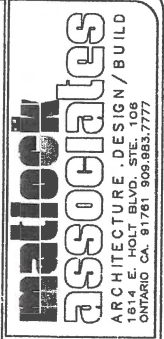


# PROPOSED MASTER PLAN - REVISED ALTERNATIVE

Conditional Use Permit Submittal for:  
**South Shores Church**

32712 Crown Valley Parkway  
 Dana Point, California 92629

( CDP 04-11 / CUP 04-21 / SDP 04-31 )



ARCH/ENG STAMP

REVISED ALTERNATIVE  
 Conditional Use Permit Submittal for:  
**South Shores Church**  
 32712 Crown Valley Parkway  
 Dana Point, California 92629

JOB NO.  
 21235

DRWN/CHK'D  
 SL/AM

DATE	ISSUE
<input checked="" type="checkbox"/> MAY.20.13	CUP Submittal
<input checked="" type="checkbox"/> DEC.03.13	CUP Submittal
<input checked="" type="checkbox"/> MAR.09.15	Submittal
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

SHT. TITLE

C.U.P.  
 COVER SHEET

SHEET NO.

**A0.0**

RECEIVED  
 MAR 19 2015  
 CITY OF DANA POINT  
 COMMUNITY DEVELOPMENT  
 DEPARTMENT



ARCH/ENG STAMP

**REVISED ALTERNATIVE**  
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**South Shores Church**  
 32712 Crown Valley Parkway  
 Dana Point, California 92629

JOB NO.  
21235

DRWN/CHK'D  
SL/AM

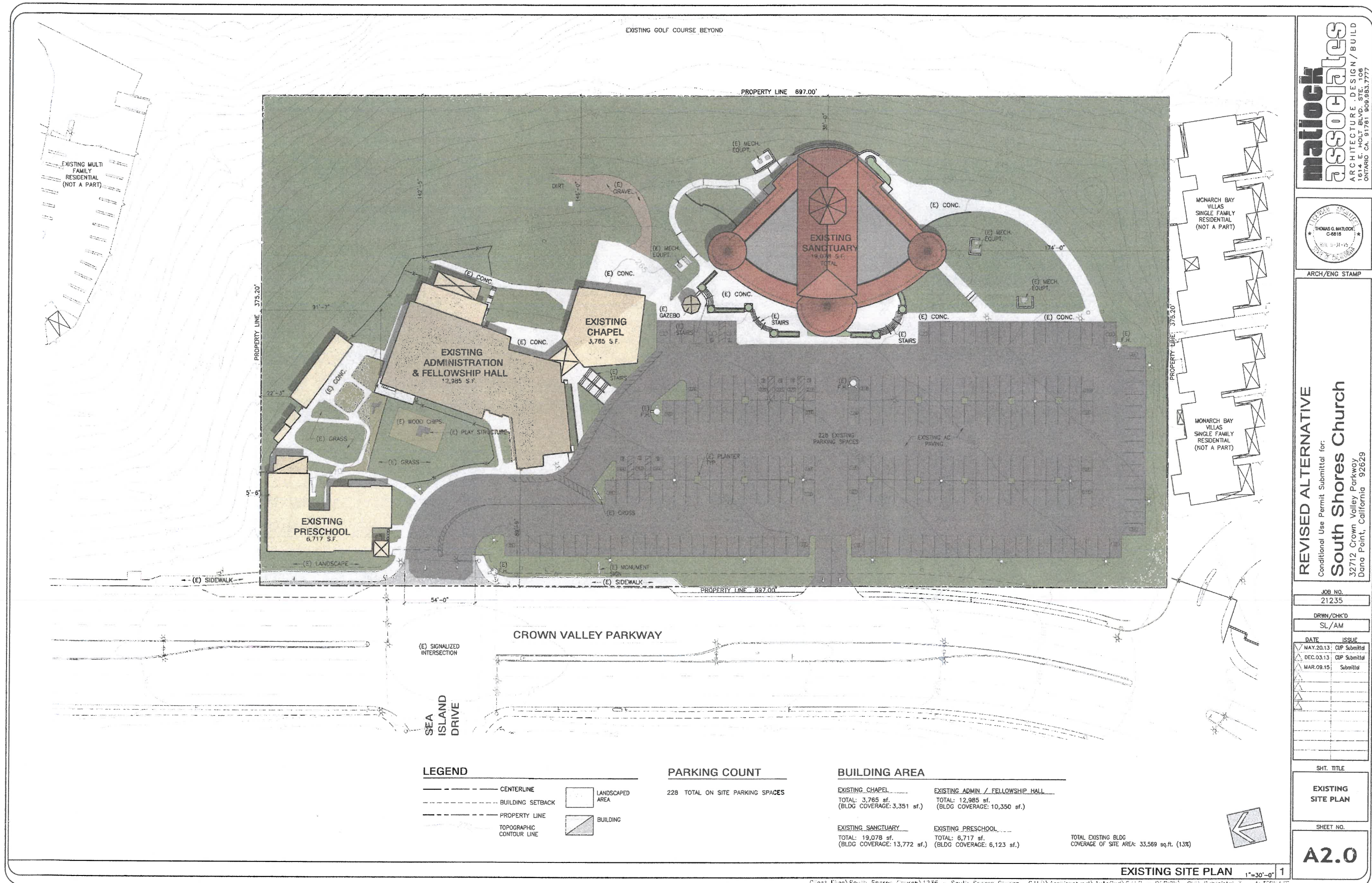
DATE	ISSUE
✓ MAY.20.13	CUP Submittal
△ DEC.03.13	CUP Submittal
△ MAR.09.15	Submittal

SHT. NO.	TITLE
1	EXISTING SITE PLAN

EXISTING SITE PLAN

SHEET NO.

**A2.0**



**LEGEND**

— CENTERLINE	□ LANDSCAPED AREA
- - - BUILDING SETBACK	▨ BUILDING
- - - PROPERTY LINE	
- - - TOPOGRAPHIC CONTOUR LINE	

**PARKING COUNT**

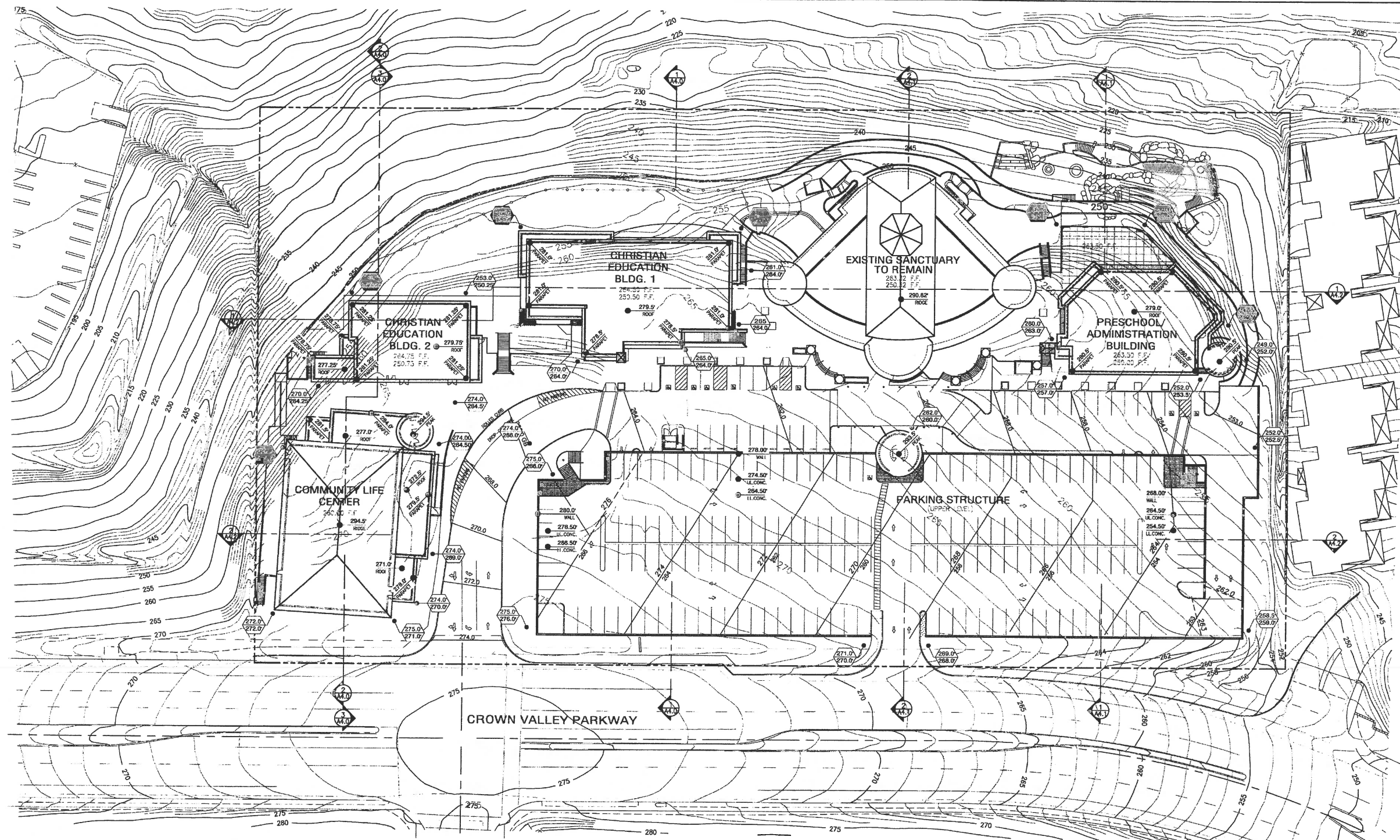
228 TOTAL ON SITE PARKING SPACES

**BUILDING AREA**

EXISTING CHAPEL TOTAL: 3,765 sf. (BLDG COVERAGE: 3,351 sf.)	EXISTING ADMIN / FELLOWSHIP HALL TOTAL: 12,985 sf. (BLDG COVERAGE: 10,350 sf.)
EXISTING SANCTUARY TOTAL: 19,078 sf. (BLDG COVERAGE: 13,772 sf.)	EXISTING PRESCHOOL TOTAL: 6,717 sf. (BLDG COVERAGE: 6,123 sf.)

TOTAL EXISTING BLDG COVERAGE OF SITE AREA: 33,569 sq.ft. (13%)

**EXISTING SITE PLAN** 1"=30'-0" 1

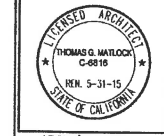


**LEGEND**

- PROPERTY LINE
- 275 --- TOPOGRAPHIC CONTOUR LINE
- PRESCHOOL FENCING
- E GRADE (EXISTING)
- N GRADE (NEW)
- IDE INDICATES LOWEST GRADE FROM WHICH BLDG HT DETERMINED
- BLDG. ELEVATION LOCATOR



**Mallock ASSOCIATES**  
 ARCHITECTURE DESIGN / BUILD  
 1814 E. HOLT BLVD. STE. 100  
 ONTARIO, CA. 91761 909.983.7777



ARCH/ENG STAMP

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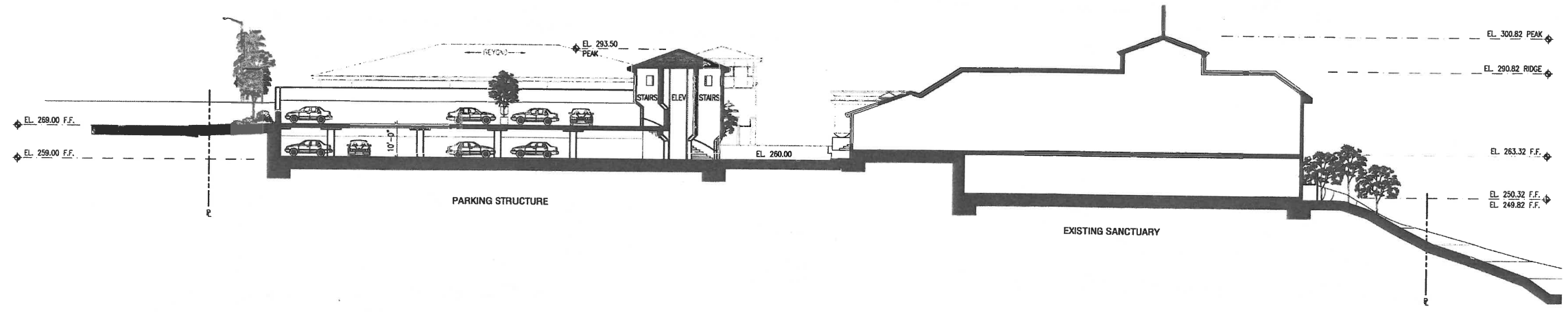
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▽ MAY.20.13	CUP Submittal
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△ MAR.09.15	Submittal

SHT. TITLE

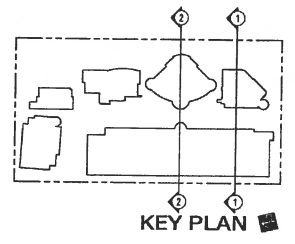
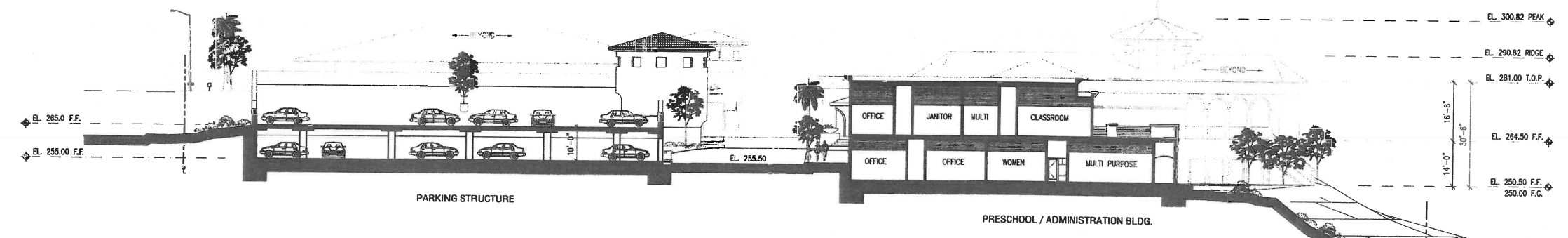
BLDG. HT. LIMITS  
ALTERNATIVE  
SITE PLAN

SHEET NO.

**A3.1**



Site Section thru Parking Structure & Existing Sanctuary 1/16"=1'-0" 2



EL. = ELEVATION  
 F.F. = FINISH FLOOR  
 F.G. = FINISH GRADE  
 T.O.P. = TOP OF PARAPET

**matlock**  
**associates**  
 ARCHITECTURE DESIGN / BUILD  
 1814 E. HOLT BLVD. STE. 108  
 ONTARIO CA. 91761 909.883.7777



ARCH/ENG STAMP

REVISED ALTERNATIVE  
 Conditional Use Permit Submittal for:  
**South Shores Church**  
 32712 Crown Valley Parkway  
 Dana Point, California 92629

JOB NO.	21235
DRWN/CHK'D	SL/AM
DATE	ISSUE
MAY.20.13	CUP Submittal
DEC.03.13	CUP Submittal
MAR.09.15	Submittal

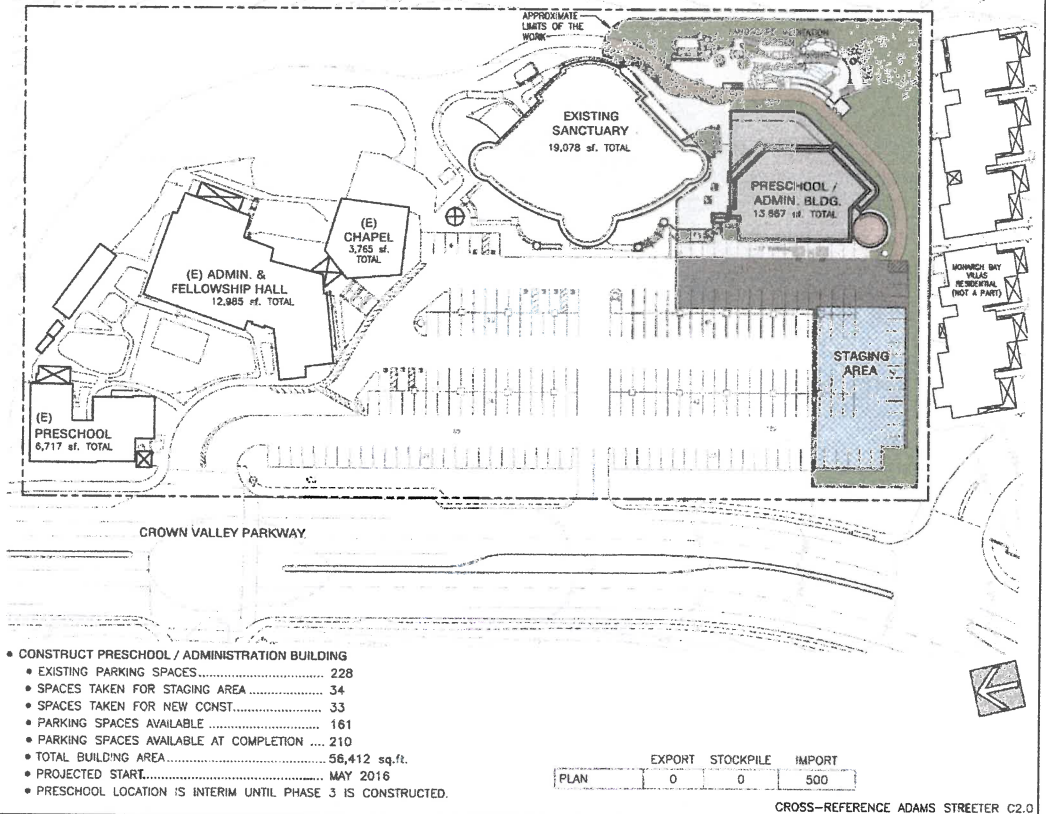
SHT. TITLE  
**SITE SECTIONS**

SHEET NO.

**A4.1**

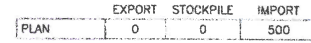
Site Section thru Parking Structure & Preschool / Administration Bldg. 1/16"=1'-0" 1  
 Client Files\South Shores Church\1235 - South Shores Church \_C.U.P\Architectural\AutoCad\C.U.P - DESIGN\CUP Submittal 3 - ALTERNATE

GENERAL NOTES:  
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AISLE(S) CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.  
 2. PROPOSED BMPs: BR : BIO-RETENTION AREA BS : BIO-SWALE BF : BIO-FILTRATION SD : STORM DRAIN FOR MORE DETAIL REGARDING BMP'S REFER TO SHT A3.0 AND DRWS BY ADAMS-STREETER, CIVIL ENGINEERS.  
 3. TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.  
 4. PARKING TO BE ACCOMMODATED WITH OFFSITE AGREEMENTS FOR SATELLITE PARKING LOTS AND SHUTTLES.



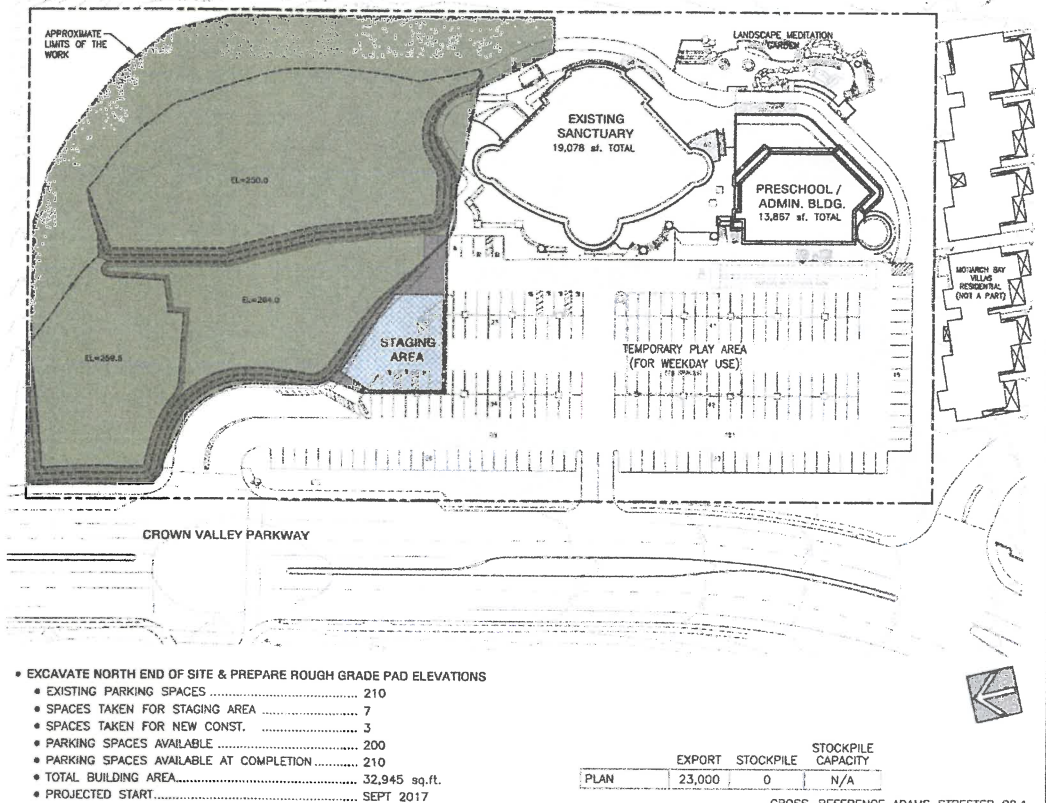
• CONSTRUCT PRESCHOOL / ADMINISTRATION BUILDING

EXISTING PARKING SPACES	228
SPACES TAKEN FOR STAGING AREA	34
SPACES TAKEN FOR NEW CONST.	33
PARKING SPACES AVAILABLE	161
PARKING SPACES AVAILABLE AT COMPLETION	210
TOTAL BUILDING AREA	56,412 sq.ft.
PROJECTED START	MAY 2016
PRESCHOOL LOCATION IS INTERIM UNTIL PHASE 3 IS CONSTRUCTED.	



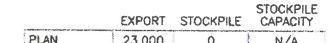
Construct New Preschool / Administration Bldg. - Phase 1A 1"=60'-0" 1

GENERAL NOTES:  
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AISLE(S) CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.  
 2. PROPOSED BMPs: BR : BIO-RETENTION AREA BS : BIO-SWALE BF : BIO-FILTRATION SD : STORM DRAIN FOR MORE DETAIL REGARDING BMP'S REFER TO SHT A3.0 AND DRWS BY ADAMS-STREETER, CIVIL ENGINEERS.  
 3. TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.  
 4. PARKING TO BE ACCOMMODATED WITH OFFSITE AGREEMENTS FOR SATELLITE PARKING LOTS AND SHUTTLES.



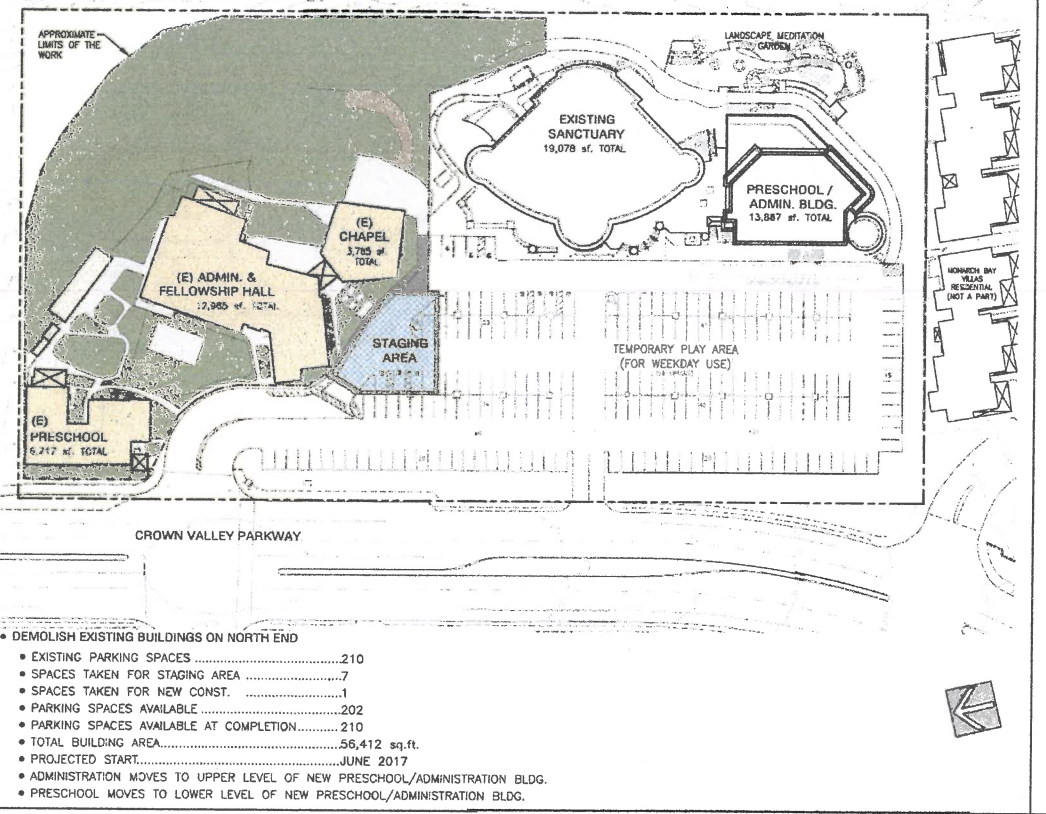
• EXCAVATE NORTH END OF SITE & PREPARE ROUGH GRADE PAD ELEVATIONS

EXISTING PARKING SPACES	210
SPACES TAKEN FOR STAGING AREA	7
SPACES TAKEN FOR NEW CONST.	3
PARKING SPACES AVAILABLE	200
PARKING SPACES AVAILABLE AT COMPLETION	210
TOTAL BUILDING AREA	32,945 sq.ft.
PROJECTED START	SEPT 2017



Earthwork North End of Site - PHASE 1B.E1 1"=60'-0" 3

GENERAL NOTES:  
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AISLE(S) CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.  
 2. PROPOSED BMPs: BR : BIO-RETENTION AREA BS : BIO-SWALE BF : BIO-FILTRATION SD : STORM DRAIN FOR MORE DETAIL REGARDING BMP'S REFER TO SHT A3.0 AND DRWS BY ADAMS-STREETER, CIVIL ENGINEERS.  
 3. TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.  
 4. PARKING TO BE ACCOMMODATED WITH OFFSITE AGREEMENTS FOR SATELLITE PARKING LOTS AND SHUTTLES.

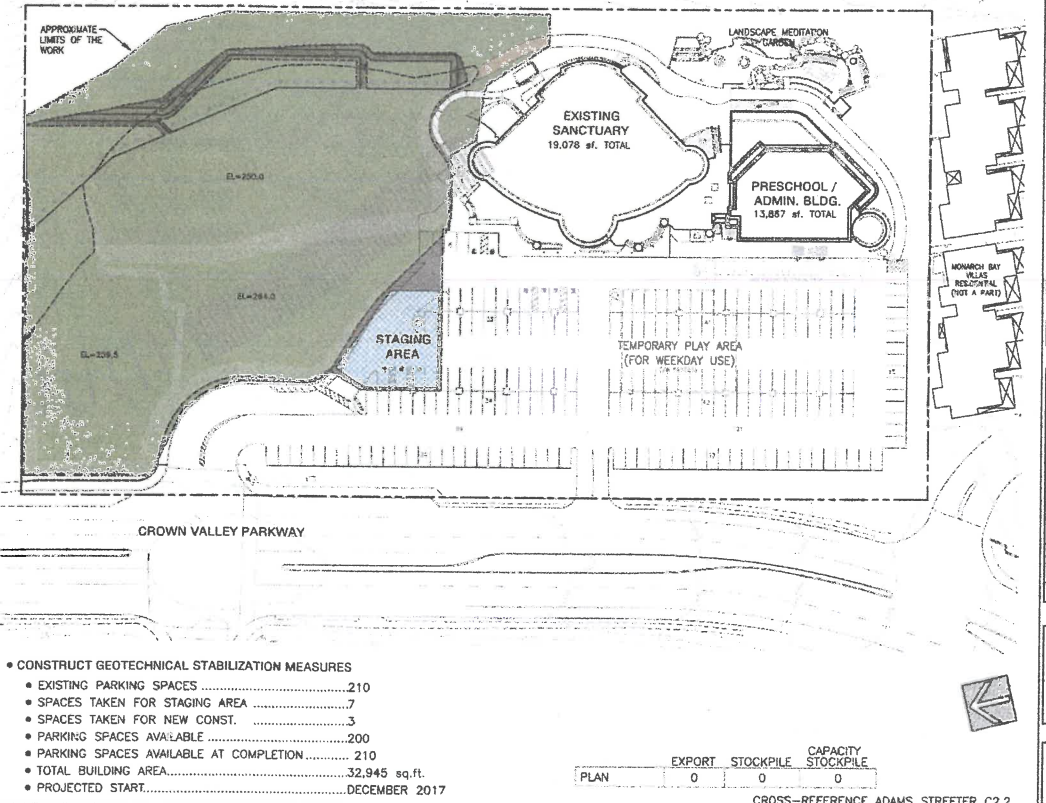


• DEMOLISH EXISTING BUILDINGS ON NORTH END

EXISTING PARKING SPACES	210
SPACES TAKEN FOR STAGING AREA	7
SPACES TAKEN FOR NEW CONST.	1
PARKING SPACES AVAILABLE	202
PARKING SPACES AVAILABLE AT COMPLETION	210
TOTAL BUILDING AREA	56,412 sq.ft.
PROJECTED START	JUNE 2017
ADMINISTRATION MOVES TO UPPER LEVEL OF NEW PRESCHOOL/ADMINISTRATION BLDG.	
PRESCHOOL MOVES TO LOWER LEVEL OF NEW PRESCHOOL/ADMINISTRATION BLDG.	

Demolition of Existing Buildings - Phase 1B 1"=60'-0" 2

GENERAL NOTES:  
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AISLE(S) CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.  
 2. PROPOSED BMPs: BR : BIO-RETENTION AREA BS : BIO-SWALE BF : BIO-FILTRATION SD : STORM DRAIN FOR MORE DETAIL REGARDING BMP'S REFER TO SHT A3.0 AND DRWS BY ADAMS-STREETER, CIVIL ENGINEERS.  
 3. TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.  
 4. PARKING TO BE ACCOMMODATED WITH OFFSITE AGREEMENTS FOR SATELLITE PARKING LOTS AND SHUTTLES.



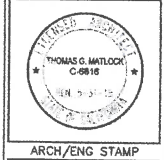
• CONSTRUCT GEOTECHNICAL STABILIZATION MEASURES

EXISTING PARKING SPACES	210
SPACES TAKEN FOR STAGING AREA	7
SPACES TAKEN FOR NEW CONST.	3
PARKING SPACES AVAILABLE	200
PARKING SPACES AVAILABLE AT COMPLETION	210
TOTAL BUILDING AREA	32,945 sq.ft.
PROJECTED START	DECEMBER 2017



Remedial Earthwork North End of Site - PHASE 1B.E2 1"=60'-0" 4

**matlock ASSOCIATES**  
 ARCHITECTURE DESIGN / BUILD  
 1614 E. HOLT BLVD., SUITE 200  
 ONTARIO, CA 91761 909.983.7777



ARCH/ENG STAMP

REVISED ALTERNATIVE  
 Conditional Use Permit Submittal for:  
**South Shores Church**  
 32712 Crown Valley Parkway  
 Dana Point, California 92629

JOB NO. 21235

DRWN/CHK'D SL/AM

DATE	ISSUE
MAY.20.13	CUP Submittal
DEC.03.13	CUP Submittal
MAR.09.15	Submittal

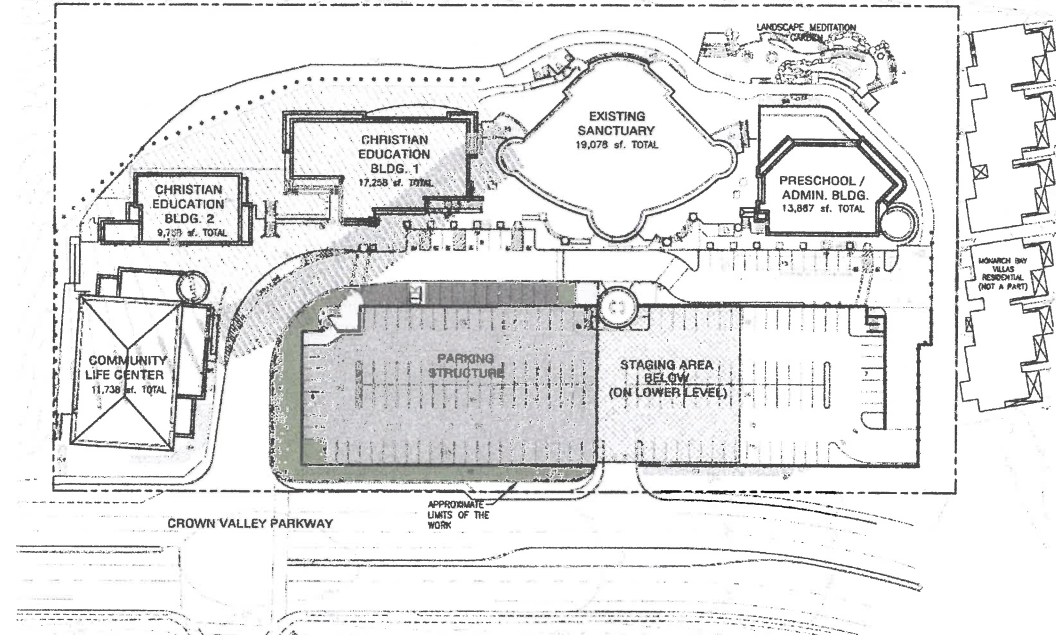
SHT. TITLE

PHASE DIAGRAMS

SHEET NO.

**A5.0**

GENERAL NOTES:  
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AISLE(S) CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.  
 2. PROPOSED BMP'S: BR : BIO-RETENTION AREA BS : BIO-SWALE BF : BIO-FILTRATION SD : STORM DRAIN FOR MORE DETAIL REGARDING BMP'S REFER TO SHT A3.0 AND DRAWGS BY ADAMS-STREETER, CIVL ENGINEERS.  
 3. PARKING TO BE ACCOMMODATED WITH OFFSITE AGREEMENTS FOR SATELLITE PARKING LOTS AND SHUTTLES.



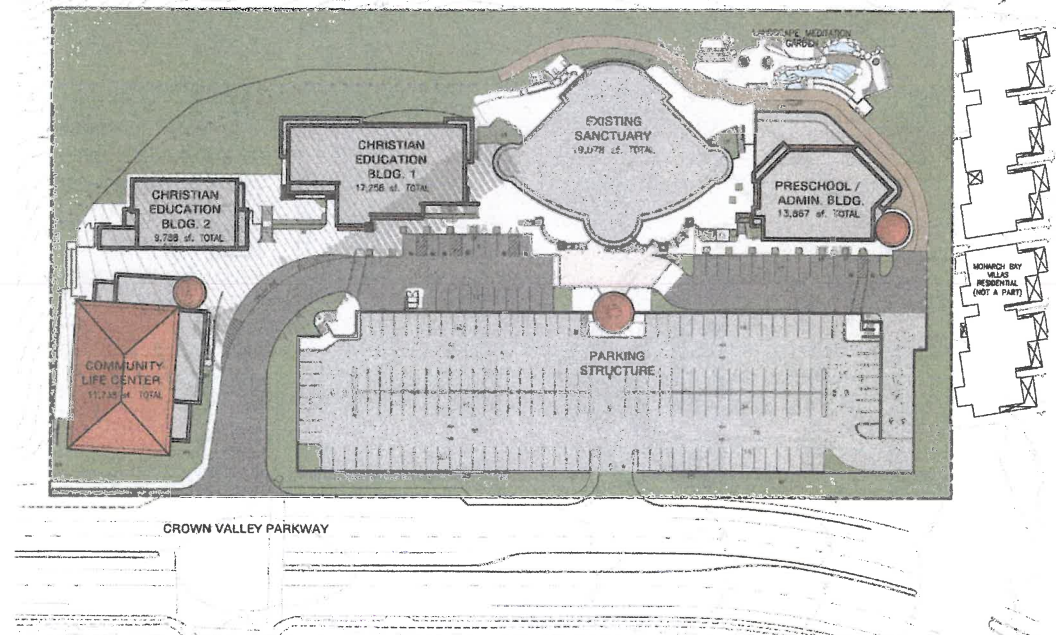
• CONSTRUCT 2ND HALF OF PARKING DECK

• PARKING SPACES	282
• SPACES TAKEN FOR STAGING AREA	40
• SPACES TAKEN FOR NEW CONST.	108
• PARKING SPACES AVAILABLE	134
• PARKING SPACES AVAILABLE AT COMPLETION	364
• TOTAL BUILDING AREA	71,729 sq.ft.
• PROJECTED START	JANUARY 2025

	EXPORT	STOCKPILE	STOCKPILE CAPACITY
PLAN	3,000	0	0

CROSS-REFERENCE ADAMS STREETER C2.0

Construct North Half of Parking Structure - Phase 5 1/8"=60'-0" 1



• COMPLETION

• ON SITE PARKING SPACES DRIVE AISLE	34
• SPACES LOWER FLOOR PARKING STRUCTURE	164
• SPACES UPPER FLOOR PARKING STRUCTURE	166
• TOTAL PARKING SPACES	364
• TOTAL BUILDING AREA	71,729 sq.ft.
• PROJECTED COMPLETION	AUGUST 2025 <del>2024</del>

Master Plan - Completion 1/8"=60'-0" 2

**matlock ASSOCIATES**  
 ARCHITECTURE DESIGN / BUILD  
 1614 E. HOYT BLVD. SUITE 200  
 ONTARIO, CA 91761 909.983.7777



ARCH/ENG STAMP

REVISED ALTERNATIVE  
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 Dana Point, California 92629

JOB NO.  
21235

DRWN/CHK'D  
SL/AM

DATE	ISSUE
MAY.20.13	QIP Submittal
DEC.03.13	QIP Submittal
MAR.09.15	Submittal

SHT. TITLE

PHASE  
DIAGRAMS

SHEET NO.

**A5.2**

**REVISED ALTERNATIVE**  
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 Dana Point, California 92629

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DRWN/CHK'D  
SL/AM

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✓ MAY.20.13	CUP Submittal
△ DEC.03.13	CUP Submittal
△ MAR.09.15	Submittal
△	
△	
△	
△	

SHT. TITLE

PRESCHOOL /  
ADMIN. BLDG.  
UPPER LEVEL

SHEET NO.

**A6.1**

**KEY NOTES**

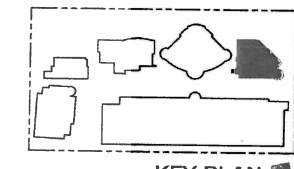
- ◇ MOVEABLE PARTITION
- ◇ NEW HARDSCAPE
- ◇ ACCESSIBLE RAMP
- ◇ STAIRS
- ◇ HANDRAIL
- ◇ PLANTER
- ◇ NEW TREE WELL
- ◇ RELOCATED MECHANICAL EQ. ENCLOSURE

**AREA**

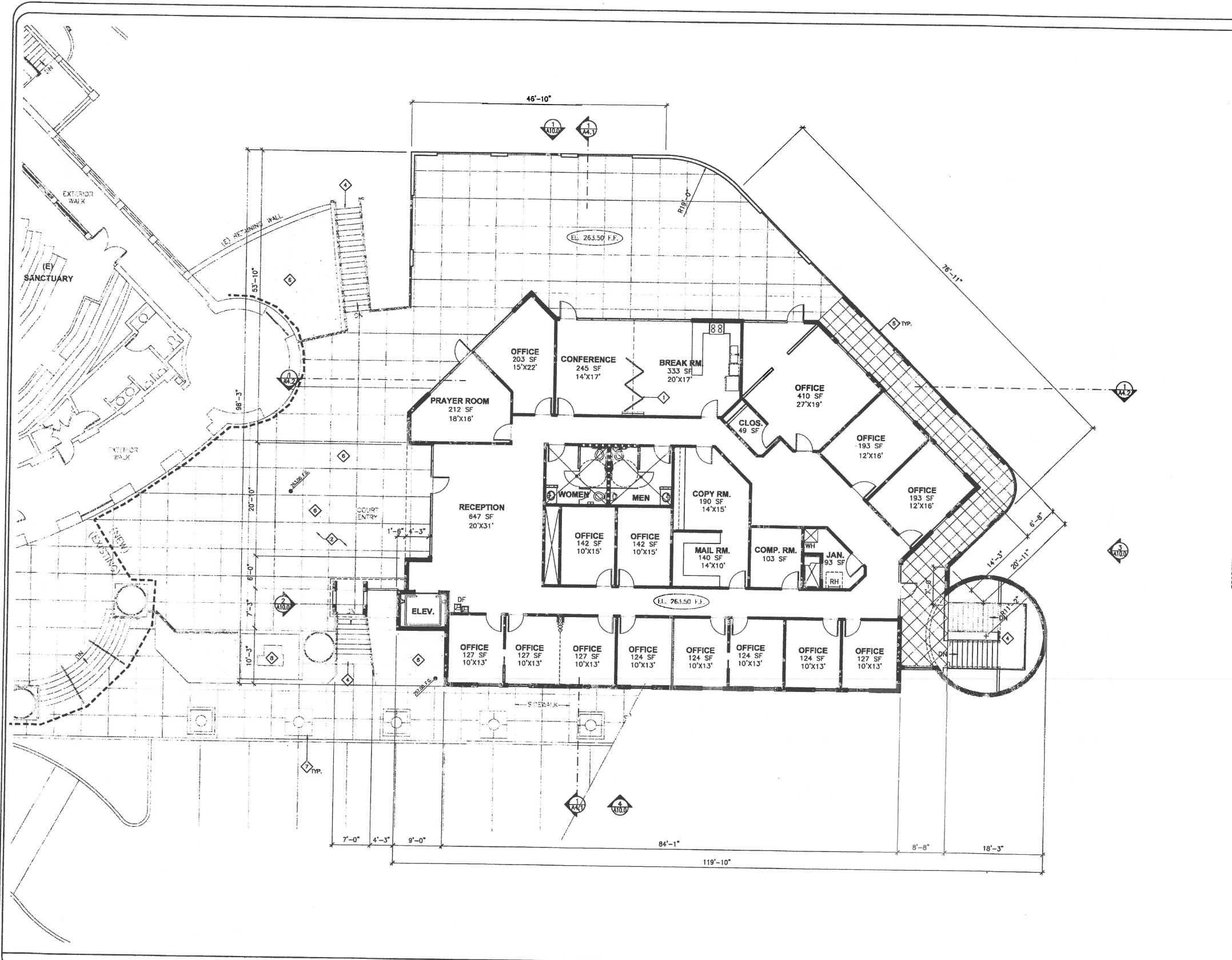
LOWER LEVEL	7,841 sf.
UPPER LEVEL	6,026 sf.
<b>TOTAL:</b>	<b>13,867 sf.</b>

**LEGEND**

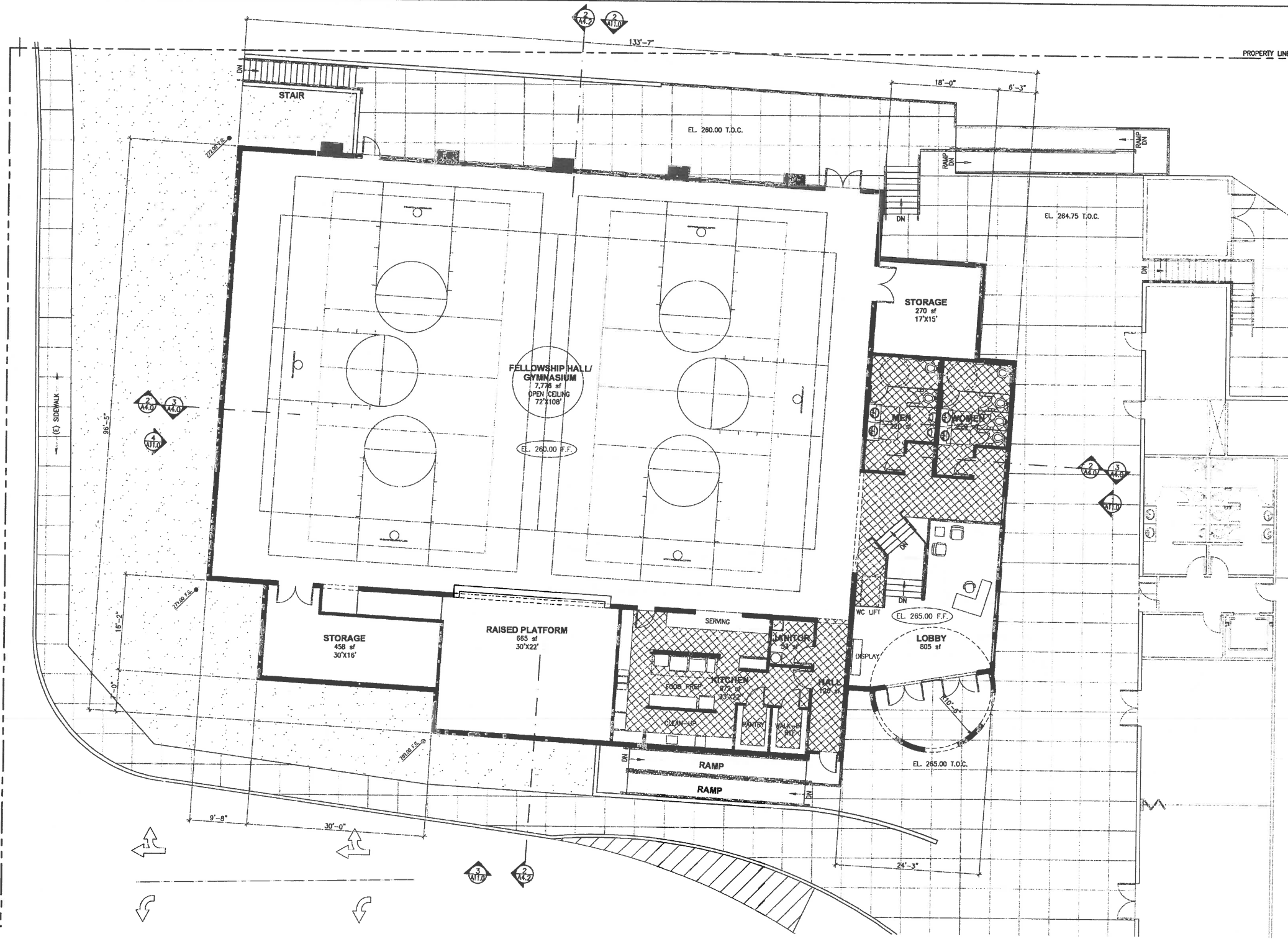
- BUILDING SETBACK
- PROPERTY LINE
- LANDSCAPED AREA
- HARDSCAPE



KEY PLAN



CROWN VALLEY PARKWAY

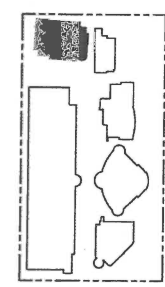


**AREA**

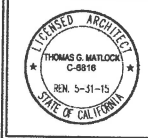
1 STORY	11,738 sf.
<b>TOTAL:</b>	<b>11,738 sf.</b>

**LEGEND**

- BUILDING SETBACK
- - - PROPERTY LINE
- ▨ LANDSCAPED AREA



**matlock associates**  
 ARCHITECTURE DESIGN / BUILD  
 1614 E. HOLT BLVD. STE. 106  
 ONTARIO CA. 91761 909.983.7777



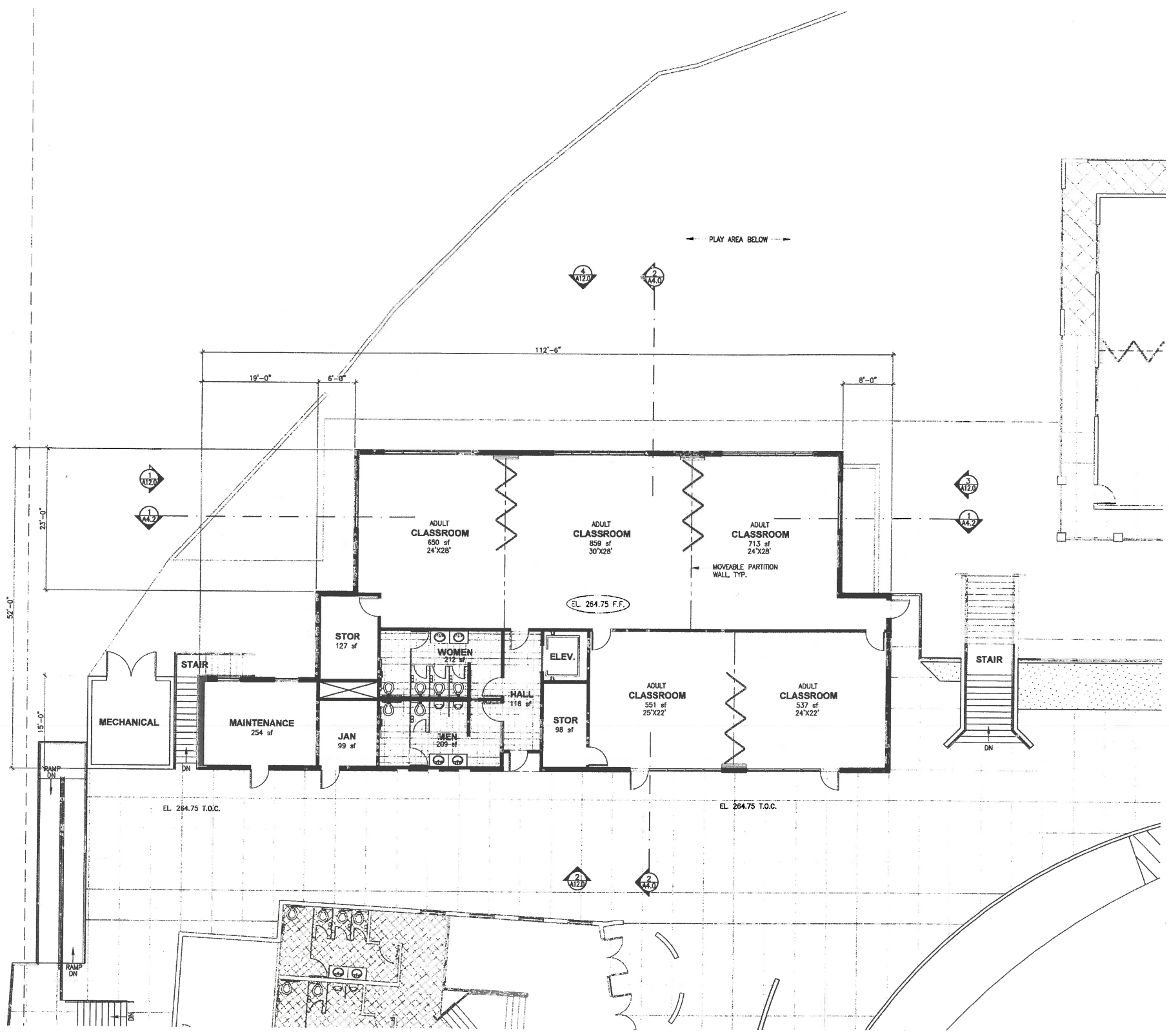
ARCH/ENG STAMP

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△ MAR.09.15	Submittal
SHT. TITLE	COMMUNITY LIFE CENTER FLOOR PLAN
SHEET NO.	A7.0

**COMMUNITY LIFE CENTER FLOOR PLAN** 1/8"=1'-0" 1

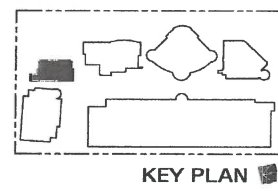




**AREA**

LOWER LEVEL	4,963 sf.
UPPER LEVEL	4,825 sf.
<b>TOTAL</b>	<b>9,788 sf.</b>

- LEGEND**
- BUILDING SETBACK
  - PROPERTY LINE
  - LANDSCAPED AREA



**matlock associates**  
 ARCHITECTURE, DESIGN / BUILD  
 1814 E. HOLT BLVD., STE. 108  
 ONTARIO, CA. 91761, 909.863.7777



ARCH/ENG STAMP

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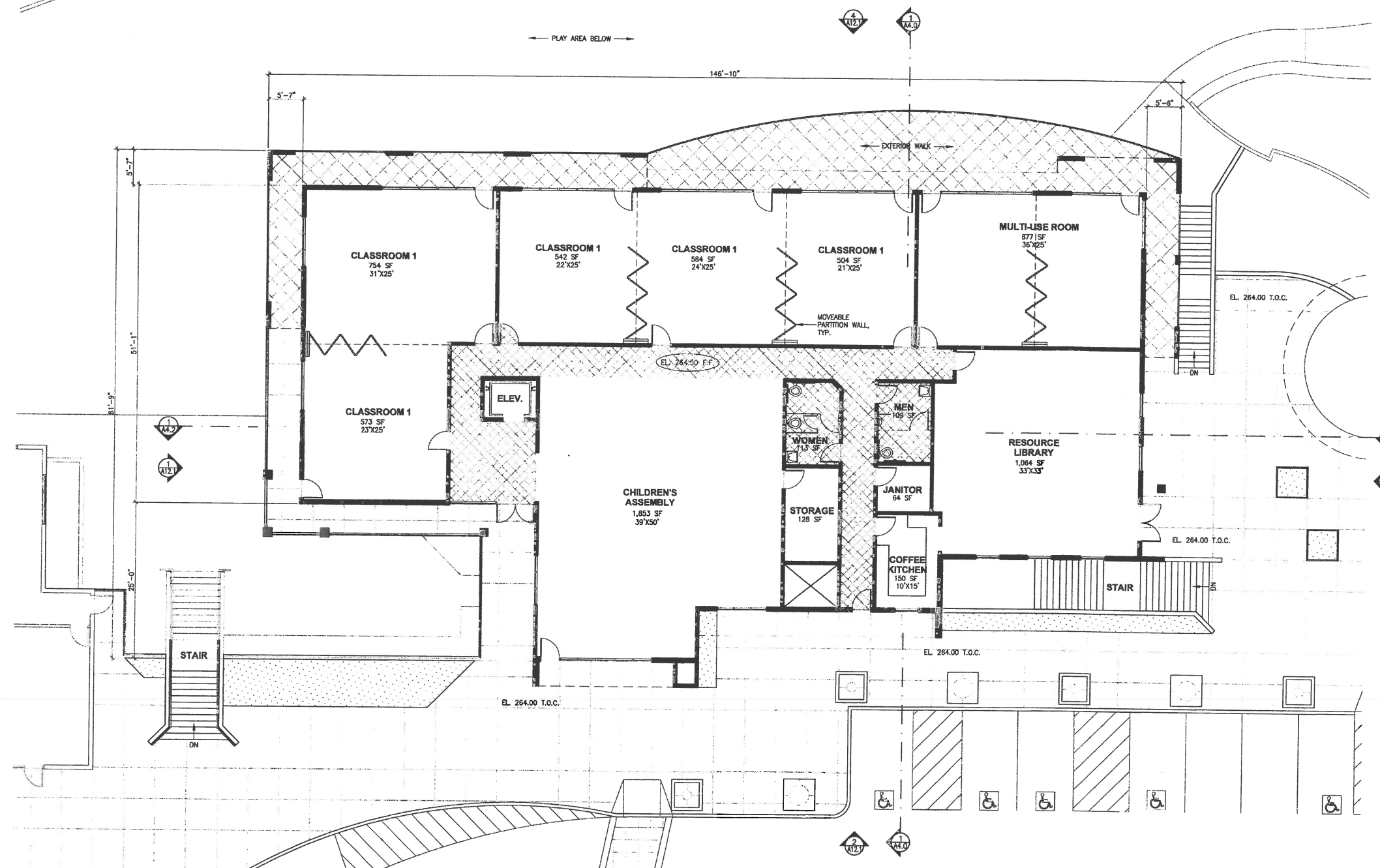
DATE	ISSUE
✓ MAY.20.13	CIP Submittal
△ DEC.03.13	CIP Submittal
△ MAR.09.15	Submittal
△	
△	
△	

SHT. TITLE  
**CHRISTIAN EDUCATION BLDG.  
 2 - UPPER**

SHEET NO.

**A8.1**

**CHRISTIAN EDUCATION BUILDING 2 - UPPER LEVEL** 1/8"=1'-0" 1

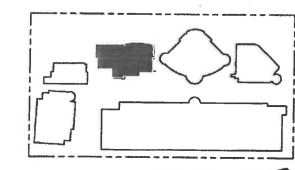


**AREA**

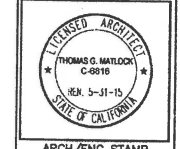
LOWER LEVEL	8,747 sf.
UPPER LEVEL	8,511 sf.
<b>TOTAL</b>	<b>17,258 sf.</b>

**LEGEND**

	BUILDING SETBACK
	PROPERTY LINE
	LANDSCAPED AREA



**matlock**  
**associates**  
 ARCHITECTURE . DESIGN / BUILD  
 1814 E. HOLT BLVD., STE. 106  
 ONTARIO, CA. 91761 909.883.7777



ARCH/ENG STAMP

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DATE	ISSUE
✓ MAY.20.13	QP Submittal
△ DEC.03.13	QP Submittal
△ MAR.09.15	Submittal

SHT. TITLE

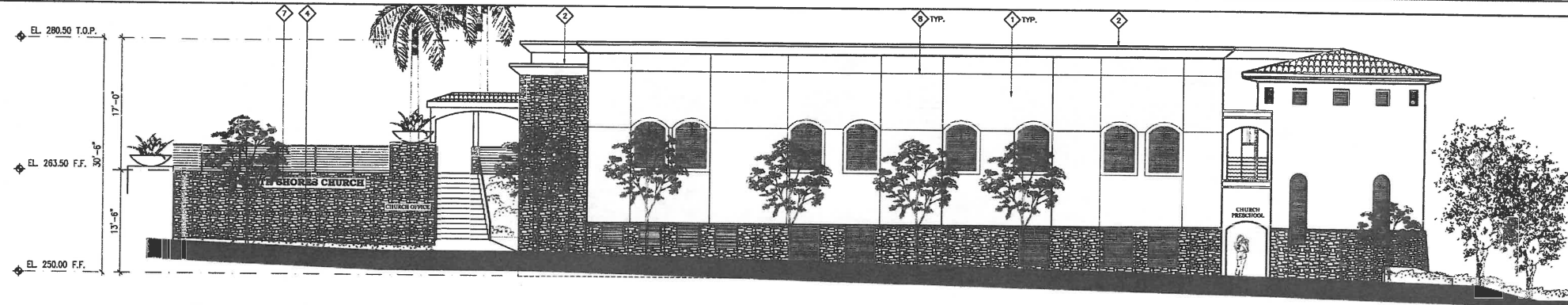
**CHRISTIAN  
 EDUCATION BLDG.  
 1 - UPPER**

SHEET NO.

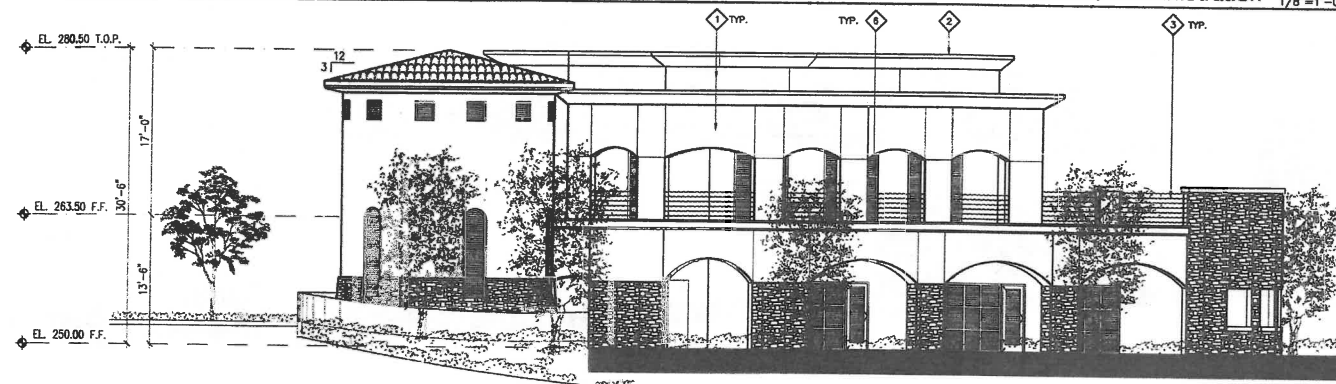
**A8.3**

**CHRISTIAN EDUCATION BUILDING 1 - UPPER LEVEL** 1/8"=1'-0" 1

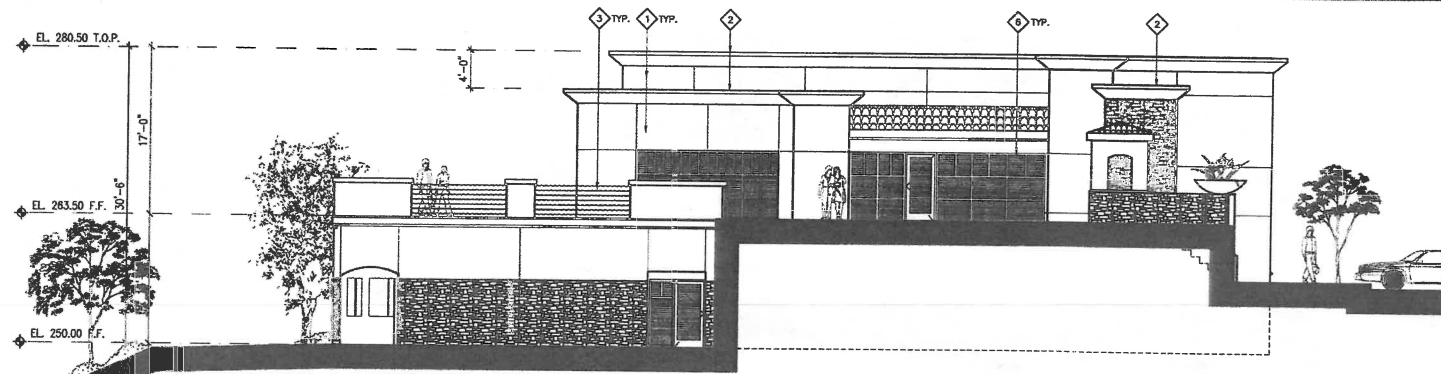
Client Files\South Shores Church\1235 - South Shores Church \_C.U.P\Architectural\AutoCad\C.U.P - DESIGN\CUP Submittal 3 - ALTERNATIVE



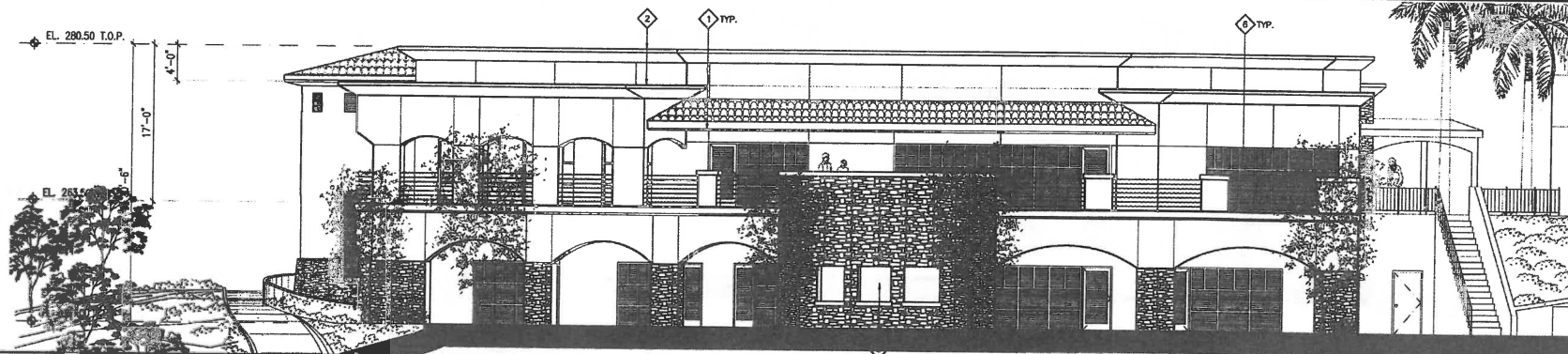
West Elevation - Preschool / Administration 1/8"=1'-0" 4



South Elevation - Preschool / Administration 1/8"=1'-0" 3



North Elevation - Preschool / Administration 1/8"=1'-0" 2



East Elevation - Preschool / Administration 1/8"=1'-0" 1

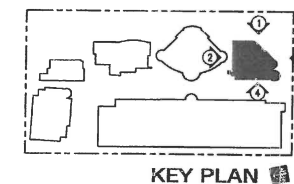
**KEY NOTES**

- ◇ SMOOTH PLASTER FINISH
- ◇ PARAPET ROOF
- ◇ HANDRAIL
- ◇ RETAINING WALL
- ◇ OPENING THRU WALL
- ◇ ALUMINUM WINDOW SYSTEM
- ◇ SIGNAGE UNDER SEPERATE PERMIT
- ◇ CONTROL JOINT REVEAL

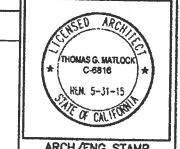
**LEGEND**

- BRONZE TINTED GLAZING TO MATCH EXISTING SANCTUARY
- CULTERED STONE BY "EL DORADO" CUSTOM COLOR BLEND TO MATCH BOULDERS FOUND NATURALLY ON THE SITE
- TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY

- EL. = ELEVATION
- F.F. = FINISH FLOOR
- F.G. = FINISH GRADE
- T.O.P. = TOP OF PARAPET



**matlock**  
**associates**  
ARCHITECTURE DESIGN / BUILD  
1814 E. HOLT BLVD. STE. 106  
ONTARIO, CA 91761 909.983.7777



ARCH/ENG STAMP

**REVISED ALTERNATIVE**  
Conditional Use Permit Submittal for:  
**South Shores Church**  
32712 Crown Valley Parkway  
Dana Point, California 92629

JOB NO.  
21235

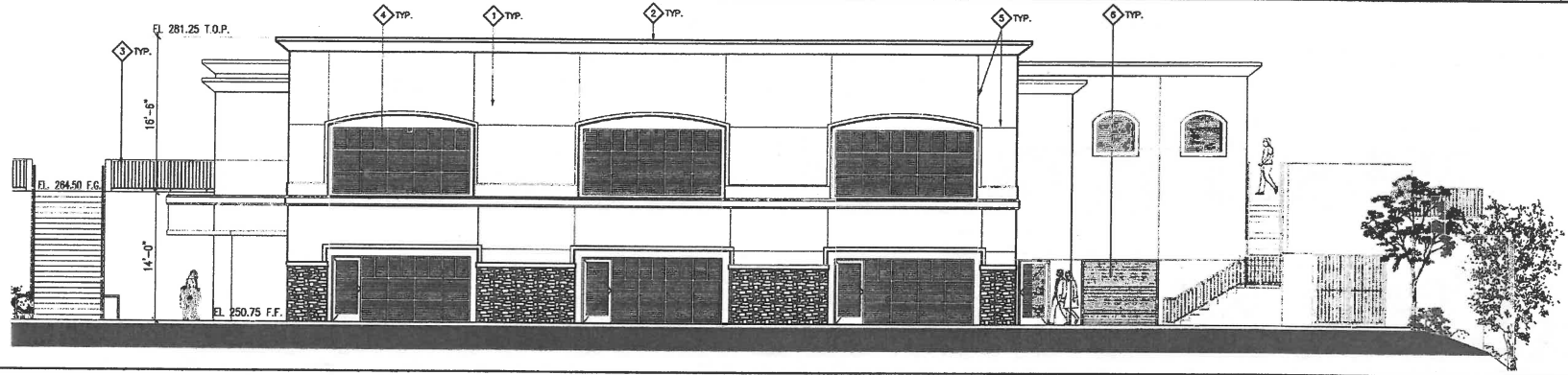
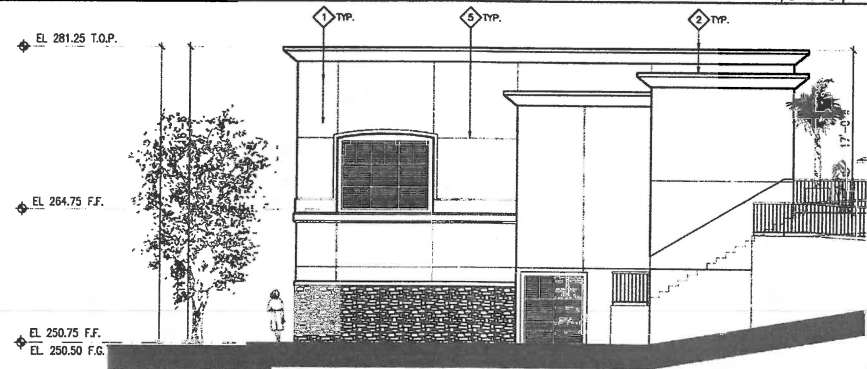
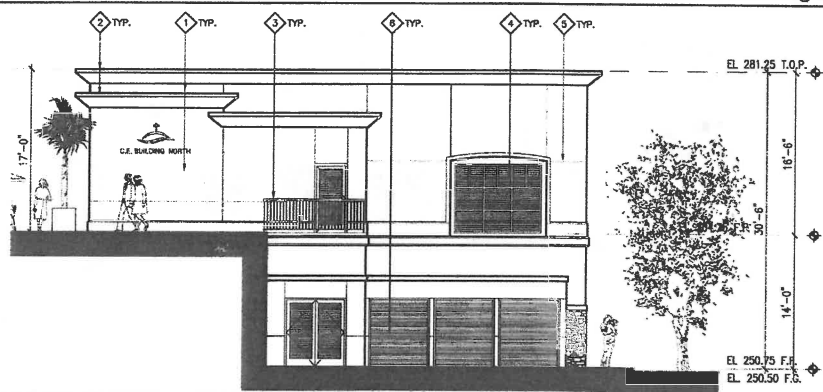
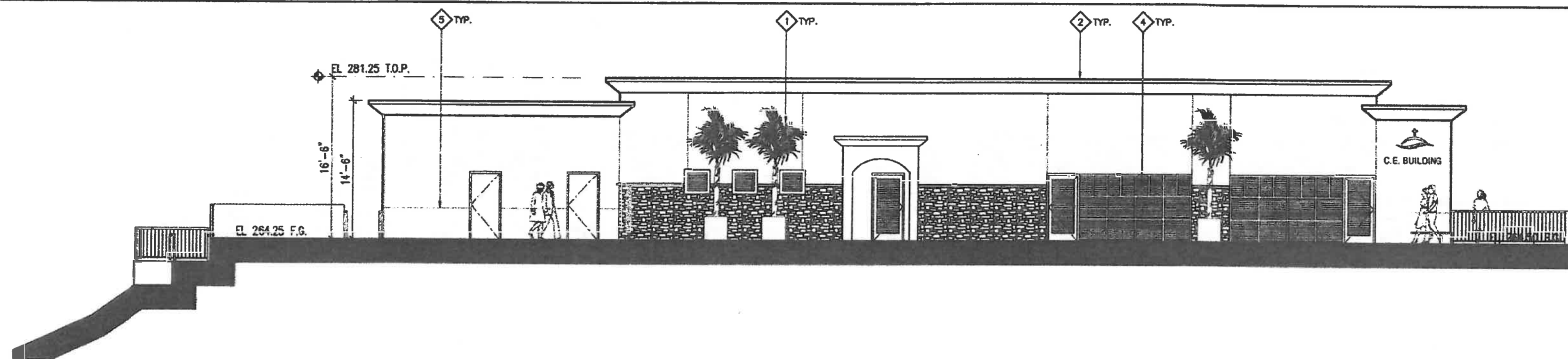
DRWN/CHK'D  
SL/AM

DATE	ISSUE
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△ DEC.03.13	CIP Submittal
△ MAR.09.15	Submittal
△	
△	
△	
△	
△	
△	

SHT. TITLE  
**PRESCHOOL /  
ADMIN. BLDG.  
ELEVATIONS**

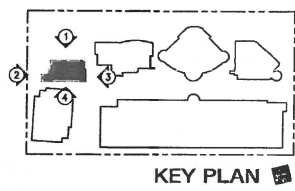
SHEET NO.

**A10.0**



- KEY NOTES**
- ◇ SMOOTH PLASTER FINISH
  - ◇ PARAPET ROOF
  - ◇ HANDRAIL
  - ◇ ALUMINUM WINDOW SYSTEM
  - ◇ CONTROL JOINT REVEAL
  - ◇ METAL ROLL UP DOOR

- LEGEND**
- BRONZE TINTED GLAZING TO MATCH EXISTING SANCTUARY
  - CUTLERED STONE BY "EL DORADO" CUSTOM COLOR BLEND TO MATCH BOULDERS FOUND NATURALLY ON THE SITE
  - TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY
- EL. = ELEVATION  
 F.F. = FINISH FLOOR  
 F.G. = FINISH GRADE  
 T.O.P. = TOP OF PARAPET



**matlock**  
**associates**  
 ARCHITECTURE, DESIGN/BUILD  
 1814 E. HOLT BLVD., STE. 108  
 ONTARIO, CA. 91761 908.983.7777



ARCH/ENG STAMP

**REVISED ALTERNATIVE**  
 Conditional Use Permit Submittal for:  
**South Shores Church**  
 32712 Crown Valley Parkway  
 Dana Point, California 92629

JOB NO.  
21235

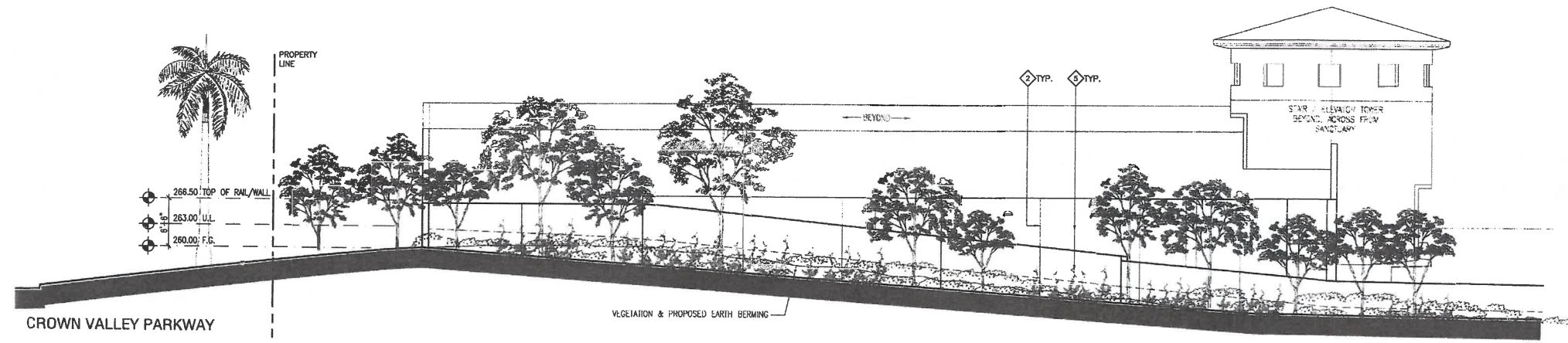
DRWN/CHK'D  
SL/AM

DATE	ISSUE
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△ DEC.03.13	QIP Submittal
△ MAR.09.15	Submittal
△	
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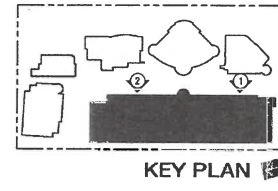
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**CHRISTIAN EDUCATION BLDG. 2**

SHEET NO.

**A12.0**



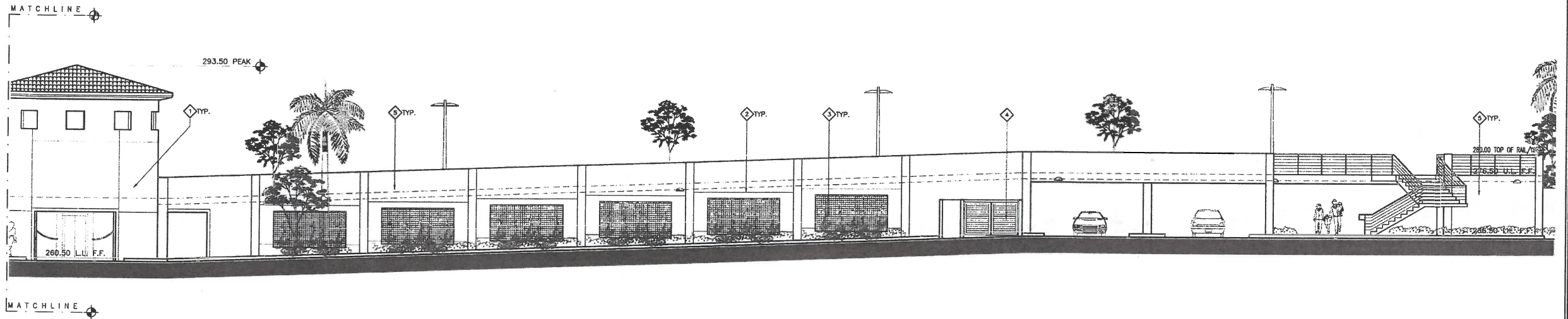
- KEY NOTES**
- ◇ SMOOTH PLASTER FINISH
  - ◇ CONTROL JOINT REVEAL
  - ◇ GREEN SCREEN COVERED WITH VINES
  - ◇ TRASH ENCLOSURE
  - ◇ SMOOTH CONCRETE FINISH
- LEGEND**
- ▨ TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY



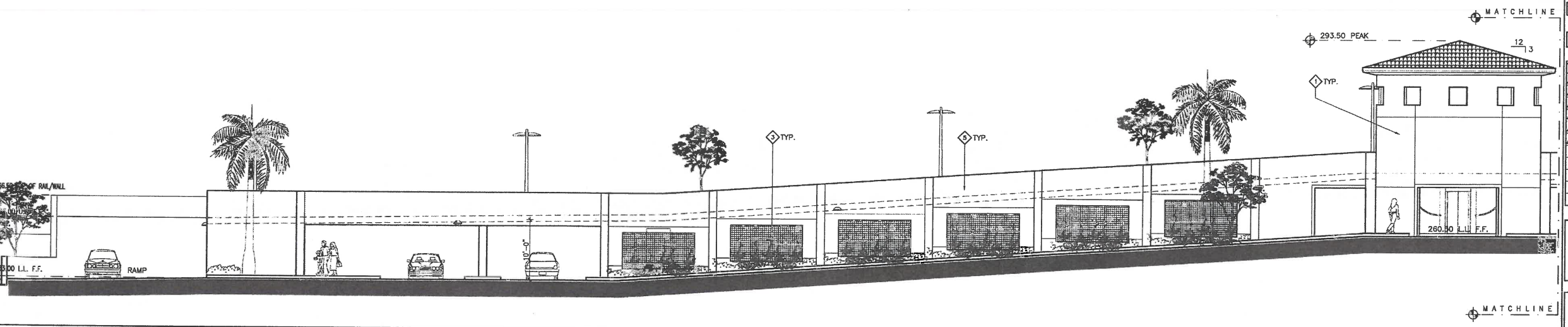
**matlock associates**  
 ARCHITECTURE . DESIGN / BUILD  
 1814 E. HOLT BLVD., STE. 106  
 ONTARIO, CA 91761 909.983.7777



Parking Structure - South Elevation 1/8"=1'-0" 3



Parking Structure - East Elevation 1/8"=1'-0" 2

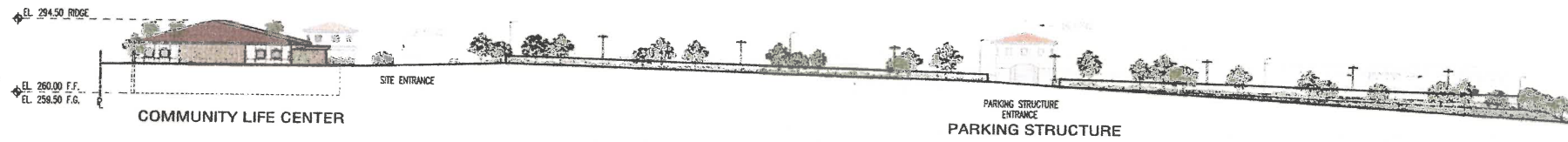


Parking Structure - East Elevation 1/8"=1'-0" 1

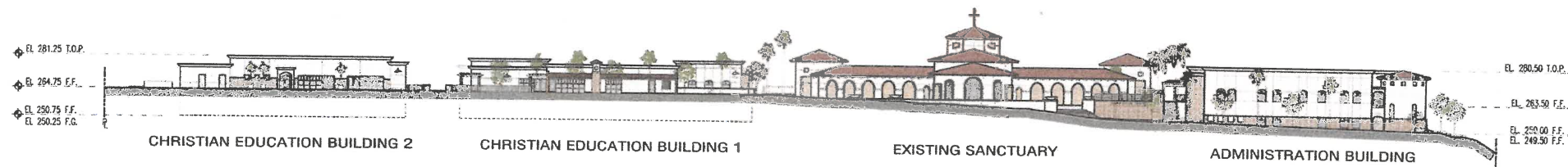
**REVISED ALTERNATIVE**  
 Conditional Use Permit Submittal for:  
**South Shores Church**  
 32712 Crown Valley Parkway  
 Dana Point, California 92629

JOB NO. 21235	
DRAWN/CHK'D SL/AM	
DATE	ISSUE
▲ MAY.20.13	CUP Submittal
▲ DEC.03.13	CUP Submittal
▲ MAR.09.15	Submittal
▲	
▲	
▲	
SHT. TITLE	
PARKING STRUCTURE ELEVATIONS	
SHEET NO.	

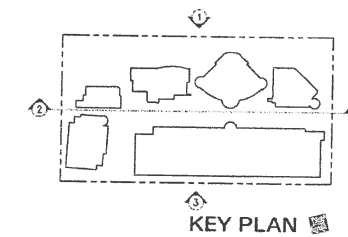
**A13.0**



Overall West Elevation (From Crown Valley Parkway) 1/32"=1'-0" 3



Overall West Elevation From Drive Aisle 1/32"=1'-0" 2



Overall East Elevation 1/32"=1'-0" 1

**matlock ASSOCIATES**  
 ARCHITECTURE, DESIGN / BUILD  
 10001 HOLLY BLVD., STE. 106  
 DANA POINT, CA 91761 949.863.7777



ARCH/ENG STAMP

REVISED ALTERNATIVE  
 Conditional Use Permit Submittal for:  
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21235

DRWN/CHK'D  
SL/AM

DATE	ISSUE
MAY.20.13	CUP Submittal
DEC.03.13	CUP Submittal
MAR.09.15	Submittal

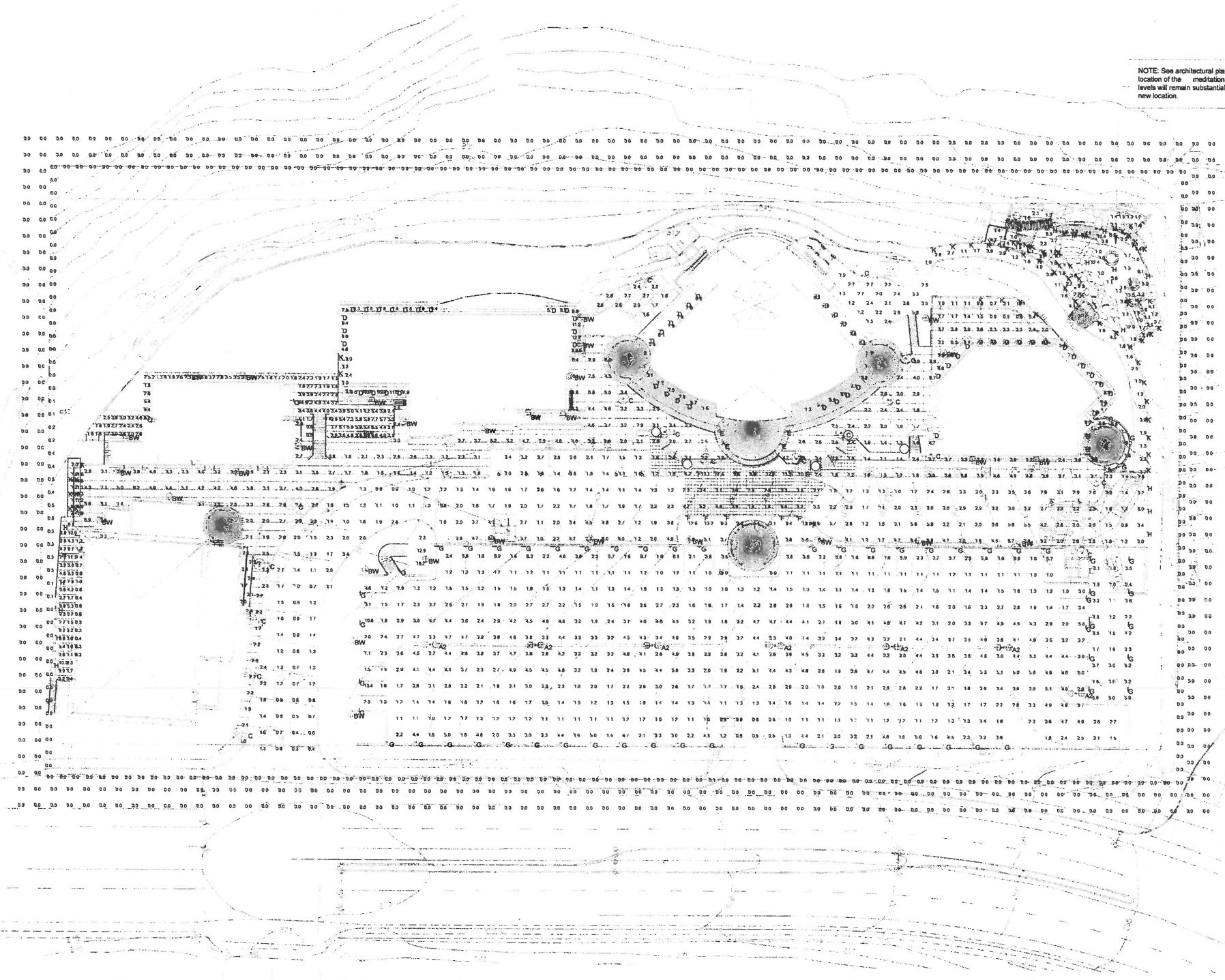
SHT. TITLE

OVERALL ELEVATIONS EAST & WEST

SHEET NO.

**A14.0**

NOTE: See architectural plans for revised location of the meditation garden. Light levels will remain substantially the same in the new location.



Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF
AZ	7	LSI-NM-200PSM-HVLT-6-W/9-F BRZ-FIN	MEDIUM AREA POST TOPVERTICAL LAMP	VENTURE MS 200W/UMEDPS	21000	0.81	
BW	31	LSI-NM-100-PSM-HVLT-9-W/9-F BRZ-FIN	SMALL AREA WALL MOUNTED ELECTRICAL LAMP	VENTURE MS 100W/UPS	14000	0.81	
C	17	LUMINTOR: P7200M50VOLTBRZ-FIN	Flat shade with cone top & lower pole top.	H.I.D. METAL HALIDE, 150W, ELIPTICAL, MEDIUM BASE	13000	0.81	
D	83	DELRAY-H7-S126-A30 @ 9'-0" A.F.G.	RECESSED DOWNLIGHT WITH FRESNEL LENS	(1) 20W PL-T	1800	0.86	
E	6	WAVE-R21154-025-W @ 9'-0" A.F.G.	WALL MOUNTED	1-20W CF	1800	0.81	
F	13	REBELLE-400B-025-W @ 9'-0" A.F.G.	SATURNA MAXI BOLLARD LUMINAIRE WITH WHITE PAINTED INTERIOR, CLEAR PRISMATIC GLASS REFRACTOR, AND CAST TOP CAP	ONE 50W CLEAR ED-17 METAL HALIDE LAMP, LUMEN RATING = 4000 LMS	4000	0.72	
G	81	LUMINTOR: L7510-PLK2-VOLT FINISH @ 7'-0" A.F.G. BRZ-FIN	RECESSED WALL LUMINAIRE	(2) 42W PL	6300	0.81	
H	17	LSI-RHYPS-180-LED-18-300-CW-UE	RHYPS	LED	Absolute	0.90	
K	79	LUMINTOR: SL700-27 @ 5'-0" A.F.G. EXCEPT @ STEPS 1'-0" A.F. STEP, BRZ-FIN	STEP LIGHT	(1) 32W CFL	2400	0.81	
L	2	LUMINASCAP: L1375LED-3WAW7 @ 5'-0" A.F.F. BRZ-FIN	MACHINED 316 STAINLESS STEEL BODY 50mm DIA X 100mm DEEP PLASTIC 32" MEDIUM LENS RM2487	FLUX BIN U COLOUR BIN TO	Absolute	0.90	
M	5	LUMINASCAP: L1375LED-3WAW7 @ 5'-0" A.F.F. BRZ-FIN	MACHINED 316 STAINLESS STEEL BODY 50mm DIA X 100mm DEEP PLASTIC 42" WIDE LENS RM2488	FLUX BIN U COLOUR BIN TO	Absolute	0.90	
P	1	LUMINASCAP: L1375LED-3WAW7 @ 5'-0" A.F.F. BRZ-FIN	MACHINED 316 STAINLESS STEEL BODY 50mm DIA X 100mm DEEP PLASTIC 42" WIDE LENS RM2489	FLUX BIN U COLOUR BIN TO	Absolute	0.90	
O	2	LSI-E02-WB-100-PSM-HVLT-6-W/9-F BRZ-FIN	BKALE	(1) 100w PSM LAMP	8130	0.72	

- NOTES
- CALC POINTS FOR PARKING AT +13 AND RAMP FROM ZERO TO +13
  - A2 FIXTURES 13'-0" A.F. DECK
  - CALCULATION POINTS FOR PARKING ON DECK ARE 12'-0" O.C.

DISCLAIMER: This calculation is based on the best information provided to CLS by the architect, engineer or lighting designer. These findings should be verified by a certified electrical engineer as to their accuracy. Design changes such as building height, wall heights, building and wall locations, wall and floor reflectances of all exterior surfaces may affect the overall light levels. CLS is in no way responsible as to the veracity of these calculations, and they should only be used as a design reference tool.

SOUTH SHORES BAPTIST CHURCH  
32712 CROWN VALLEY PARKWAY  
DANA POINT, CALIFORNIA

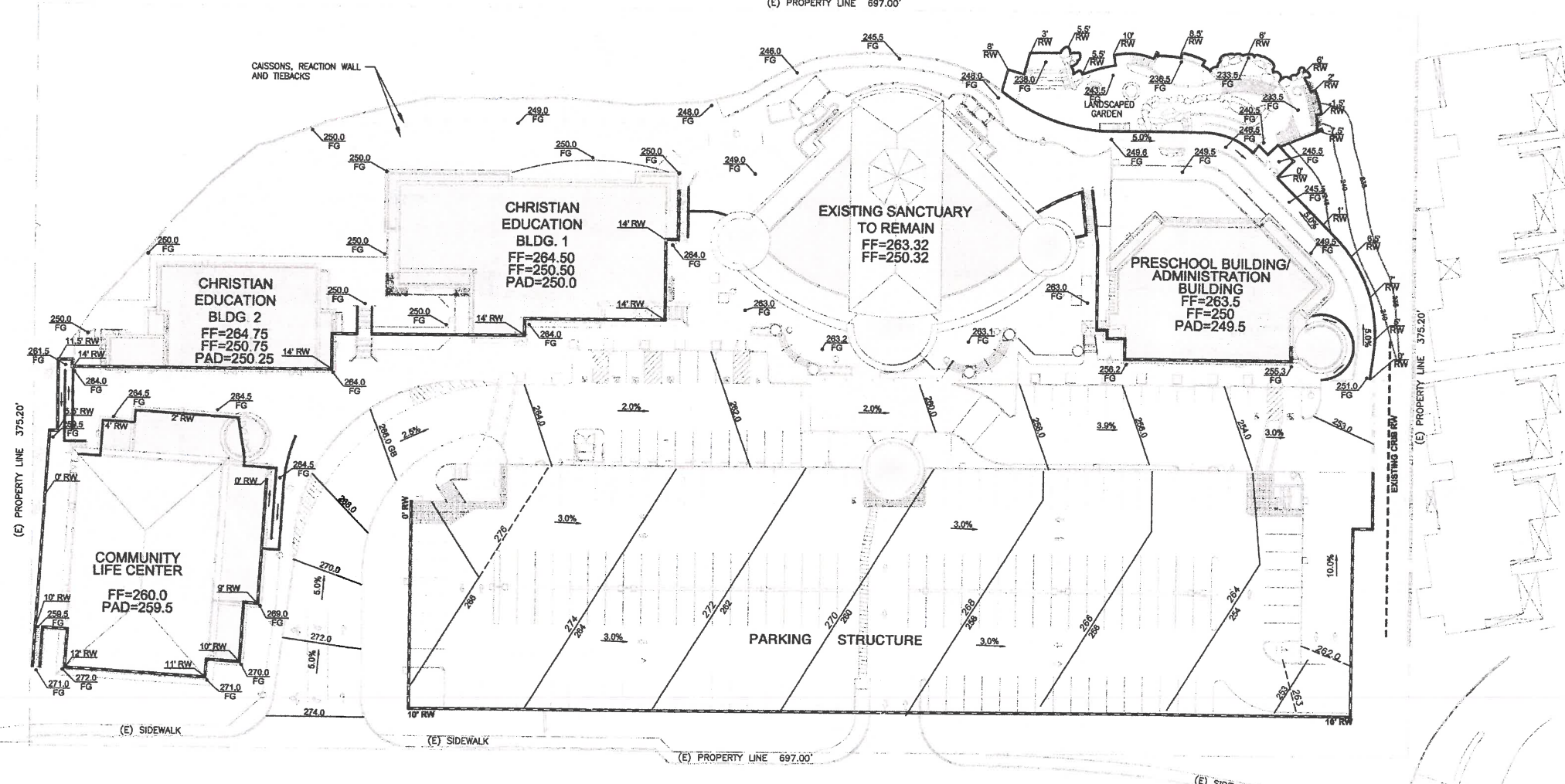
Client  
MATLOCK & ASSOC  
Date  
MAR 09 2015  
Calcs By  
TLJ  
Drawing No.  
SOUTH SHORES

Photometric Site Plan  
Scale 1" = 32'

A15.0

EXISTING GOLF COURSE BELOW

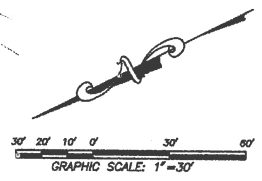
(E) PROPERTY LINE 697.00'



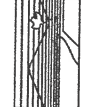
CROWN VALLEY PARKWAY

**LEGEND**

	RETAINING WALL	FF	FINISH FLOOR
	CAISSON	FG	FINISH GRADE
	TIE-BACK	RW	RETAINING WALL
		280	CONTOUR ELEVATION
		260	UPPER PARKING STRUCTURE CONTOUR ELEVATION



ADAMS • STREETER  
 CIVIL ENGINEERS, INC.  
 1000 S. GARDEN ST.  
 ANAHEIM, CA 92805  
 TEL: 714-944-1880 FAX: 714-944-0881



ARCH/ENG STAMP

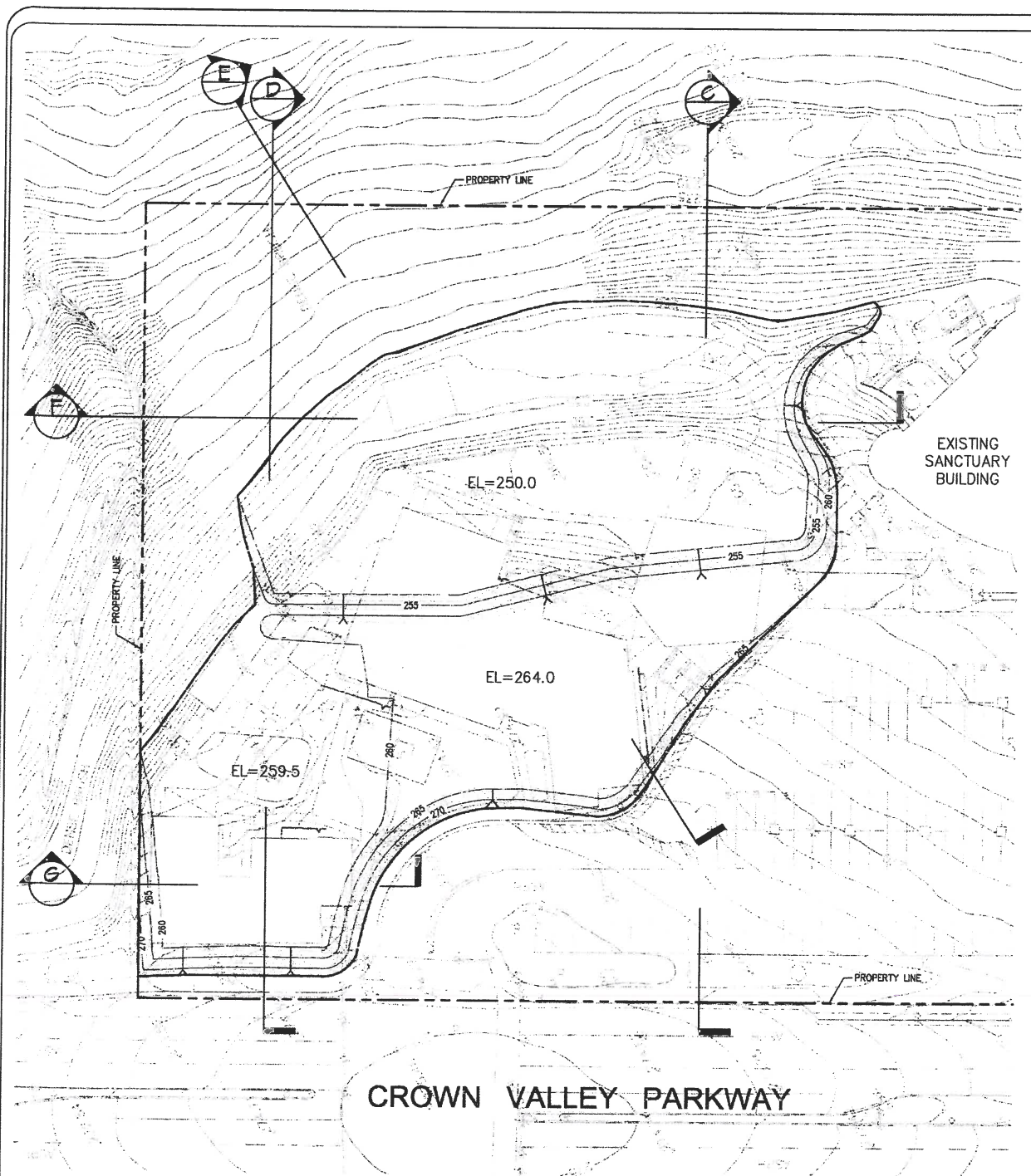
**ALTERNATIVE**  
 Conditional Use Permit Submittal for:  
**South Shores Church**  
 32712 Crown Valley Parkway  
 Dana Point, California 92629

JOB NO.	21235
DRWN/CHK'D	NS
DATE	ISSUE
▽ FEB.07.12	-
▲ AUG.16.12	-
▲ APR.15.13	-
▲ MAR.09.15	-

SHT. TITLE  
**CONCEPTUAL GRADING PLAN**

SHEET NO.  
**C-1**

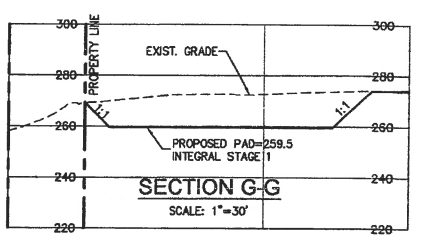
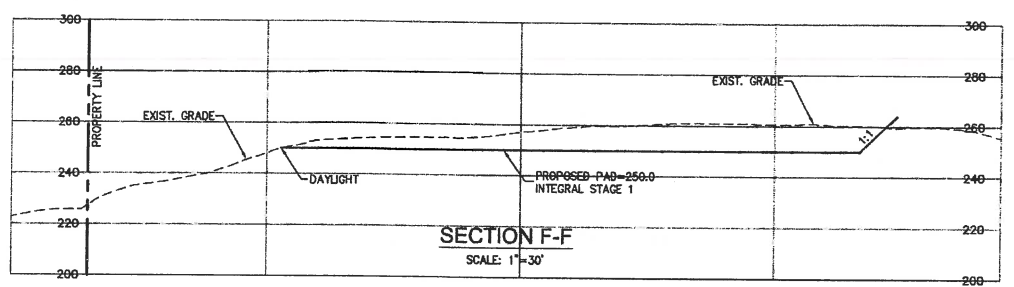
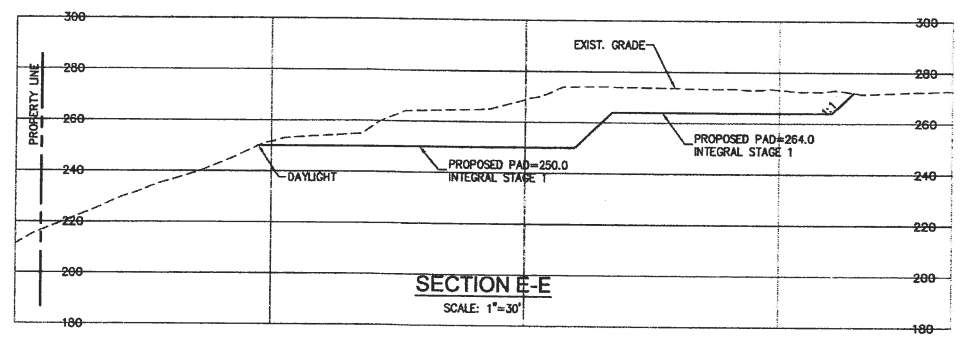
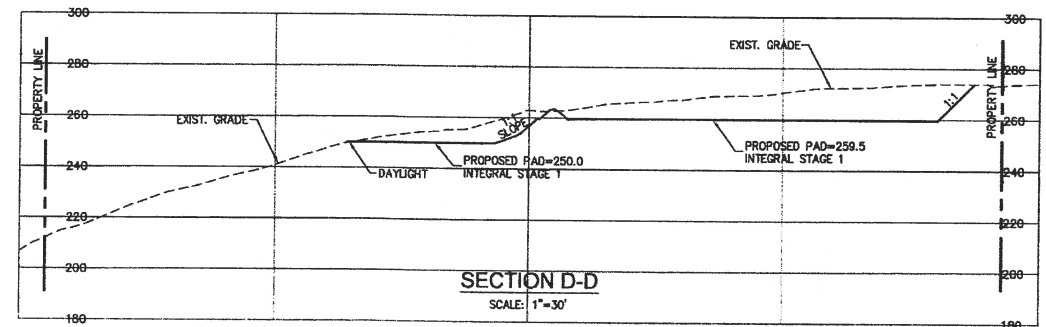
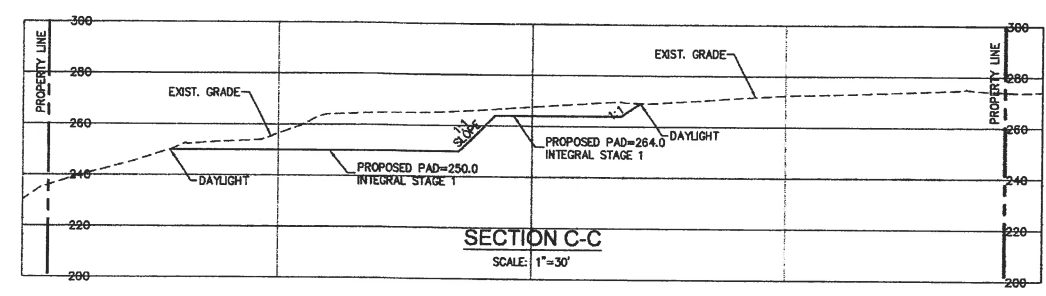
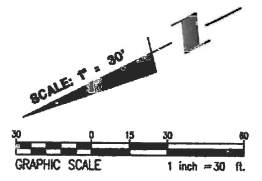




**INTEGRAL GRADING  
EARTHWORK QUANTITIES**

* RAW CUT :	23,000 C.Y.
* RAW FILL :	0 C.Y.
EXPORT 23,000 C.Y. STOCKPILE 0 C.Y.	

\* QUANTITIES SHOWN HEREON ARE PART OF THE TOTAL QUANTITIES SUMMARY ON SHEET C-2.0.



**ADAMS • STREETER  
CIVIL ENGINEERS, INC.**  
P.O. BOX 474230, F.O.B. #48  
4142881



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JOB NO.  
21235

DRWN/CHK'D  
NS

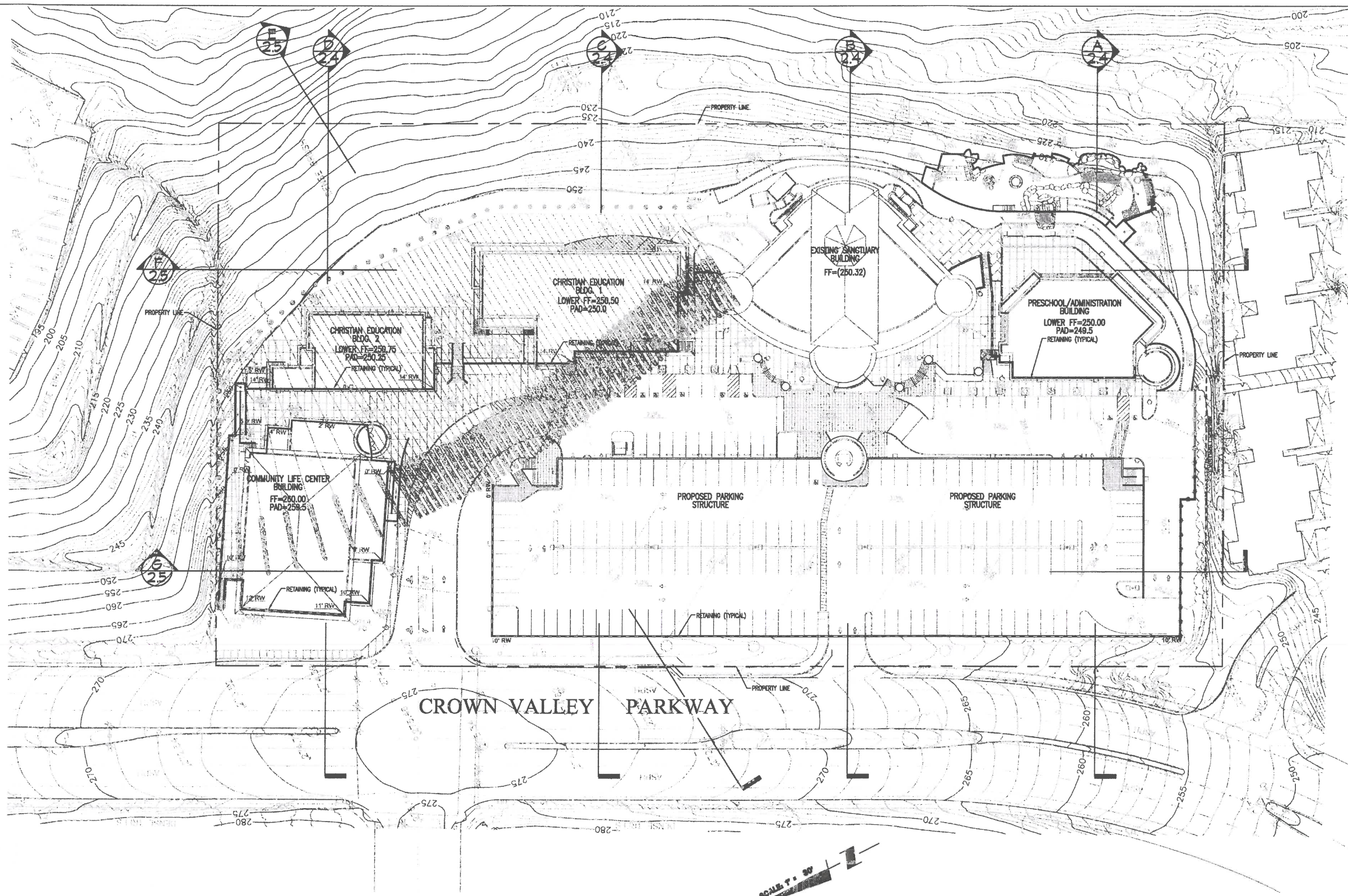
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SHT. TITLE

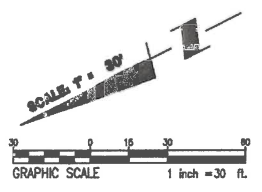
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GRADING EXHIBIT**  
STAGE 1  
INTEGRAL GRADING

SHEET NO.

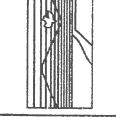
**C-2.1**



**LEGEND:**  
 INDICATES RETAINING WALL/STRUCTURE



**ADAMS • STREETER**  
 CIVIL ENGINEERS, INC.  
 10000 Crown Valley Parkway, Suite 200  
 Dana Point, CA 92629  
 Tel: 949-444-8880 Fax: 949-444-8881



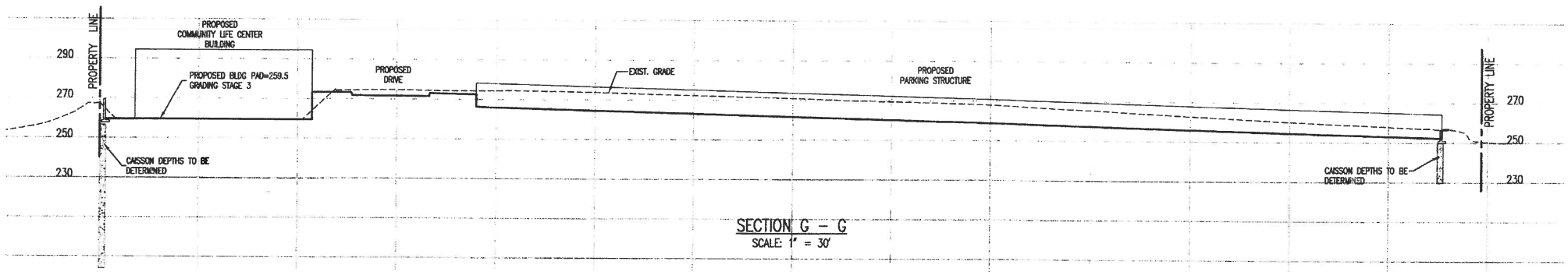
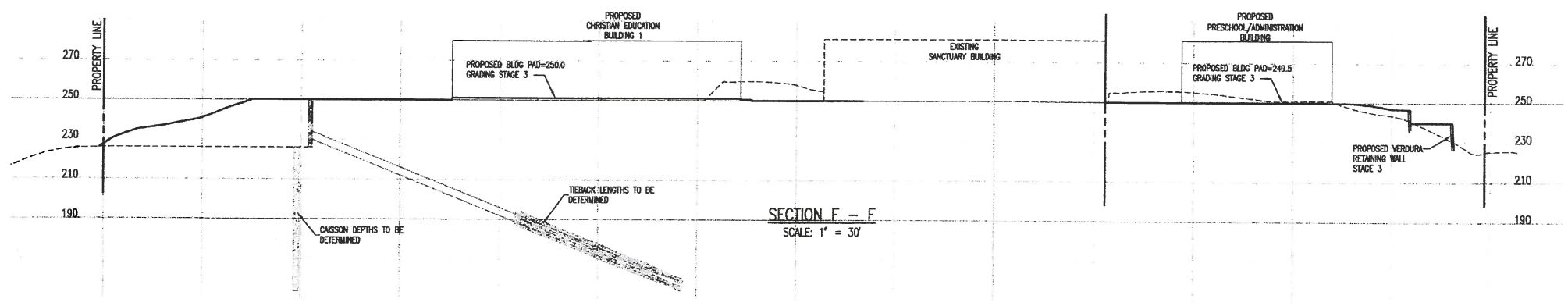
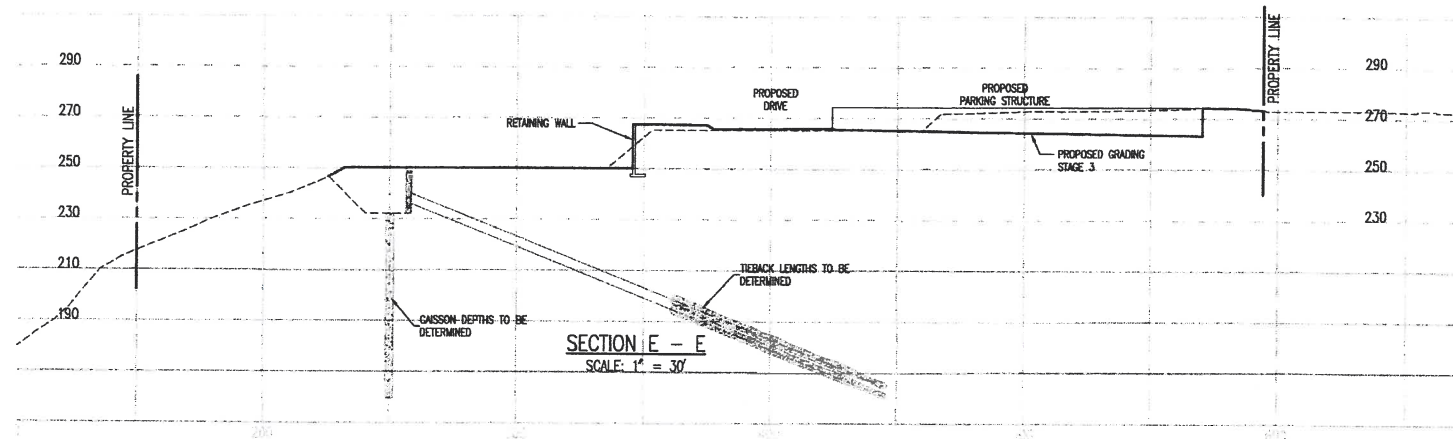
**REGISTERED PROFESSIONAL ENGINEER**  
 THOMAS A. STREETER  
 No. 7628  
 Exp. 08/04/15  
 ARCH/ENG STAMP

**ALTERNATIVE**  
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 Dana Point, California 92629

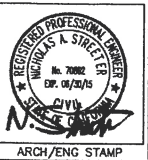
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DRWN/CHK'D	NS
DATE	ISSUE
✓ FEB. 07.12	1
△ AUG. 16.12	
△ APR. 15.13	
△ DEC. 02.13	
MAR. 09.15	

SHT. TITLE  
**CORRECTIVE GRADING EXHIBIT**  
 STAGE 3 (FINAL)  
 ROUGH GRADING

SHEET NO.  
**C-2.3**



ADAMS • STREETER  
CIVIL ENGINEERS, INC.  
10 Corporate Park, Irvine, CA 92618  
Ph: 949 476-2350 Fax: 949 474-0381



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ALTERNATIVE  
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JOB NO.  
21235

DRWN/CHK'D  
NS

DATE	ISSUE
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▲ AUG.16.12	-
▲ APR.15.13	-
▲ MAR.09.15	-

SHT. TITLE  
CORRECTIVE  
GRADING EXHIBIT  
STAGE 3  
ROUGH GRADE SECTIONS

SHEET NO.

**C-2.5**