of the California Coastal Commission, a Coastal Development Permit is required. Retaining walls proposed in conjunction with the project which are proposed over 30 inches in height with overall wall and hedge heights exceeding the maximums in required yards areas and therefore require approval of a Minor Site Development Permit.

COASTAL DEVELOPMENT PERMIT:

The applicant proposes to demolish the existing dwelling and construct a new single-family dwelling and associated exterior improvements on the lot (Supporting Document 4). The structure is proposed as two stories and totals 3,666 square feet. Common kitchen, living, dining and game room areas, as well as the master suite and a bedroom are located on the upper floor. The subterranean lower floor includes a third bedroom, exercise room, mechanical and storage room, and a 1,977 square foot garage that will accommodate the two (2) parking stalls required for detached single-family dwellings with less than six bedrooms.

The dwelling incorporates contemporary architecture elements including flat parapet roofs, large vertical wall components, copper roof fascia's, and metal overhangs while incorporating various exterior finishes indicative of the style including a smooth stucco, Travertine stone veneer, large pocket slider windows, metal guardrails (Supporting Document 5). The dwelling's flat roof elements are designed below the 24 foot height (23.4') limit for roofs with pitches of less than 3:12.

The proposed structure meets all minimum required yards of the RSF 7 Zoning District, with the exception of the front yard setback. Front and rear setbacks for many of the lots in this area of Monarch Bay were originally established by the County through the approval of Use Variance 5298 in association with Tract Map 4472 in 1964. The front setbacks were reaffirmed through the approval of Variance 6632 in 1965. The existing residence was constructed with a 12-foot front yard granted through the cited regulations and the

current proposal employs the same 12 foot front setback. Dana Point Zoning Code (DPZC) Section 9.05.060 (Yard Requirements Modified by Previous Regulations) allows that when yards have been established by previous regulations on a lot and all existing development on the same block and street conform to those yard setbacks, new development may also use those previously established setback standards. Since the proposed structure conforms to the standard previously established for the lot while all existing development on the block conform to their established setbacks, the front setback conforms to the general development standard authorized by DPZC Section 9.05.060.

In addition to meeting the City's setback and height requirements the proposed development will cover 39.4 percent of the lot where a maximum 40 percent lot coverage is permitted for the site. The preliminary landscape plan and a landscape area calculation plan indicates that the minimum 25 percent landscape coverage will be obtained as 34 percent of the lot will be covered by landscaping.

Additionally, the applicant has also received approval from the Monarch Bay Association's architectural review committee for the proposed new development and that authorization is included as Supporting Document 6.

MINOR SITE DEVELOPMENT PERMIT:


In conjunction with the proposed project, the applicant is proposing the construction of new retaining walls along the northern and southern side property lines to facilitate construction of the subterranean level and allow access to the garage and emergency egress from the lower level bedroom. These retaining walls are as high as 14.5 feet from the finish surface to the top of the retaining portion of the wall and as high as 18 feet when including the required guardrails atop the retaining walls. These walls exceed the maximum eight (8) foot height maximum allowed by Section 9.05.120(a)(1) when facing the subject property. However, the proposed walls are to be finished with smooth stucco and the large vertical surfaces of the higher portions of the retaining walls will not be visible to surrounding properties.

Since the back yard contains a steeper slope, the proposal calls for the creation of an outdoor living area deck within the required front yard as permitted by the DPZC. To provide for privacy, the applicant requests hedges be allowed above the 42-inch height limit in the front yard to create privacy for this outdoor living area. Staff agrees that a planted hedge is a visually superior alternative to solid walls and is supportive of the request.

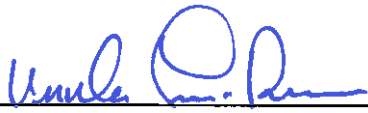
The proposed retaining walls and increased height for hedges are consistent with neighboring single-family development and, with high quality finish materials and softer aesthetics, create a unified, functional, and comprehensive site plan.

CONCLUSION:

Based on the above analysis, Staff determines that the required findings can be made and recommends that the Planning Commission adopt a resolution approving Coastal Development Permit CDP15-0002 and Minor Site Development Permit SDP15-0018(M) allowing demolition of an existing single-family dwelling and the construction of a new single-family dwelling with increased retaining wall and hedge heights and associated landscape improvements.



Kurth B. Nelson III
Senior Planner



Ursula Luna-Reynosa
Director of Community Development

ACTION DOCUMENTS:

1. Draft Planning Commission Resolution 15-06-22-XX

SUPPORTING DOCUMENTS:

2. Vicinity Map
3. Site Photos
4. Submitted Plans
5. Color and Materials Board
6. HOA Approval Letter

RESOLUTION NO. 15-06-22-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP15-0002 TO DEMOLISH AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCT A NEW TWO-STORY, SINGLE-FAMILY DWELLING AND MINOR SITE DEVELOPMENT PERMIT SDP15-0018(M) TO ALLOW RETAINING AND SITE WALLS OVER SIX (6) FEET IN HEIGHT IN THE REQUIRED SIDE YARDS AND HEDGES EXCEEDING 42 INCHES IN HEIGHT IN THE REQUIRED FRONT YARD AT 319 MONARCH BAY DRIVE.

Applicant/Owner: James Conrad, Architect/Mark and Bronwen Conway

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, the applicant filed a verified application for a Coastal Development Permit and Minor Site Development Permit to demolish an existing 1,820 square foot, single story, single-family dwelling and construct a new two-story, 3,216 square foot single-family dwelling with retaining and site walls over six (6) feet in height in the required side yards and hedges over 42 inches in the required front yard at 319 Monarch Bay Drive (APN: 670-151-07); and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, the Planning Commission did, on the 22nd day of June, 2015, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, the proposed project qualifies as a Class 3 (Section 15303) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA) in that the project involves the construction of a single-family residence and associated retaining walls in a residential zone; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP15-0002 and Minor Site Development Permit SDP15-0018(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A) The above recitations are true and correct.

Findings:

- B) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves a Coastal Development Permit CDP15-0002, subject to conditions:
- 1) That the proposed project is consistent with the Dana Point General Plan and Local Coastal Program **in that, the site and architectural design of the proposed improvements complies with Urban Design Element Goal 2 "Preserve the individual positive character and identity of the City's communities."**, by replacing a nearly 50 year old structure in a built-out community with new structure of contemporary design and updated building materials.
 - 2) That the proposed development is located between the nearest public roadway and the sea or shoreline of any body of water, and is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that the proposed development does not alter existing public access and public recreation areas in the vicinity.**
 - 3) That the proposed development conforms with Public Resources Code Section 21000 (the California Environmental Quality Act) **in that, the project qualifies for a Categorical Exemption Type 3 since the project involves the construction of a single-family residence and associated retaining walls on a residentially zoned property.**
 - 4) That the proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in an adopted Local Coastal Program Land Use Plan, nor will it obstruct any existing public views to and along the coast from any public road or from a recreational area **in that, the proposed improvements are on private property, will not impact any public views to and along the coast, and there are no existing physical accessways legally utilized by the public or proposed in an adopted Coastal Program.**
 - 5) That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that, the proposed development is not immediately adjacent to any such resources and therefore no buffer areas are necessary.**

- 6) That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that although there is cutting of soils to facilitate the creation of a proposed subterranean level, appropriate shoring will be provided to protect adjacent properties, and the inclusion of fire sprinklers in the dwelling as well as subsurface drainage improvements and a mechanical pumps will reduce the risk of fire and/or flood damage.**
 - 7) That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that, the proposed development is in a fully established and developed community surrounded by similarly developed lots with the same single-family residential use with no degraded areas and the new dwelling will be compatible with the surrounding neighborhood.**
 - 8) That the proposed development will conform with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs **in that the proposed project conforms with the City's regulations regarding development of single-family dwellings in the Residential Single Family 4 (RSF 4) Zoning District designation of the Dana Point Zoning Code and the Residential 3.5-7 DU/AC designation in the City's General Plan.**
- C) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Minor Site Development Permit SDP15-0018(M), subject to conditions:
- 1) That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that the proposed retaining walls are sited and positioned in a manner such that visual impacts will be limited to the subject property and mitigated through the use of materials matching those of the proposed dwelling and located in a manner so as not to be visible from public views, while the increase in hedge height in the front yard to provide privacy for the outdoor living area is compatible with the community providing a more**

aesthetically pleasing alternative to solid walls in required front yards.

- 2) That the site is suitable for the proposed use and development **in that the retaining walls proposed in conjunction with the project will create vehicular access to the garage and emergency egress from the habitable portions of the subterranean lower level of the proposed dwelling and are typical of retaining walls for single-family development when creating subterranean levels and the increase in hedge height for the front yard is appropriate to create privacy for the outdoor living area in the front yard.**
- 3) That the project is in compliance with all elements of the General Plan and all applicable provision of the Urban Design Guidelines **in that the proposed retaining walls are sited sensitively, incorporate finishes consistent with the dwelling proposed for the site and will not visually impact surrounding properties and the increased hedge height in the front yard will soften the street view of the site while providing privacy for the outdoor living area located on the low deck in the front yard.**
- 4) That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture, **in that the minor site development permit request for retaining and site wall heights and increased hedge heights in the required front yard is appropriate for the site and function and of the single-family residential use and although the retaining walls will utilize matching finishes of the proposed dwelling, do not require a specific architectural style.**

Conditions:

A. General:

1. Approval of this application is to allow the demolition of an existing single-family dwelling, and construct a new two-story, single-family dwelling with retaining and site walls over six (6) feet in height in the required side yards and hedges over 42 inches in the required front yard at 319 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan/Local Coastal Program,

and the Dana Point Zoning Code.

2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents

arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction shall not commence before 7 a.m. and must cease by 8 p.m., Monday through Saturday, and no construction activity is permitted on Sundays or Federal holidays.
9. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
10. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling. Said plan shall be reviewed and approved by the City's C&D Compliance Official prior to issuance of any permits.
11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television services.
12. A grading permit shall be obtained prior to any work including demolition activities.
13. The project shall meet all water quality requirements.

14. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
15. Separate review, approval, and permits are required for:
 - Separate Structures
 - Retaining walls
 - Fire sprinklers
 - Demolition of Structures
 - Swimming Pool/Spa
 - Site Walls over 3'
16. Prior to issuance of any permits a California licensed surveyor shall stake the property boundaries.

B. Prior to the issuance of a grading permit the applicant shall meet the following conditions:

17. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
18. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
19. The applicant shall prepare a deed restriction for review and approval by the City Attorney. The deed restriction shall provide for ongoing maintenance of any sump pumps by the owner(s) and any successors in interest. The deed restriction shall be recorded, free of prior liens, to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney.
20. The applicant shall submit a final landscape and irrigation plan for review and approval by the Public Works & Engineering Department

and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission and further, recognize the principles of drought tolerant landscaping.

21. Any irrigation system proposed for this project shall be designed to avoid excess watering resulting in irrigation runoff. The system shall be designed to automatically shut off in case of a pipe break or other malfunction. The automatic shut-off system, moisture shut-off sensors, and other advanced controls will be required for the installation of an automatic irrigation system.

C. Prior to Building Plan Check Submittal

22. The cover sheet of the building construction documents shall contain a blue-line print of the City's conditions of approval and it shall be attached to each set of plans submitted for City approval or shall be printed on the title sheet verbatim.
23. Building plan check submittal shall include 2 sets of the following construction documents:
 - Building Plans (3 sets)
 - Energy Calculations
 - Structural Calculations
 - Soils/Geology Report
 - Drainage Plan

All documents prepared by a professional shall be wet-stamped and signed.

24. Fire Department review is required. Submit three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval.
25. Fire sprinkler system is required or waiver from the Fire Chief. (All new residential.)
26. Building(s) shall comply with 2013 California Code of Regulations

Parts 1-12 and any local amendments thereto. Building(s) shall comply with 2013 T-24 Energy Conservation Regulations.

27. Undergrounding of all on-site utilities is required. An approved SDG&E Work Order and Undergrounding Plan are required prior to permit issuance.
28. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w.c. ration of 0.45, F'c of 4,500 psi.
29. Minimum roofing classification of type "A" is required.
30. Stairways/structures less than three (3) feet from property line requires one-hour rated construction.

D. Prior to Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:

31. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
32. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
33. An as graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading

of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

34. Verification of all conditions of approval by all City Departments.
35. All approvals from outside departments and agencies are the responsibility of the applicant.
36. The applicant shall submit payment for any and all applicable development impact fees prior to issuance of a building permit.
37. Prior to commencement of framing, the applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP15-0002 and SDP15-0018(M). The City's standard "Line & Grade Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
38. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP15-0002 and SDP15-0018(M). The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

E. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:

39. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan. A State licensed landscape architect shall certify that all plant and irrigation materials have been installed in accordance with the specifications of the final plan and shall submit said certification in writing to the Director of Community Development.
40. The automatic fire sprinkler system shall be operational in a manner meeting the approval of the Fire Chief.
41. A Final Geotechnical Report shall be prepared by the project

geotechnical consultant in accordance with the City of Dana Point Grading Manual.

42. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
43. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.
44. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
45. All permanent BMP's shall be installed and subsequent verification by either the project Landscape Architect or the Civil Engineer of Record shall be provided to the City.
46. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.

**PLANNING COMMISSION RESOLUTION NO. 15-06-22-XX
CDP15-0002 AND SDP15-0018(M)
PAGE 12**

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 22nd day of June, 2015, by the following vote, to wit:

AYES:

NOES:

ABSENT:

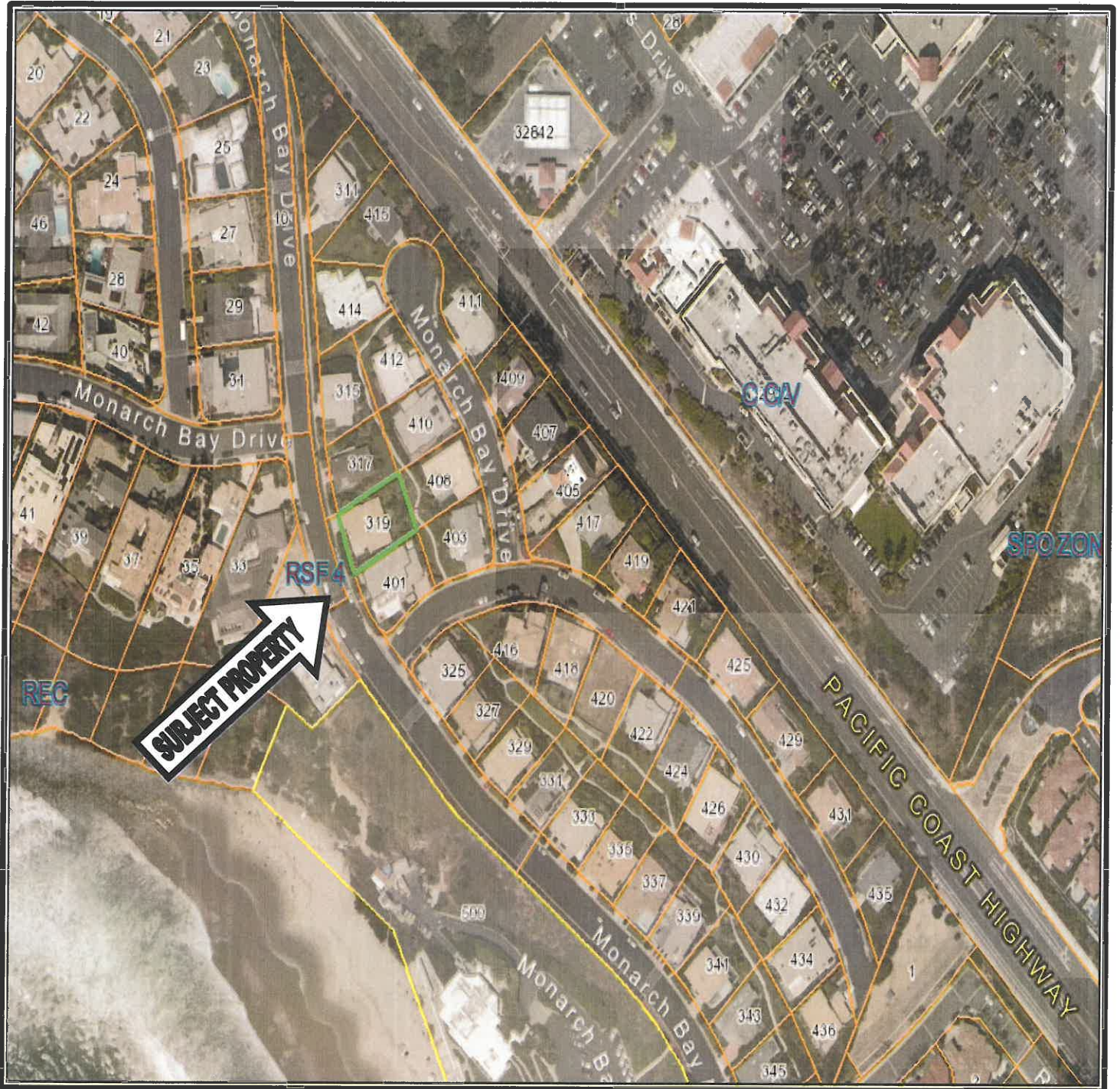
ABSTAIN:

April O'Connor, Chairwoman
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Director of Community Development

VICINITY MAP



Project: Coastal Development Permit CDP15-00002 and Minor Site Development Permit SDP15-0018(M)

Applicant: James Conrad, Architect

Location: 319 Monarch Bay Drive



The Conway Residence 319 Monarch Bay , Monarch Beach, CA 92677



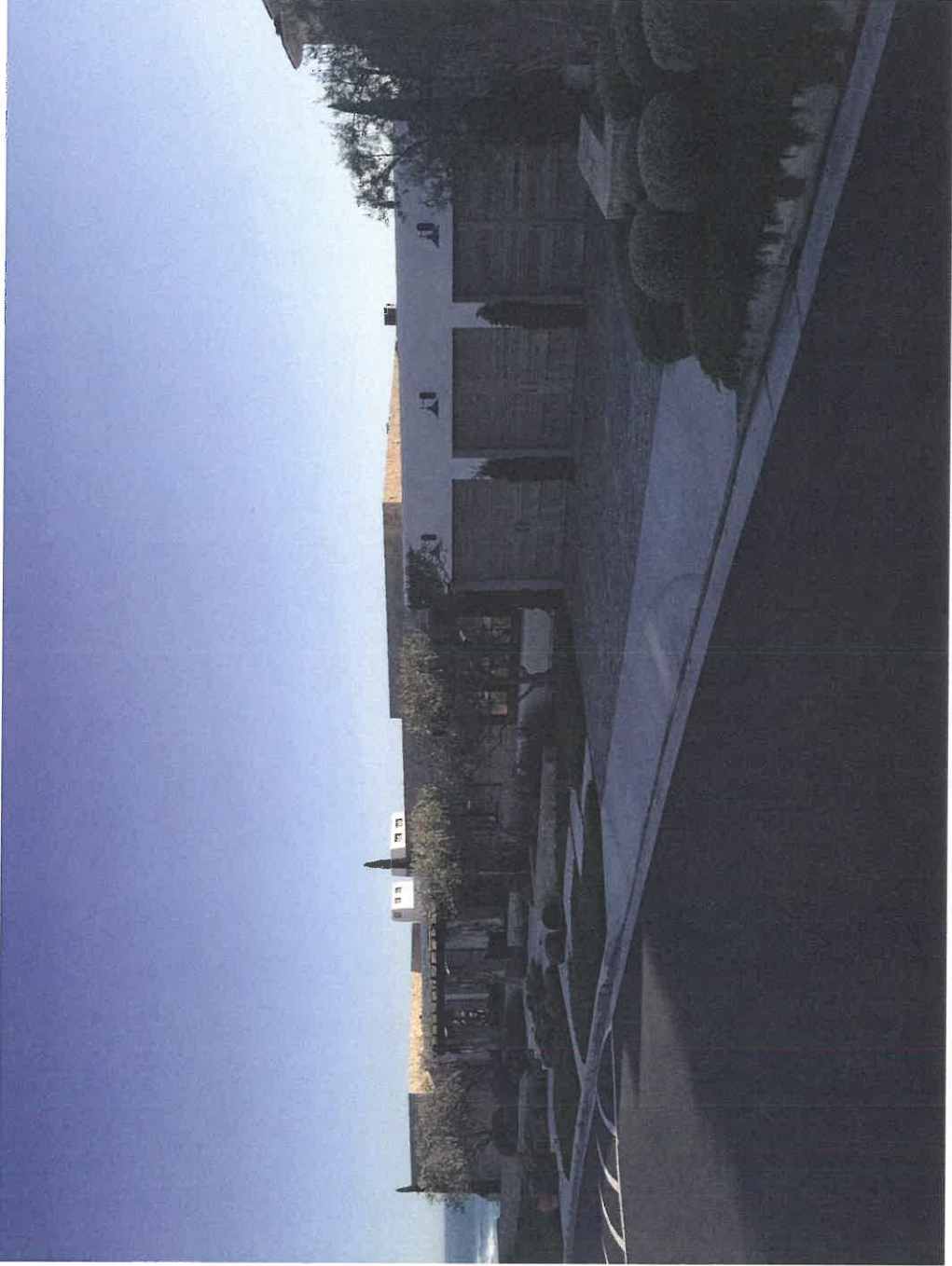
FROM THE STREET LOOKING NORTHEAST AT THE SUBJECT PROPERTY



FROM THE STREET LOOKING AT THE HOME SOUTH OF THE SUBJECT PROPERTY



FROM THE STREET LOOKING AT THE HOME NORTH OF THE SUBJECT PROPERTY



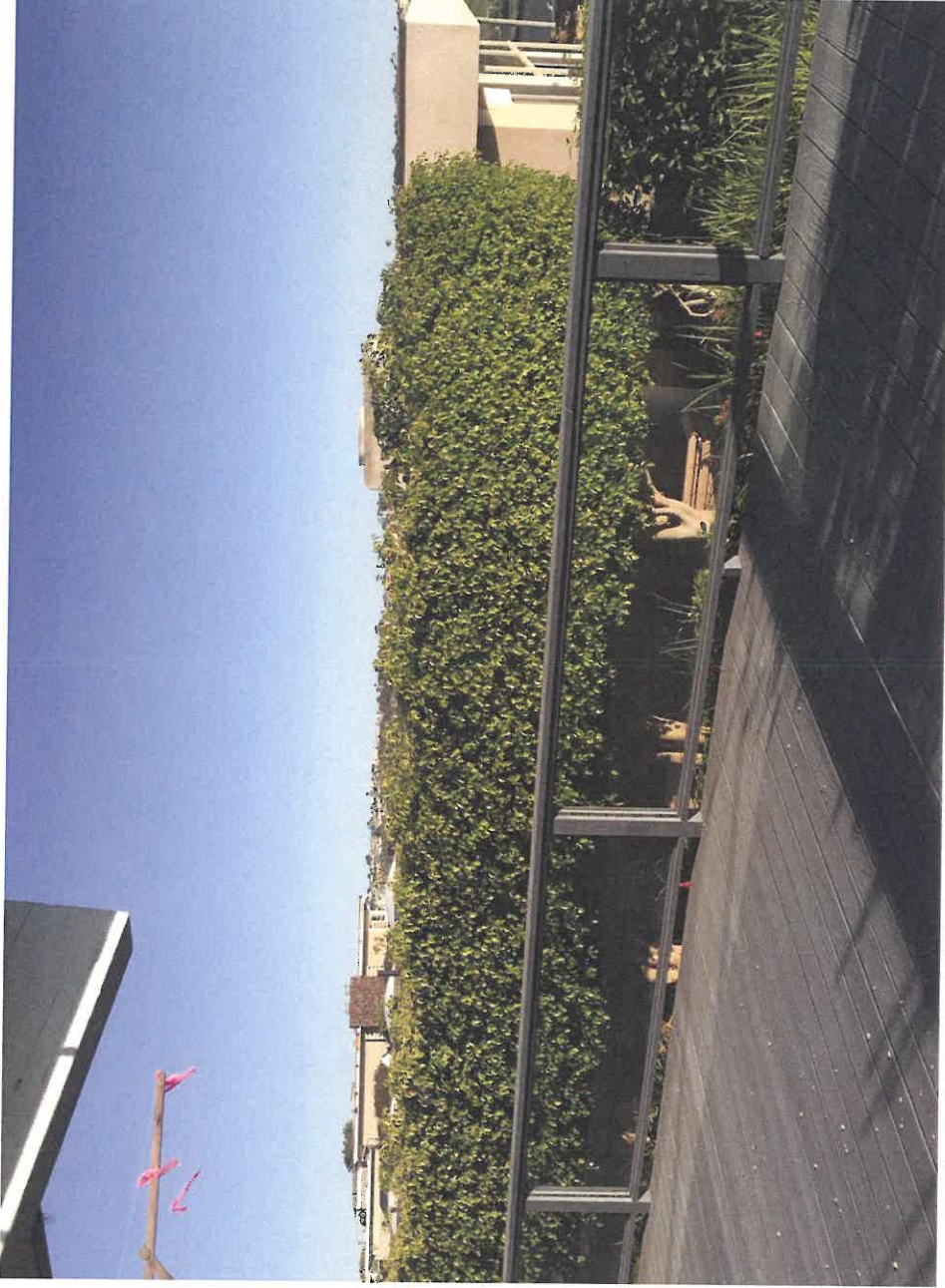
THE HOME ACROSS THE STREET AND SOUTH OF THE SUBJECT PROPERTY



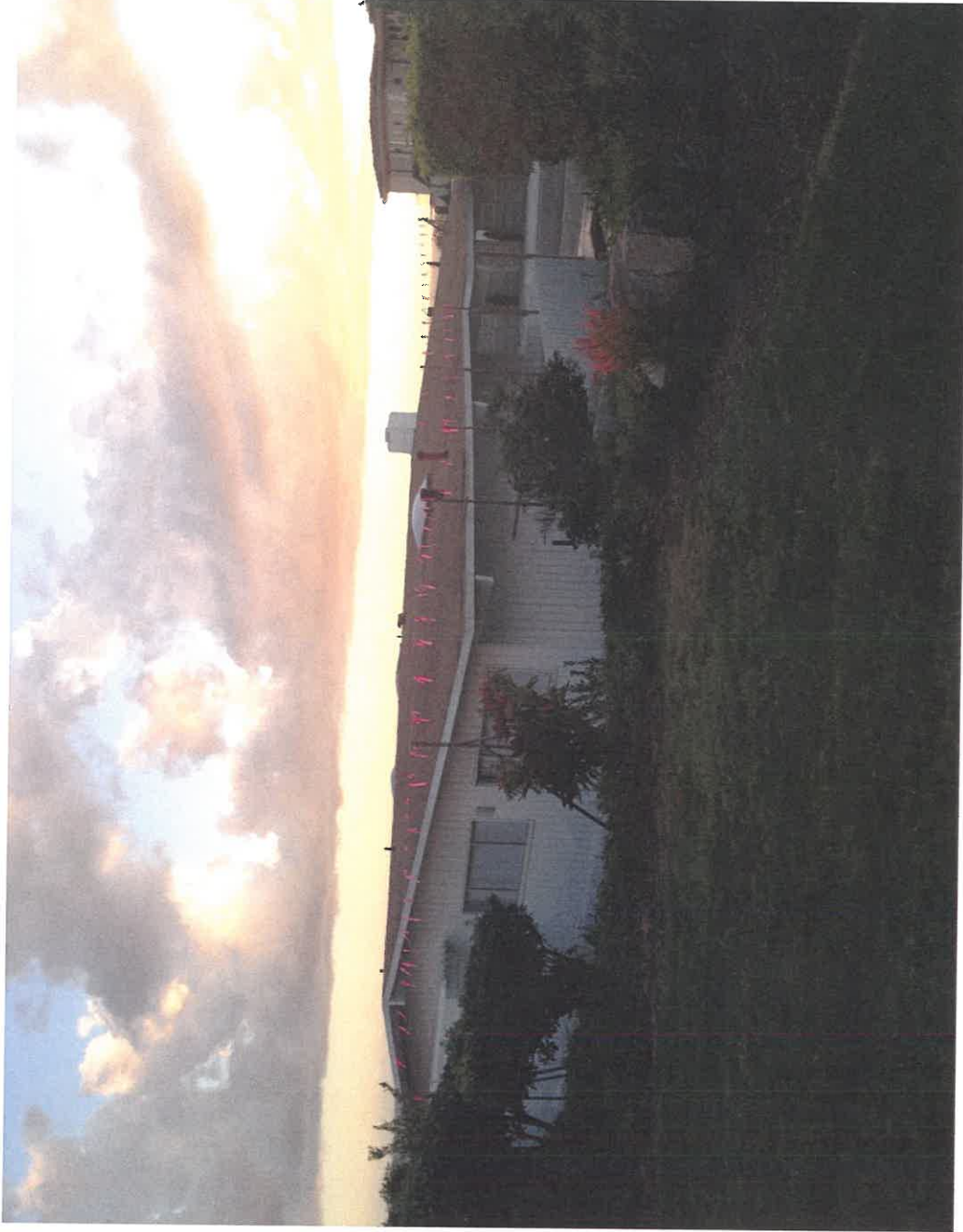
THE HOME ACROSS THE STREET AND NORTH OF THE SUBJECT PROPERTY



FROM THE SUBJECT PROPERTY LOOKING AT THE SIDE OF THE HOME TO THE NORTH



FROM THE SUBJECT PROPERTY LOOKING AT THE SIDE OF THE HOME TO THE SOUTH



FROM THE BACK LOOKING SOUTHWEST AT THE SUBJECT PROPERTY

The Conway Residence

Required Special Inspections & Observations

Special Inspection Program:

Address or Legal Description: 319 Monarch Bay Dr, Dana Point, CA 92629

Plan Check Number:

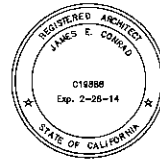
Owner: Conway, as Legal Owner or Agent of the Owner (Contractor may not Employ the Special Inspector), certify That the Architect or Engineer of record will be Responsible for Employing the Special Inspector(s) as required by the California Building Code for the Construction Project Located at the Site Listed Above.

Signed: _____

I, as Engineer or Architect of record, certify that I have Prepared the Following Special Inspection Program as Required by the California Building Code for the Construction project Located at the Site Listed Above.

Signed: _____

Engineer/Architect's Seal



List of Work requiring Special Inspections:

- Soils Compliance Prior to Foundation Inspection
- Post-tension Concrete Greater than 2,500 psi
- Field Welding
- High Strength Bolting
- Masonry Where Indicated on Plans and details
- Wood Shear Walls Where Nail Spacing is 4" on Center or Less.
- Epoxy-Installed Rebar and Bolts
- 4500 PSI Concrete

See Structural Plans and Details for Further Special Inspection Instructions

Deputy Inspectors are required to be registered with the City of Dana Point.

This Project Will Comply With the Following Codes

- Residential.....2013 CRC/2012 IRC
- Building.....2013 CBC/2012 IBC
- Mechanical.....2013 CMC/2012 UMC
- Electrical.....2013 CEC/2012 NEC
- Plumbing.....2013 CPC/2012 UPC
- Energy.....2013 Bldg Energy Efficiently Stds BEES
- Environmental...2013 CalGreen Standards

And All Applicable Local Codes & Ordinances
 NPDES, SUSMP, & BMP Requirements
 Contact Dig Alert Prior to Construction 800-227-2600
 Soils Engineer Shall Review, Stamp & Sign the Foundation
 Plan for Compliance with the Soils Report Recommendations

Project Data & Consultants

Owner:

Mark Conway
 319 Monarch Bay Drive
 Dana Point, CA 92629

Legal Description:

Lot 24
 Tract No. 4472

Building Description:

Construction Type - V-B
 Occupancy - R3/U
 Single Story
 Single Family Dwelling

Scope of Project:

Demolish Existing House & Construct New
 Single-Family Residence

Structural Engineer:

Civil Engineering:

Landscape Design:

Energy Calculations:

Interior Designer:

Project Summary

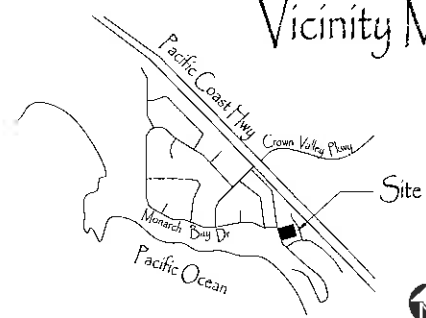
Description	Zoning Standards	
	Existing	Proposed
Use:	SFD	SFD
Zone:	RSF-4	RSF-4
Lot Area:	7,242 SF	7,242 SF
Average Lot Width:	71.15'	71.15'
Average Lot Depth:	103.63'	103.63'
Lot Coverage:	1,826/25.1%	2,896/40%
Landscaping Coverage:	4,880/67.3%	2,464/34.0%

Setbacks:		
Front Yard:	12'-0"	12'-0"
Rear Yard:	2'-0"	2'-0"
Side Yard:	5'-0"	5'-0"

Project Data

Description	Total
Living Area:	3,219 SF
Garage Area:	1,977 SF
Mech/Storage Area:	147 SF
Exercise Room:	300 SF

Vicinity Map



Sheet Index

T-1.0	Title Sheet		
G-1.0	Grading Plan		
A-1.0	Existing & Proposed Site Plan		
A-1.1	LandScape Area Calculation		
A-3.0	Proposed Lower Floor Plan		
A-4.0	Existing Main Floor Plan		
A-4.1	Proposed Main Floor Plan		
A-5.0	Floor Plans Area Calculation		
A-6.1	Proposed Roof Plan		
A-7.0	Existing Elevations		
A-7.1	Proposed Elevations		
A-7.2	Proposed Elevations		
A-8.0	Proposed Section		
A-9.0	Wall Elevations		
L-1.0	Landscaping Plan		

RECEIVED

MAY 18 2015

CITY OF DANA POINT
 COMMUNITY DEVELOPMENT
 DEPARTMENT

Notes:

- A separate plan check & permit is required for swimming pools, spas, fences, accessory buildings & grading.
- Prior to any excavation a meeting shall be held at the site attended by the project engineering geologist, project building inspector, general contractor and shoring contractor.
- Owners of adjacent properties that must underpin their buildings due to the proposed excavation shall be notified in writing 10 days prior to beginning excavation. Copies of these notification letters shall be provided to the city prior to beginning excavation.
- CAL OSHA permit shall be obtained for all excavations deeper than 5 feet. A copy of the permit shall be provided to the city prior to issuance of the building permit.
- Provide a lateral stability plan showing how lateral stability will be maintained when cuts exceed 5' in depth. Project engineering geologist & architect shall sign the plan.
- This structure requires an approved automatic sprinkler system. Quick-response standard sprinkler heads shall be used in the dwelling unit of the building.
- Maintenance information: the builder shall provide to the building owner at occupancy maintenance information for all features, materials, components & manufactured devices that require routine maintenance for efficient operation. Required routine maintenance actions shall be clearly stated & incorporated on a readily accessible label. The label may be limited to identifying, by title and/or publication number, the operation maintenance manual for that model & type of feature, material, component or manufactured device.
- Deferred submittals to be reviewed by project architect or engineer of record and certified prior to submittal for plan review.

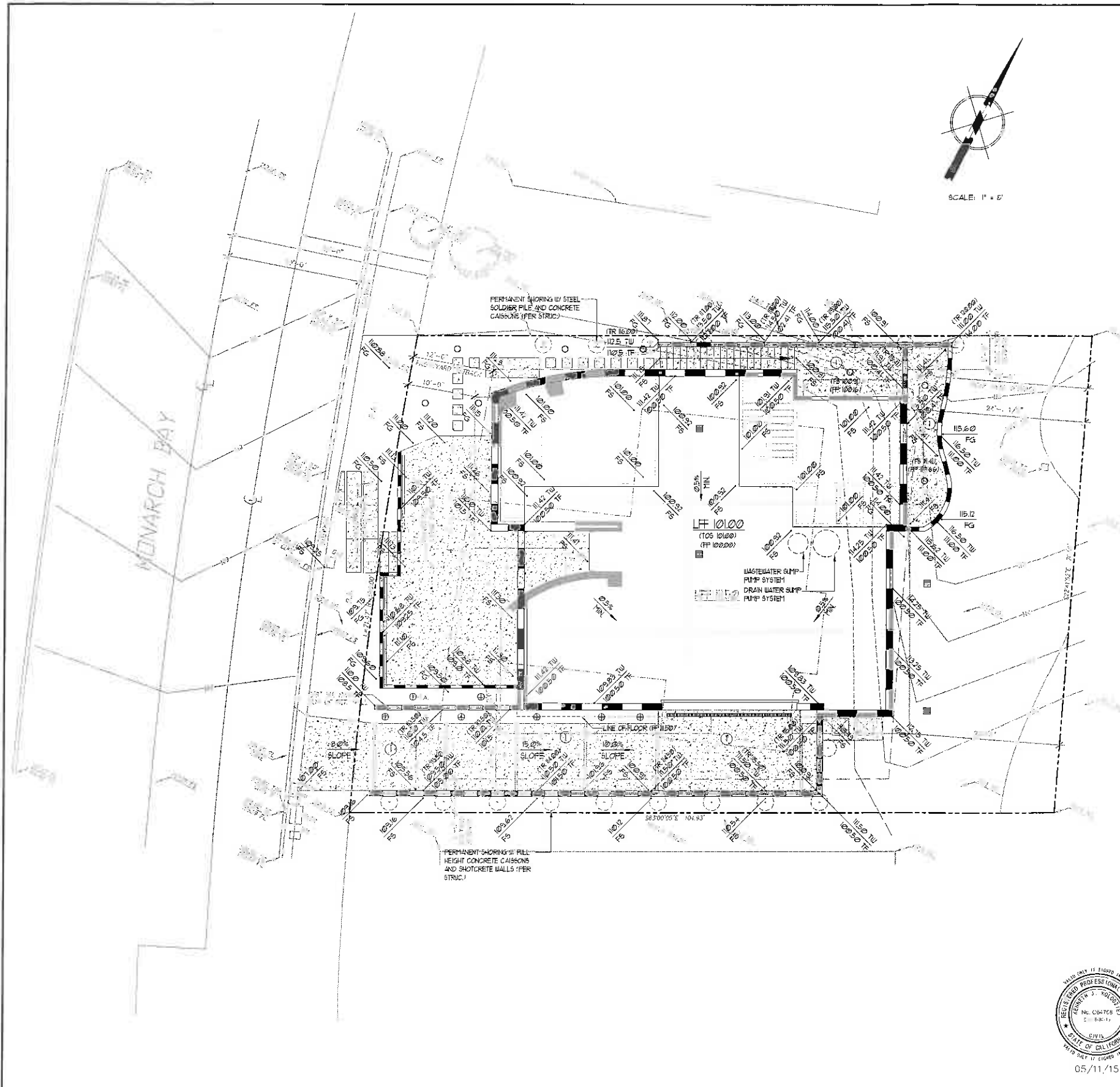
Revisions
△
△
△
△
△
△
△
△
△
△

Conway Residence
 319 Monarch Bay Drive
 Dana Point, CA 92629



1550 So. Coast Hwy #201
 Laguna Beach, CA 92651
 (949) 497-0200 Office
 (949) 497-0288 Fax
 James Conrad Architect
 architect@jconrad.net

Drawn By:	AA
Date:	30 January 2015
Scale:	N.T.S.
Format:	AutoCAD 2004
Sheet #	T-1.0



SCALE: 1" = 8'

LEGEND

	PROPOSED SPOT ELEVATION		3" DIA. SCH. 40 PVC DRAIN LINE	FF	PROPOSED FINISH FLOOR
	PROPOSED WALL SPOT ELEVATIONS		4" DIA. SCH. 40 PVC DRAIN LINE	FS	PROPOSED FINISHED SURFACE
	EXISTING ELEVATION		SLOPE OF FINISH SURFACE OR FINISH GRADE	FP	PROPOSED FINISHED P.D.
	PROPOSED NONRETAINING WALL		PROVIDE CLEANOUT AT LOCATIONS SHOWN ON PLANS USING APPROVED MATERIAL	FG	PROPOSED FINISHED GRADE
	PROPOSED RETAINING WALL		2" SQUARE CATCH BASIN (NDS OR EQUIV.) WITH HIGH STRENGTH GRATE (BY OTHERS)	INV	PROPOSED INVERT
	PLANTER WALL (CMU OR CONC.)		6" OR 8" SQUARE DRAIN (NDS OR EQUIVALENT) ALL FINISHES PER ARCHITECTURAL	FL	PROPOSED FLOW LINE
	PROPOSED CMU FENCE WALL		4" DIAMETER ATRIUM DRAIN (NDS OR EQUIVALENT) ALL FINISHES PER ARCHITECTURAL	TU	TOP OF WALL
	EXISTING WALL		DOWNSPOUT LOCATION	TF	TOP OF FOOTING
	HARDSCAPE			TG	TOP OF GRATE
	RETAINING WALL SUBDRAIN			GFF	GARAGE FINISH FLOOR
				TR	TOP OF RAILING

GENERAL NOTES

- ALL GRADING SLOPES SHALL BE PLANTED AND WATERED (SEE SHEET G1 FOR MORE INFORMATION).
- STANDARD 12" HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES.
- NO FILL TO BE PLACED UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATIONS.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 30 (SEE SHEETS G1 AND G5). OBTAIN GRADING INSPECTOR'S AND CITY OF DANA POINT APPROVAL OF PROPOSED PROCEDURES.
- GARAGE FLOOR SHALL HAVE A SLOPE OF 0.5% FROM BACK TO FRONT.
- PROVIDE THRESHOLD STEP BETWEEN GARAGE AND RESIDENCE PER ARCHITECTURAL.
- CONNECT ALL PERFORATED DRAIN LINES WHERE REQUIRED BEHIND RETAINING WALLS TO DRAIN SYSTEM (SEE STRUCTURAL DRAWINGS).
- FAD ELEVATION SHOWN ASSUMES 5" THICK CONCRETE SLAB OVER 4" OF SAND. CONSULT OTHERS FOR OVER EXCAVATION WHERE REQUIRED.
- NOTE THAT THE CONSTRUCTION MARKS (1, 2, ETC.) MAY NOT BE PROVIDED FOR EVERY OCCURRENCE. CONTRACTOR SHALL INFER THE CORRECT DRAIN OR OTHER CONDITION WHERE REQUIRED.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THIS SET OF PLANS WITH ARCHITECTURAL AND NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMPLETING WORK.
- ALL FOUNDATIONS SHOULD EXTEND TO A SUFFICIENT DEPTH IN ORDER TO PROVIDE A HORIZONTAL SETBACK OF AT LEAST 1 FT FROM THE SLOPWARD EDGE OF THE FOOTING AND THE FACE OF THE ADJACENT SLOPE.
- SOILS REPORT BY COASTAL GEOTECHNICAL, PROJECT NO. 1519/CG, DATED APRIL 21, 2015.
- RETAINING WALLS (AND SITE WALLS) SHALL REQUIRE A SEPARATE SUBMITTAL AND PERMIT FROM THE BUILDING DEPARTMENT.

CONSTRUCTION NOTES

- ALL GRADING SHALL CONFORM TO LOCAL GRADING CODES AND ORDINANCES, GOVERNING CBC, AND NOTES ON SHEET G1.
- MAINTAIN FINISH GRADE DOWN FROM BOTTOM OF ALL MUDSILLS PER PLANS.
- MAINTAIN FINISH SURFACES DOWN FROM BOTTOM OF ALL MUDSILLS PER PLANS.
- ALL DRAIN LINE INVERTS (FLOW LINES) SHALL SLOPE 1% MINIMUM.
- FOR THAT AREA 10 FT FROM THE BUILDING, SLOPE ALL GROUND A MINIMUM OF 5% AWAY FROM BUILDING FOR ALL OTHER SURFACE DRAINAGE WATER (I.E. SHEET FLOW) USE A SLOPE OF 2% MINIMUM. WHERE ROUGH GROUND EXISTS, INCREASE SLOPE AS REQUIRED.
- INSTALL OVERFLOW LINE FROM POOL, SPA OR BASIN TO DRAIN LINE SYSTEM IF REQUIRED PER CITY RECOMMENDATIONS.
- FOR THAT AREA 10 FT FROM THE BUILDING, SLOPE ALL FINISHED SURFACES A MINIMUM OF 2% AWAY FROM BUILDING FOR ALL OTHER FINISHED SURFACES. USE A MINIMUM SLOPE OVER SMOOTH, PAVED SURFACES OF 0.5%. WHERE PAVED SURFACES ARE NOT SMOOTH, USE STEEPER SLOPE AS REQUIRED.
- ALL DRAIN INLETS SHALL BE NDS (OR EQUIV.) AND SHALL BE EITHER 4", 6" OR 8" SQUARE (OR ROUND), OR 4" ATRIUM DEPENDING ON THE LOCATION (SEE PLAN FOR CALLOUTS).
- ALL DRAIN PIPE SHALL BE 3" OR 4" SCHEDULE 40 PVC. SEE PLAN AND LEGEND FOR MORE INFORMATION.
- ALL SUBDRAINS, INLETS, AND OUTLETS SHALL BE SURVEYED FOR LINE AND ELEVATIONS AS SHOWN ON THE APPROVED GRADING PLANS.
- PROVIDE OVERFLOW LINE FOR ENTRY WATER FEATURE.
- POOL EQUIPMENT DRAIN SHALL CONNECT TO SEWER SYSTEM.
- PROVIDE OVEREXCAVATION OF 3" IN DEPTH (VERIFY W/ SOILS ENGR) TO EXTEND 3' BEYOND EDGE OF BUILDING FOOTPRINT AND ALL OTHER HARDSCAPE IMPROVEMENTS (SLABS, WALLS, ETC.).
- GARAGE FLOOR SHALL SLOPE 0.5% (MIN.) TO TRENCH DRAIN AS SHOWN.

CONSTRUCTION DETAILS

- CONSTRUCT CONCRETE SLAB ON GRADE PER DETAIL A
- INSTALL CATCH BASIN PER DETAIL B
- INSTALL AREA DRAIN PER DETAIL C
- INSTALL ATRIUM AREA DRAIN PER DETAIL D
- INSTALL CONCRETE CURB PER DETAIL E
- INSTALL DECK DRAIN PER DETAIL F
- INSTALL DRY WEATHER FLOW DIVERSION BASIN PER DETAIL H
- INSTALL DOWNSPOUT PER LOCATIONS SHOWN (VERIFY W/ ARCH) W/ SPLASH PAD PER DETAIL J

EARTHWORK QUANTITIES AND NOTES

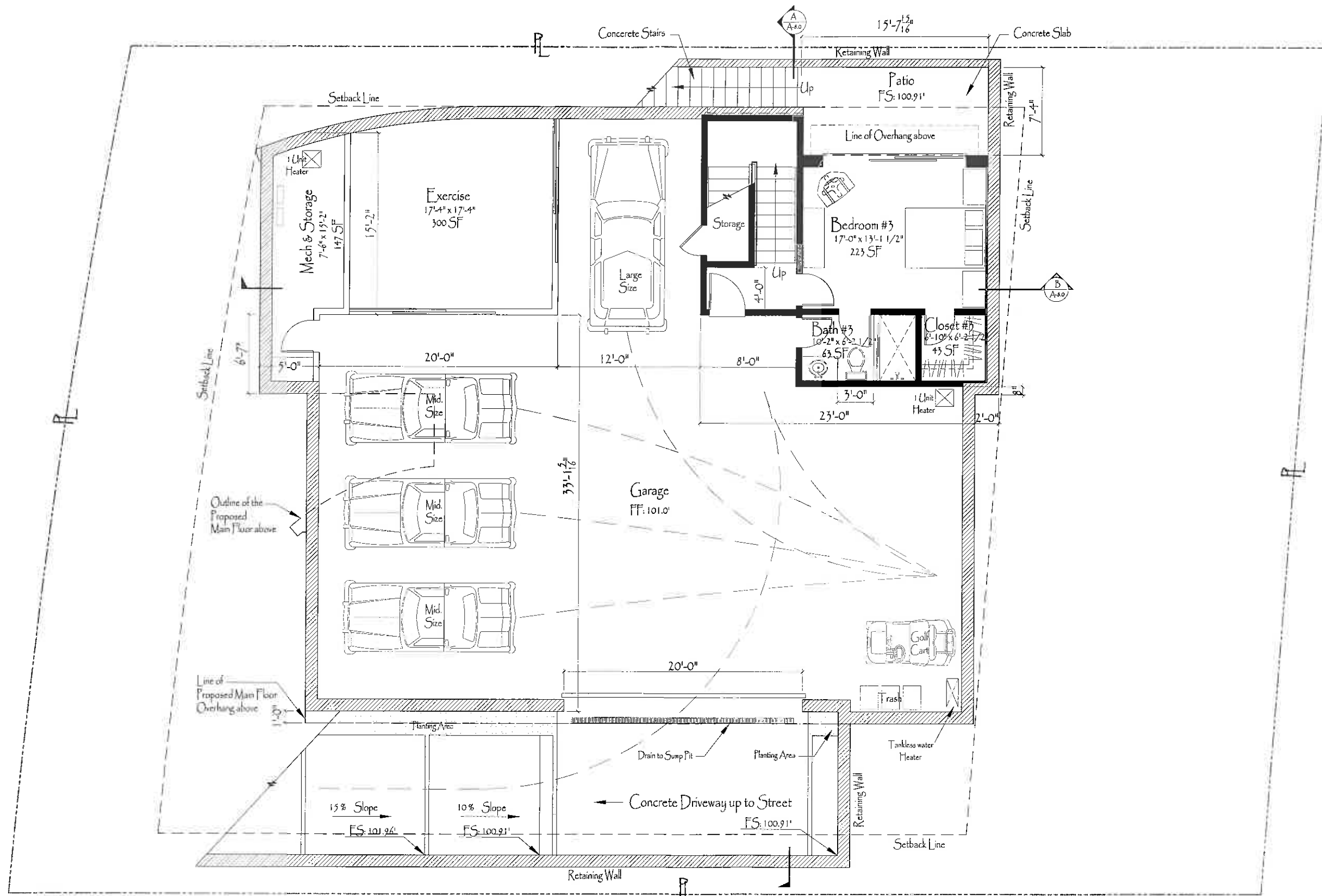
TOTAL CUT	11400 C.Y.
TOTAL FILL	1500 C.Y.

NOTE THAT THE ABOVE LISTED QUANTITIES REPRESENT AN ESTIMATE OF THE ACTUAL VOLUME OF CUT AND FILL. THESE VALUES ARE ONLY FOR ESTIMATES AND BIDDING PURPOSES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPUTE CUT AND FILL FOR BIDDING PURPOSES.



05/11/15

DATE: 5-1-15	SCALE: NONE	DESIGNER: KJK	CHECKER: KJK	AP ENGINEERING STRUCTURAL & CIVIL DESIGN 400 F. EITHER PLAZA PLATE, CA 92870 PHONE: 714 990 1519 FAX: 714 238 1550 EMAIL: info@ap-engineer.com	BENCHMARK OCS BENCHMARK ELEV. = XX.XX	CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 319 MONARCH BAY DR. DANA POINT, CA 92629	CITY OF DANA POINT G1.0: GRADING PLAN CONWAY RESIDENCE 319 MONARCH BAY DR. DANA POINT, CA	2 OF 6 SHEETS
--------------	-------------	---------------	--------------	--	---	--	---	---------------



Revisions	

Conway Residence
 319 Monarch Bay Drive
 Dana Point, CA 92629



James Conrad Architect
 1570 So. Coast Hwy # 201
 Laguna Beach, CA 92651
 (949) 497-0200 Office
 (949) 497-0288 Fax
 architect@jconrad.net

Proposed Lower Floor Plan

Wall Legend:
 Masonry Retaining Wall
 2x Stud Wall w/ 5/8" GWB each side @ Interior

362 SqFt - Living Area (Excludes Stairway)
 1,977 SqFt - Garage Area
 300 SqFt - Exercise Area
 147 SqFt - Mech. & Storage Area
 2,786 SqFt - Total

FF: 101.0'

Drawn By:	AA
Date:	30 January 2013
Scale:	1/4" = 1'-0"
Format:	AutoCAD 2004
Sheet #	A-3.0



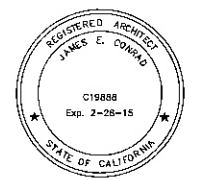
Existing Main Floor Plan

1,735 SqFt-Living Area
 85 SqFt-Mech. Room
 1,820 SqFt-Total

FF: 112.6'

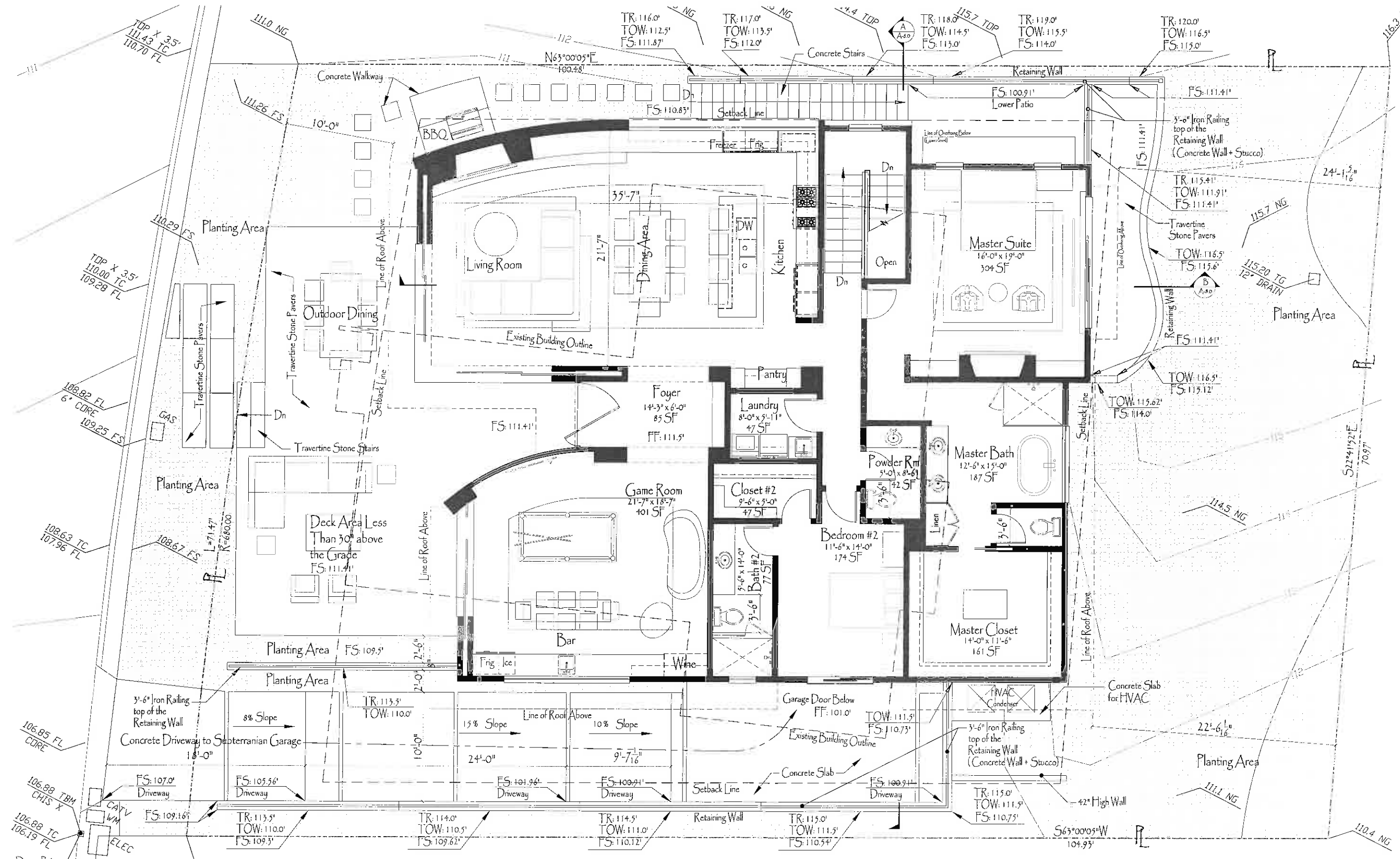
Revisions	
△	
△	
△	
△	
△	
△	
△	
△	

Conway Residence
 319 Monarch Bay Drive
 Dana Point, CA 92629



James Conrad Architect
 1550 So. Coast Hwy #201
 Laguna Beach, CA 92651
 (949) 497-0200 Office
 (949) 497-0288 Fax
 architect@jconrad.net

Drawn By:	AA
Date:	30 January 2013
Scale:	1/8" = 1'-0"
Format:	AutoCAD 2004
Sheet #	A-4.0



Wall Legend:

- Masonry Retaining Wall
- 2x Stud Wall w/ 5/8" GWB each side @ Interior

Proposed Main Floor Plan

2,857 SqFt - Living Area
FF: 111.5'

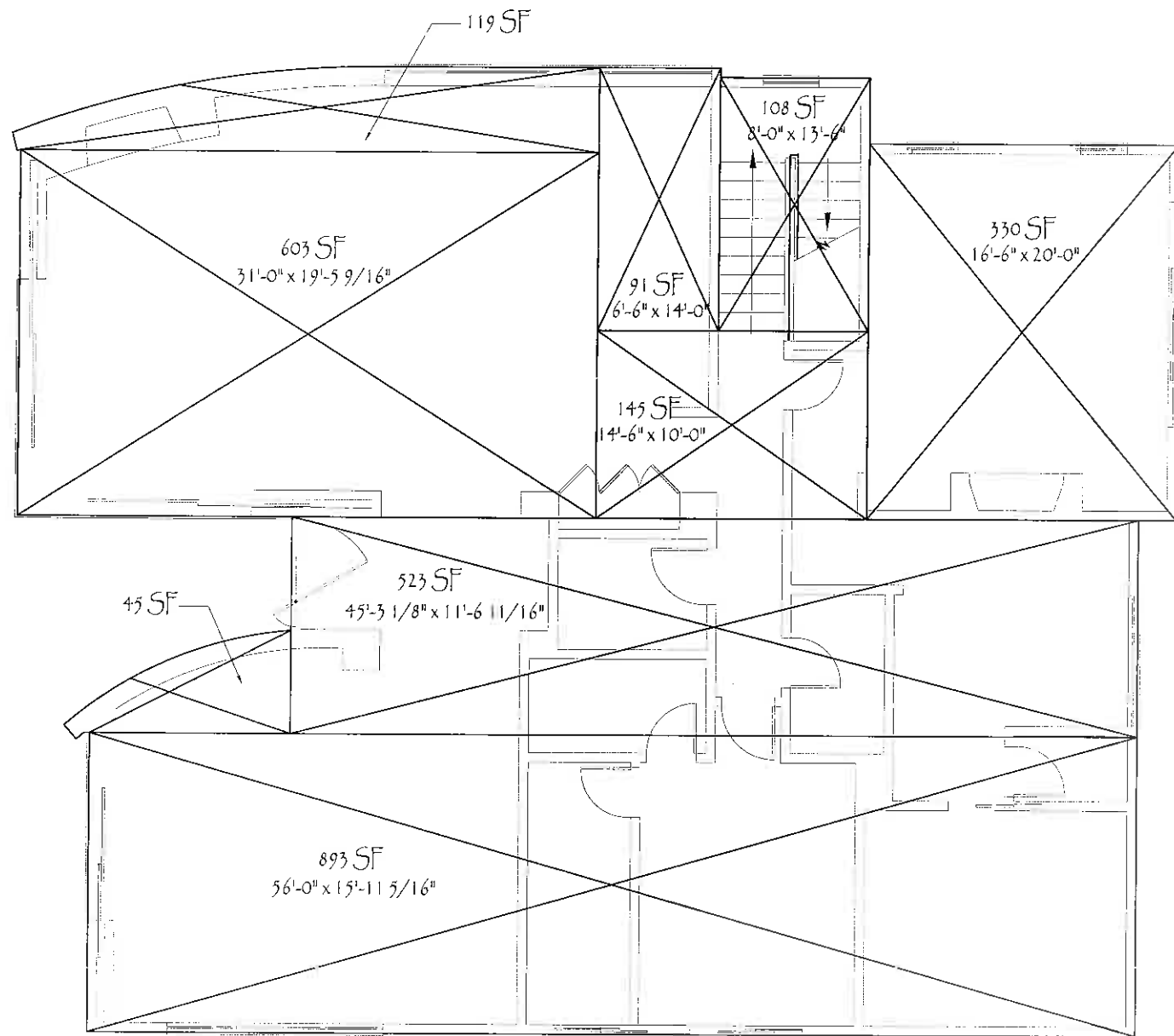
Revisions	

Conway Residence
319 Monarch Bay Drive
Dana Point, CA 92629



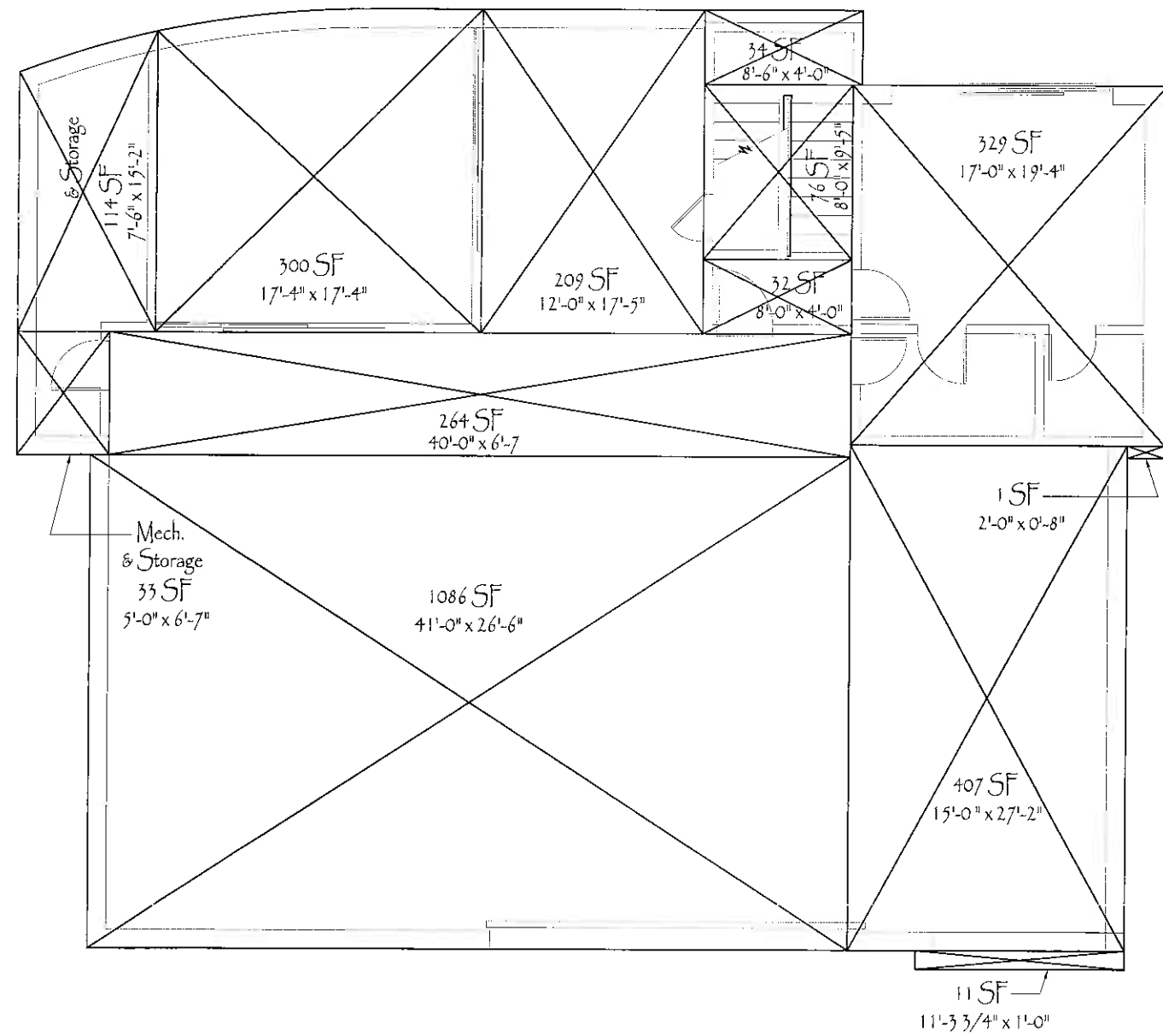
James Conrad Architect
1550 So. Coast Hwy #201
Laguna Beach, CA 92651
(949) 497-0200 Office
(949) 497-0288 Fax
architect@jconrad.net

Drawn By	AA
Date:	10 January 2013
Scale:	1/8" = 1'-0"
Format:	AutoCAD 2004
Sheet #	A-4.1



Main Floor Area Calculation

Living Area = 2,857 SF (Includes Stairway)



Lower Floor Area Calculation

Living Area = 362 SF (Excludes Stairway)
 Mech. & Storage Area = 147 SF
 Exercise Area = 300 SF
 Garage Area = 1,977 SF

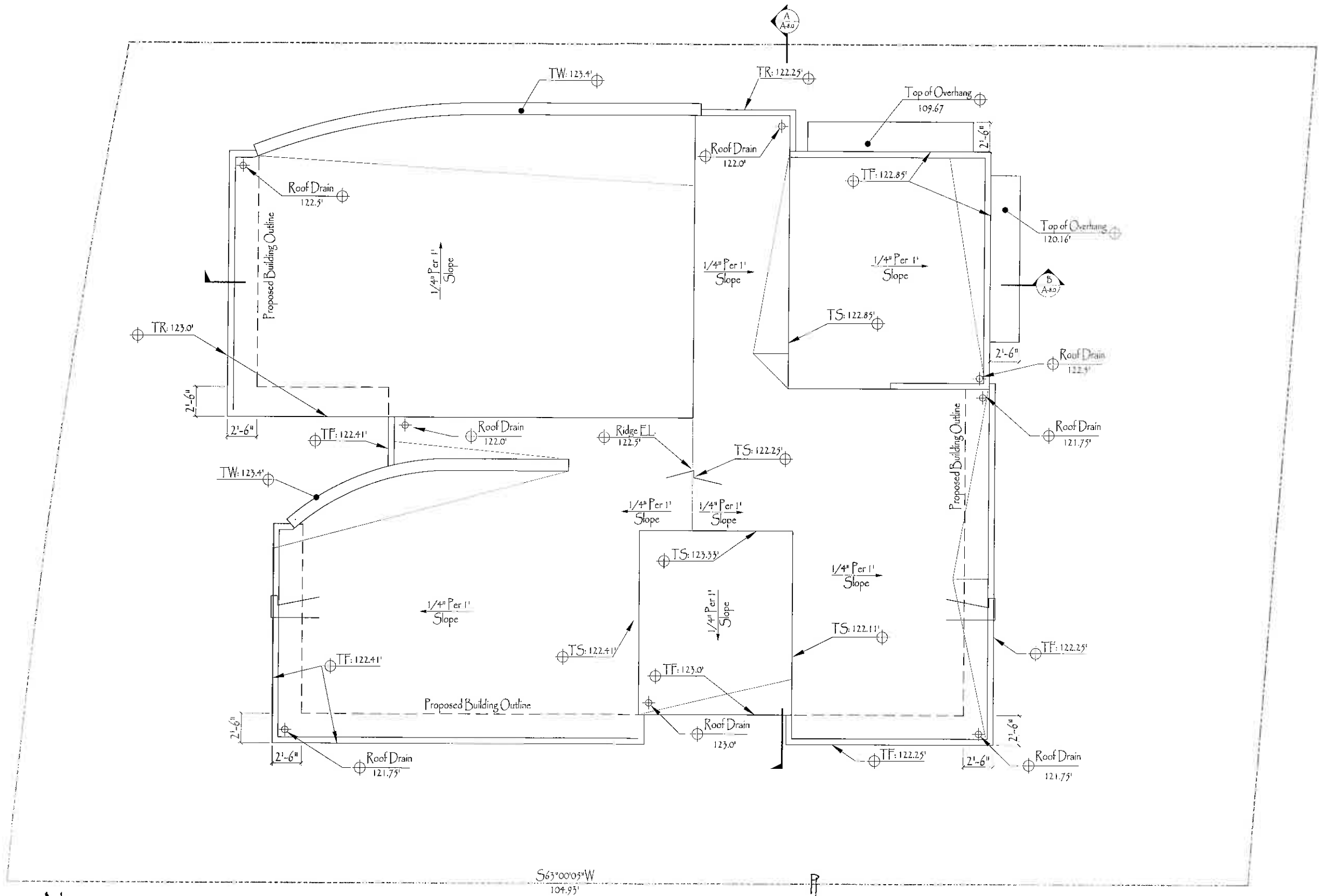
Revisions	

Conway Residence
 319 Monarch Bay Drive
 Dana Point, CA 92629



1570 So. Coast Hwy #201
 Laguna Beach, CA 92651
 (949) 497-0200 Office
 (949) 497-0288 Fax
James Conrad Architect
 architect@jconrad.net

Drawn By:	AA
Date:	30 January 2013
Scale:	1/4" = 1'-0"
Format:	AutoCAD 2004
Sheet #	A-5.0



Notes:

1. Water proof decking w/ Mer-Kote dual membrane system ICBO #3389.
2. Roof surface to be class "A" fire resistant built-up roofing.
3. Eaves and Soffits shall meet the requirements of FSM 121-7a-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside (704a2.3).
4. Install 2" deck drains and connect 2" primary drains to area drains. Discharge into street.
5. Chimneys to have approved spark arrestors.
6. All roof fasteners shall be installed per manufacturer's instructions and must resist wind loads over 80 mph. OC Building Ordinance 03-003.

7. Roof, attic & wall vents, if occurs, to be covered with metal louvers and 1" (6mm) mesh corrosion-resistant screen or its equivalent. No vents shall be installed in eaves or cornices (704a.2.1, 704a3.2.1, 7207.3).
8. No plastic skylights are allowed in the City of Laguna Beach Ordinance #1478.
9. Roof assembly shall be listed by an approved testing agency.
10. Radiant barrier per T-2+ Report requires face down foil on one side of roof sheathing.
11. All exterior wood shall be factory treated fire-retardant wood per Chapter 7A of CBC 2013.

Proposed Roof Plan

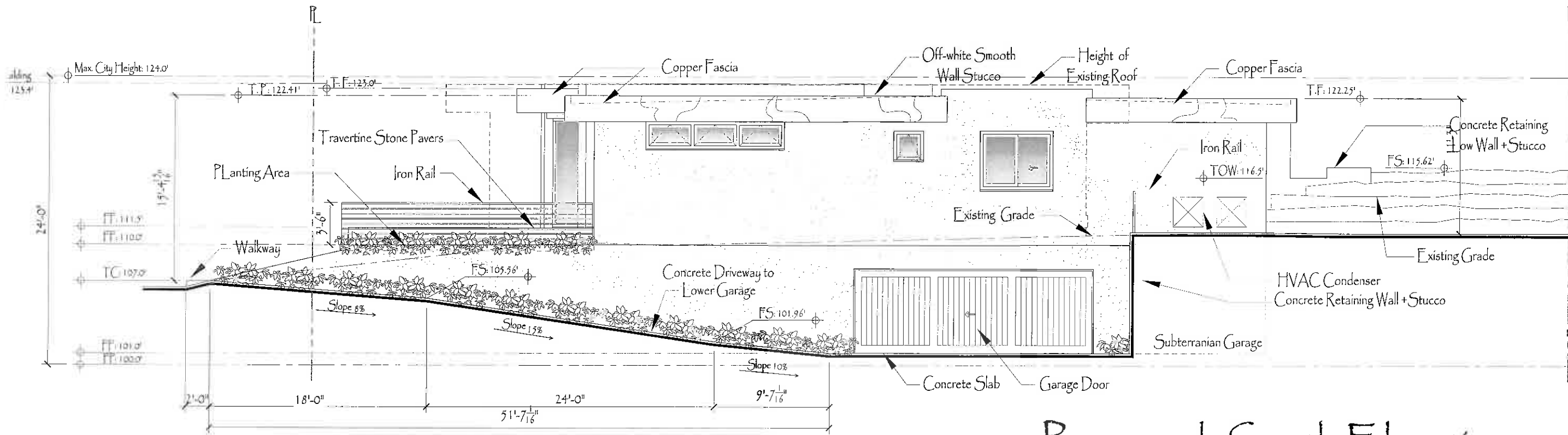
Revisions	

Conway Residence
 319 Monarch Bay Drive
 Dana Point, CA 92629

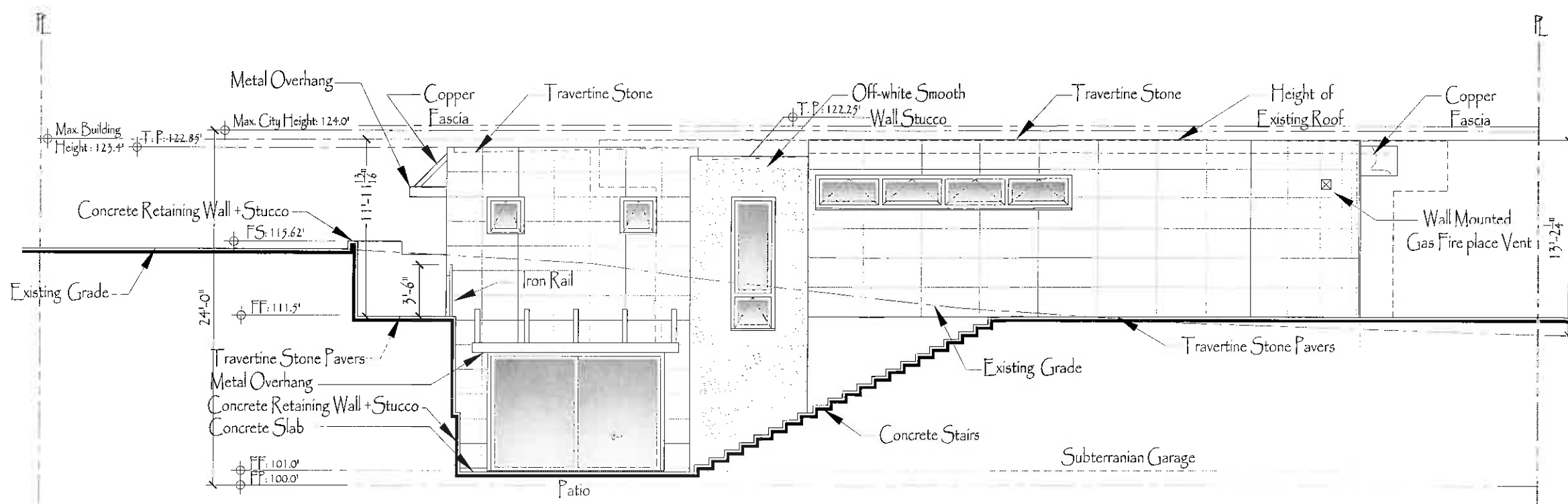


James Conrad Architect
 1530 So. Coast Hwy #201
 Laguna Beach, CA 92651
 (949) 497-0200 Office
 (949) 497-0288 Fax
 architect@vczonline.net

Drawn By:	AA
Date:	30 January 2015
Scale:	1/8" = 1'-0"
Format:	AutoCAD 2004
Sheet #	A-6.1



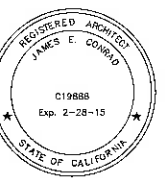
Proposed South Elevation



Proposed North Elevation

Revisions	

Conway Residence
 519 Monarch Bay Drive
 Dana Point, CA 92629



1550 So. Coast Hwy #201
 Laguna Beach, CA 92651
 (949) 497-0200 Office
 (949) 497-0288 Fax
James Conrad Architect
 architect@jconrad.net

Drawn By: AA
 Date: 30 January 2013
 Scale: 1/4" = 1'-0"
 Format: AutoCAD 2004
 Sheet # A-7.2

PLANT LIST

Trees	Size	Quantity
Arbutus unedo 'Mullii' Strawberry Tree	24" box	7
Herbaceous	Size	Quantity
Ficus nitida Indian Laurel Fig	15 gal.	27
Shrubs	Size	Quantity
Agave americana var. protuberans Agave	15 gal.	1
Chondrostachyum elephanthinum Large Cape Rush	5 gal.	917
Dialia grandiflora Forsythia Lil	5 gal.	4
Euphorbia characias 'Yuffera' Spruce	15 gal.	13
Ilex vomitoria Yaupon Holly	5 gal.	11
Laurus nobilis 'Sweet Bay' Bay Laurel 'Mullii'	15 gal.	52
Miscanthus sinensis 'Adagio' Adagio Maiden Grass	5 gal.	16
Olea europaea 'Montro' Little Olive 'Dwarf'	5 gal.	xxx
Pittosporum crassifolium compactum Dwarf Kero	5 gal.	16
Pittosporum tenuifolium 'Golfball' Golf Ball Kohuhu	5 gal.	1
Rhamnus alaternus 'Joni Edwards' Italian Buckthorn	5 gal.	1
Rhamnus alaternus 'Mullii' Italian Buckthorn	15 gal.	3
Wisteria fruticosa 'Smokey' Coast Rosemary	5 gal.	4
Groundcover	Size	Quantity
Acacia reticulata 'Lo-Bay' Prostrate Acacia	5 gal.	70
Agave 'Blue Glow' Blue Glow Agave	5 gal.	41
Eucalyptus fortunei 'Cobarius' Purpleleaf Wintercreeper	5 gal.	38
Miscanthus sinensis 'Little Kitten' Little Kitten Maiden Grass	1 gal.	70
Sesleria autumnalis Autumn Moor Grass	1 gal.	11
Groundcover	Size	Quantity
Dymondia marginatae Dymondia	Dir Flats	16
Sarcocolla mandraliscae Blue Chalksticks	4" Flats	3
Sarcocolla salsicola Baby Isaac	Dir Flats	1
Wisteria fruticosa 'Morning Light' Lav. Coast Rosemary	1 gal.	1
Wisteria minor Dwarf Pen-Ink	1 gal.	15

Planter Bed Finish Surface:
All other planter beds: Green All Micro Bark. Manufactured by E.B. Stone

Construction Notes:

- A. Contractor shall examine the site of proposed work noting existing conditions and proposed work as shown on the plans. Notify landscape designer of discrepancies
- B. Contractor shall stake proposed work prior to construction for review by landscape designer
- C. Protect existing utilities, paving and structures from damage. Trenching adjacent to existing tree drip lines to be done by hand to avoid root damage
- D. Construction and installation of all landscape items shall be according to State, County, and Local codes, Ordinances and up to CAL OSHA safety orders regarding performance of work
- E. Contractor to obtain required permits and comply with applicable codes
- F. All Concrete edges to be 1/8" trowel
- G. All Stucco edges to be 1/8" trowel

- H. Contractor is responsible for damage to underground utilities and shall replace or repair same required at contractors expense
- I. Contractor shall assemble material sampled including: flagstone, gravel, DG, stains, Stucco, ect. for review by owner and landscape designer prior to construction
- J. Contractor to coordinate work with other trades
- K. Verify grades and elevations in field and notify landscape design of discrepancies
- L. Contractor to review site for proper drainage and report apparent problems to landscape designer
- M. Contractor to verify location of any surface drains in concrete surface prior to pour for location verification by owner and landscape designer
- O. Contractor shall install this project utilizing the landscape industries B.M.P. Best Management Practices

Planting Notes:

- A. Verify plant placement with landscape designer prior to planting
- B. Microbark in all planting areas.

Irrigation notes:

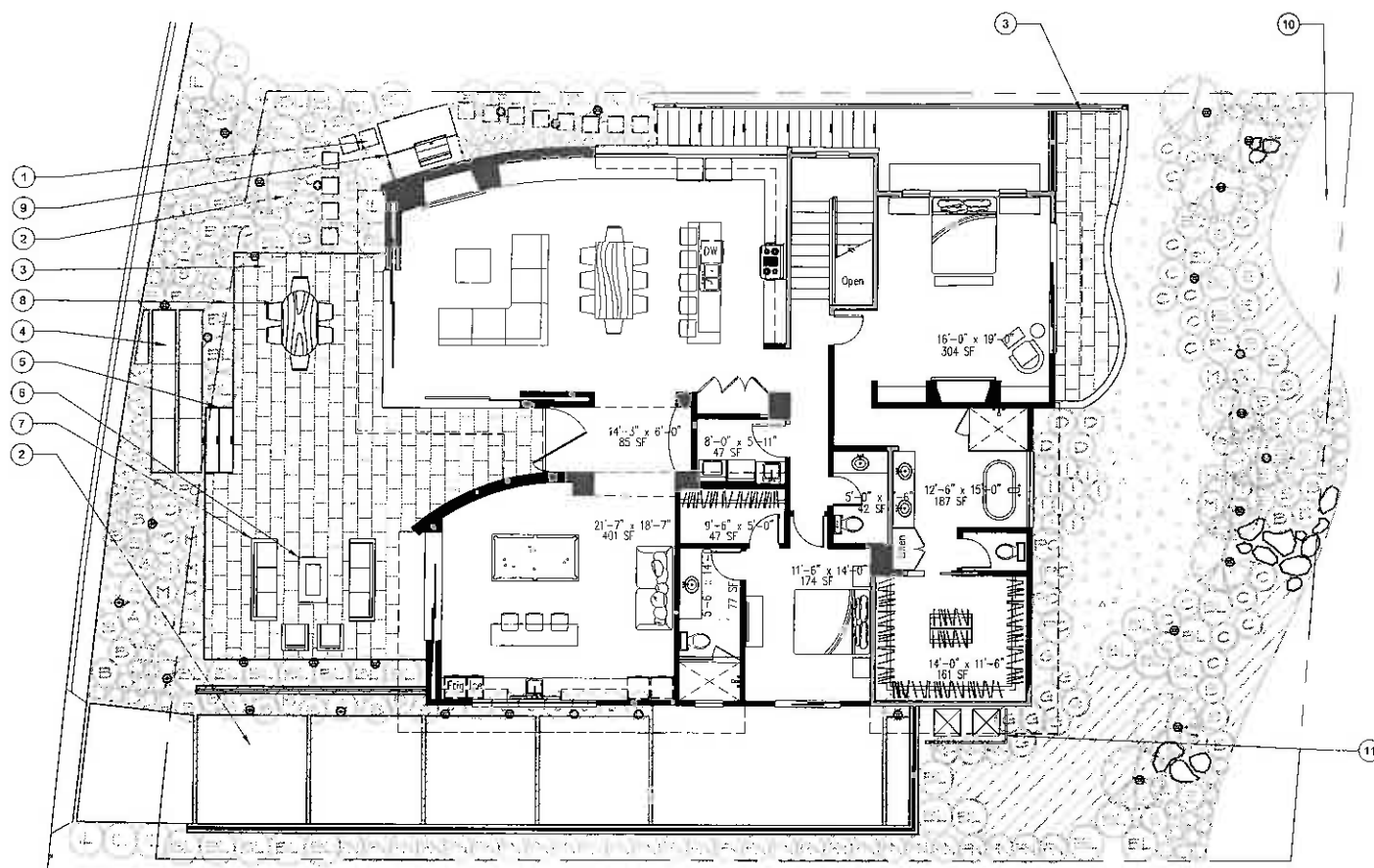
- A. Verify valve locations with owner and landscape designer prior to install
- B. Install independent valve for each fountain
- C. Install Netafim in all planter beds

HARDSCAPE LEGEND

1. Smooth sand finish Davis 'Miami Buff' colored concrete walkway with 4" green seams
2. Smooth sand finish Davis 'Miami Buff' colored concrete driveway with 4" green seams
3. Raised Patio
 - a. Flatwork: Materials Marketing Limestone
 - a.a. Size: 12" x 24"
 - a.b. Color: Charcoal
 - a.c. Finish: Brushed
 - a.d. Pattern: Running bond
 - a.e. Grout Joints: 3/8"
 - a.f. Grout: TBD
 - a.f.a. Note: All exposed perimeter edges to be chiseled finish
 - b. Face: Materials Marketing Limestone
 - a.a. Size: 12" x 24"
 - a.b. Color: Charcoal
 - a.c. Finish: Chiseled
 - a.d. Pattern: Running bond
 - a.e. Grout Joints: 3/8"
 - a.f. Grout: TBD
4. Materials Marketing Limestone
 - a. Size: 24" x 60"
 - b. Color: Charcoal
 - c. Finish: Brushed
 - d. Pattern: Stack bond
 - e. Grout Joints: 3/8"
 - f. Grout: TBD
5. Materials Marketing Limestone
 - a. Size: 24" x 60"
 - b. Color: Charcoal
 - c. Finish: Brushed
 - c.a. Note: All exposed edges to be chiseled finish
6. Baltic Rectangle Natural Gas Fire Table
 - a. Manufacture: Real Flame
 - b. Color: Kodiak Brown
 - c. Size: 50" L x 32" W x 15.5" H
 - d. Natural Gas
 - d.a. 50,000 BTU's
7. Furniture arrangement:
 - a. (2x) Deep Seat Couches
 - b. (2x) Deep Seat Chairs
8. Furniture arrangement:
 - a. Dining Table
 - b. (6x) Dining Chairs
9. Built in BBQ:
 - a. Cap: Polished and sealed Davis 'Miami Buff' colored concrete countertop
 - b. Face: Smooth Stucco:
 - b.a. Color: To match house
 - b.b. Texture: To match
 - c. 36" Grill
10. Existing Greenbelt
11. 48" Screen Wall

Lighting Legend

Symbol	Model	Description	Finish	Type	QTY
⊙	TOP-UL-118	Small up light	Matt Bronze	12v LED	5
⊙	TOP-UL-142	Medium up light	Matt Bronze	12v LED	26
⊙	TOP-PL-300	Path Light	Matt Bronze	12v LED	5
⊙	TOP-SL-LGBX	Step Light	Brass	12v LED	1
⊙	TOP-SL-S48	Step Light Lower	Matt Bronze	N/A	1



Conway Residence
319 Monarch Bay Drive
Laguna Beach, California

These Plans are Conceptual and are explicitly not to be bid by any Contractor. Details on these Conceptual Plans are not accurate.

Date 03.25.15

Revisions
03.30.15
04.28.15
05.07.15

Drawn By

Sheet

L-1

Of 1

Job No. 0000

James Conrad, Architects

1550 S. Coast Hwy. Suite 201
Laguna Beach, CA 92651
Phone (949) 233-8625

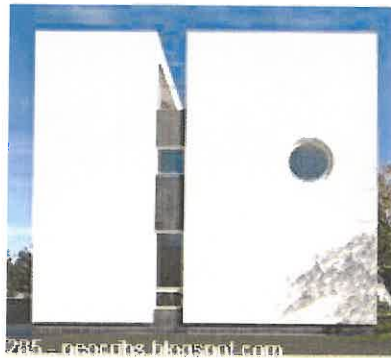
January 30, 2015

**The Conway Residence 319 Monarch Bay
Monarch Beach, CA 92677**

COLOR BOARD



Travertine
Stone Veneer



Stucco For Exterior
and Retaining Wall



Copper fascia



Window frames



Guard Rail



Monarch Bay Association

April 7, 2015

Mark Conway
58 Canyon Creek
Irvine, CA 92603

via e-mail

RE: 319 MONARCH BAY DRIVE
APPROVAL OF NEW HOME CONSTRUCTION PLANS – CONRAD ARCHITECTS
DATED 1/30/15

Dear Mr. Conway,

The Monarch Bay Association Architectural Control Committee approved and stamped your plans as submitted for the new home construction of 319 Monarch Bay Drive to include variances for the footprint expansion and roof height extension.

A construction deposit is required to be submitted for this project in the amount of \$25,000 which will be refunded minus road use fees upon the successful completion of your project.

Enclosed are the Construction Rules so that you may share these with your contractor so they know what is expected of them when working within the community. Please note that no construction may commence until the fees/deposits are received accordingly.

Thank you again for your thorough submittal.

Respectfully,

THE MONARCH BAY ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE

CC: Board
Jim Conrad via e-mail
MB/319/arch/new home construction approval/04.07.15

PC Supporting Document 6