

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

ITEM #3

DATE: MARCH 23, 2015

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP14-0021 AND MINOR SITE DEVELOPMENT PERMIT 14-0039(M) TO ALLOW THE ADDITION OF 1,170 SQUARE FEET OF NEW HABITABLE FLOOR AREA, AS WELL AS THE CONSTRUCTION OF A NEW, DETACHED, 656 SQUARE FOOT, TWO-VEHICLE GARAGE IN CONJUNCTION WITH THE ADDITION OF A NEW, 300 SQUARE-FOOT ROOF-DECK AT AN EXISTING, TWO-STORY, SINGLE-FAMILY DWELLING LOCATED ON A COASTAL BLUFF AT 35501 CAMINO CAPISTRANO

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Coastal Development CDP14-0021 and Minor Site Development Permit SDP14-0039(M).

PROJECT APPLICANT: SouthPointe Construction

PROPERTY OWNERS: Behzad and Nori Cohan

REQUEST: Approval of a Coastal Development Permit and Minor Site Development Permit to allow additions exceeding 10 percent of existing square footage as well as the addition of a new roof deck, to a single-family dwelling located on a coastal bluff within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 35501 Camino Capistrano (APN 691-083-36)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on March 11, 2015, published within a newspaper of general circulation on March 12, 2015, and posted on March 13, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorical Exempt per Section Categorical Exempt per Section 15301 (Class 1 – Existing Facilities) in that the application proposes a nominal additions to an existing single-family dwelling.

ISSUES:

- Project consistency with the Dana Point General Plan, Zoning Code (DPZC) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject property measures an approximate 10,145 square feet (.23 acres) and is located on land containing a coastal bluff as defined in the Dana Point Zoning Code (DPZC). The developed portion of the lot is generally flat with a gradual descent thereafter toward the ocean, followed by a steep drop (the face of the bluff) to Pacific Coast Highway (PCH) below. The property contains a single-family dwelling comprising two-stories and 3,226 square feet of habitable gross floor area qualified as “legal nonconforming” as its location doesn’t comply with contemporary setback requirements from the edge of the property’s coastal bluff. A detached 656 square-foot garage with 356 square-feet of accessory space above is located forward of the primary dwelling fronting Camino Capistrano. The property contains a coastal bluff (per the City’s General Plan and the DPZC) qualifying it as an “environmentally sensitive area” (ESA) and therefore existing and proposed development is subject to specific design and location criteria.

The lot is zoned as “Residential Single-Family 3” (RSF-3) and is located both within the City’s Coastal Overlay District (the CA Coastal Zone) as well as the Appeals Jurisdiction of the CA Coastal Commission.

DISCUSSION:

The subject application proposes the demolition of the property’s existing garage, the construction of a new, single-story, detached two-vehicle garage as well as additions to the lot’s primary dwelling in the form of new habitable floor area and a new roof-deck. Broken down, these improvements are as follows:

- *Detached, two-vehicle garage connected by a breezeway:* 656 square feet
- *First floor addition to primary dwelling:* 585 square feet
- *Second floor addition to primary dwelling:* 585 square feet
- *Roof-deck:* 300 square feet

As aforementioned, the subject dwelling is qualified as legal nonconforming by virtue of an existing, approximately 12-foot structure setback from the property's delineated edge of coastal bluff where a 40-foot distance is required under contemporary standards. That said however, all square footage proposed under the present application would be added to the southerly (front or street-facing) side of the dwelling and no alterations to either the dwelling's foundation, or expansion of the structure within the required 40 foot setback from edge of bluff are proposed.

As stated, a 300 square-foot roof-deck is proposed, accessed by a new spiral staircase extending from grade to an existing balcony at the west-facing façade of the structure. The deck would be recessed into a new roof and, in compliance with Section 9.05.230 of the DPZC, hidden at all elevations either by the roof itself or existing/proposed architectural elements. With the proposed alterations to the roof, overall dwelling height would be a maximum of 25 feet, 6 inches above existing grade with a Code-compliant roof pitch of 9:12.

Finally, a complete interior remodel is proposed which would result in construction of new partition walls and/or reconfiguration of rooms within the dwelling. Completion of the proposed improvements would result in a total bedroom count of five and a gross habitable floor area of 4,396 square feet with a detached, 656 square foot, two-vehicle garage.

Exterior (site) improvements are limited to a new driveway, landscaping and pathways within approximately the front one-half of the property with no new landscaping or structures proposed within the property's required 40 foot setback from edge of coastal bluff. Moreover, a condition of approval has been included in the project's draft resolution stating that any existing irrigation within the setback area shall be removed at time of project construction.

Coastal Development Permit CDP14-0021

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, the following are design or development "triggers" that necessitate application and approval of a Coastal Development Permit when proposed on land located within the City's Coastal Overlay District (the CA Coastal Zone):

- *A request for a 10 percent or greater expansion in floor area (square footage).*

- *Any improvements to a structure located within 50 feet from the edge of a coastal bluff.*
- *The construction or placement of any detached structure.*

The subject application proposes the addition of 1,170 square feet of new floor area to the property's existing 3,226 square-foot dwelling - an increase of approximately 36 percent. An interior remodel is also proposed that while not expanding the dwelling nor impacting its foundation within the property's 40-foot setback, would nonetheless occur within 50 feet from the property's edge of bluff. Finally, construction of a new, detached two-vehicle garage is also proposed - an improvement that, as with the other stated alterations to the dwelling, requires approval of a CDP.

Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Supportive findings can be made for the CDP request and are enumerated in the project's draft resolution (Attachment 1).

Minor Site Development Permit SDP14-0039(M)

Where a greater than 10 percent increase in floor area (square footage) is proposed to a legal nonconforming structure and/or the construction of a roof-deck, application and approval of a Minor Site Development Permit shall be required.

Section 9.05.080 of the Dana Point Zoning Code stipulates a minimum of four findings for approval of an SDP:

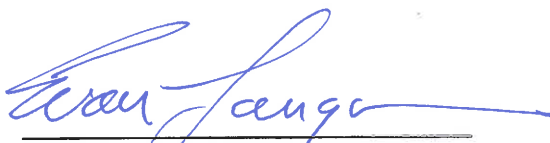
1. *Compliance of the site design with development standards of the Dana Point Zoning Code;*
2. *Suitability of the site for the proposed use and development;*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines;*
4. *Site and structural design which is appropriate for the site and function of the proposed use(s), without requiring a particular style or type of architecture.*

Supportive findings can be made for the SDP(M) request as are enumerated in the attached resolution.

CORRESPONDENCE: To date, no correspondence has been received regarding this project.

The property is not located within a homeowner's association (HOA).

CONCLUSION: Staff finds that the subject project is consistent with the policies and development standards of the Dana Point General Plan and Zoning Code (the latter being the implementing document for the City's Local Coastal Program). As the project has been found compliant, staff recommends the Planning Commission adopt the attached resolution, approving CDP14-0021 and SDP14-0039(M), subject to findings and conditions of approval.


Evan Langan, AICP
Associate Planner


Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 15-03-23-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)

RESOLUTION NO. 15-03-23-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP14-0021 AND MINOR SITE DEVELOPMENT PERMIT 14-0039(M) TO ALLOW THE ADDITION OF 1,170 SQUARE FEET OF NEW HABITABLE FLOOR AREA, AS WELL AS THE CONSTRUCTION OF A NEW, DETACHED, 656 SQUARE FOOT, TWO-VEHICLE GARAGE IN CONJUNCTION WITH THE ADDITION OF A NEW, 300 SQUARE-FOOT ROOF-DECK AT AN EXISTING, TWO-STORY, SINGLE-FAMILY DWELLING LOCATED ON A COASTAL BLUFF AT 35501 CAMINO CAPISTRANO

Project Applicant: SouthPointe Construction
Property Owners: Behzad and Nori Cohan

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, the applicant filed a verified application for a Coastal Development Permit and Minor Site Development Permit to allow for additions to an existing non-conforming single-family dwelling including a new roof-deck at 35501 Camino Capistrano (APN 691-083-36); and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt from review under the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1 - Existing Facilities) of the CEQA Guidelines; and

WHEREAS, the Planning Commission did, on the 23rd day of March, 2015, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP14-0021 and Minor Site Development Permit SDP14-0039(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP14-0021 and SDP14-0039(M) subject to conditions:

ATTACHMENT #1

Findings:

Coastal Development Permit CDP14-0021

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “preserve the individual positive character and identity of the City’s communities” by fostering new, aesthetically pleasing residential development at the subject property that is both wholly compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that the project is not so located and thusly conforms to the public Access and Public Recreation Policies of Chapter Three of the Coastal Act.**
3. That the project conforms with Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facilities) in that it proposes a nominal increase in square footage to an existing residential dwelling.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats (ESA) and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that while the subject property is identified as an ESA (contains a coastal bluff as defined in the Dana Point Zoning Code), additions are proposed only on the landward side of the property - outside of the required setback from the edge of the coastal bluff - and would accordingly have no impact on an ESA and so require no buffer. The property is already developed, is not adjacent to any parks, designated scenic or recreation areas and so no impacts would occur with implementation of the project.**

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that all improvements will be constructed on already developed portions of the lot, minimizing required grading and will be set back to a distance from the edge of the property's coastal bluff that incorporates foreseen bluff erosion over the next 50 years. The design and proposed location of all improvements have been analyzed by City geotechnical staff, found to be both safe and appropriate, and not resulting in undue risks from geologic and erosional forces. Finally, the proposed development will be constructed in conformance with applicable regulations for flood and fire hazards, minimizing undue risks from flood, fire or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed project will propose additions to an existing residential dwelling in a manner that conforms to current development and design standards of the Dana Point Zoning Code.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staffs as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program for the subject property). There are no adopted specific plans that apply to the subject property.**

Minor Site Development Permit SDP14-0039(M)

1. That the site design complies with development standards of the Dana Point Zoning Code **in that the subject application proposes the addition of a new, 300 square-foot roof-deck to an existing residential dwelling. The design and location of the deck are found to comply with both the standards and the intent of the Dana Point Zoning Code in that the structure would be "stealth" (hidden from view to the greatest extent feasible) and, the deck as proposed does not exceed the maximum size permissible by Code.**

2. That the site is suitable for the proposed use and development **in that roof-decks are permitted development in the subject property's Residential Single-Family 4 Zoning District. Staff finds that the proposed roof-deck meets the size and aesthetic requirements of Section 9.05.230 of the Dana Point Zoning Code and would allow the property owner more effective and enjoyable use of the subject dwelling.**
3. That proposed development complies with all elements of the General Plan and Local Coastal Program and all applicable provisions of the Urban Design Guidelines **in that the proposed roof-deck is consistent with the referenced documents in that its' design doesn't conflict with any goal or policy. The subject project is proposed on land located within the City's Coastal Overlay District (the CA Coastal Zone) however; the proposed roof-deck qualifies as "exempt development" pursuant to Section 9.69.040 of the Dana Point Zoning Code.**
4. That the site and structural design are appropriate for the site and function of the proposed uses, without requiring a particular style or type of architecture **in that the proposed roof-deck is permitted within the property's RSF-7/PRD-5 Zoning/Overlay Districts and are of a design that compliments the broader form, massing and proposed architectural style of the remodeled/expanded dwelling.**

Conditions:

A. General:

1. Approval of this application permits additions in square footage and a new roof-deck to the single-family dwelling located at 35501 Camino Capistrano as per plans submitted to and on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action.

If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
6. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The applicant and owner, and their successors in interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.

8. The project shall meet all water quality requirements.
9. An Encroachment Permit shall be obtained prior to any work within the City Right-of-Way.
10. All damaged curb, gutter, and sidewalk shall be removed and replaced along the entire frontage of the subject property per the City Engineer.
11. No construction is permitted within the area of the property's 40-foot setback from edge of coastal bluff.
12. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
13. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling. Said plan shall be reviewed and approved by the City's C&D Compliance Official prior to issuance of any permits.
14. The 40-foot bluff setback from the property's delineated edge of coastal bluff shall be clearly shown on all plans submitted to the City.
15. Per Section 9.27.030 of the Dana Point Zoning Code, no new structure foundations are allowed within the 40-foot setback from the delineated edge of the property's coastal bluff.
16. Should it be found in the course of construction that the dwellings' existing foundation and/or slab are not suitable for proposed improvements, construction work shall be stopped and new plans submitted (to the City) for determination of required process of review.
17. The approved project shall conform to the standards of Section 9.63.040 of the Dana Point Zoning Code which stipulates:
 - *If any nonconforming portion of a structure is removed, that portion shall be reconstructed in conformance with current requirements of this Code.*

- *Any nonconforming structure lawfully existing at the time of adoption of this Code which is demolished beyond 50 percent of the total linear length of all walls, shall be reconstructed to conform to the current requirements of this Code.*

B. Prior to Building Plan Check Submittal and/or prior to Issuance of a Building Permit or release on certain related inspections:

18. Building plan check submittal shall include four sets of the following construction documents (as applicable):
 - *Building Plans*
 - *Energy Calculations*
 - *Structural Calculations*
 - *Soils/Geology Report*
19. Review of the project by the Orange County Fire Authority (OCFA) shall be required. The applicant shall submit three separate sets of plans directly to the OCFA for review and approval.
20. The application for a building permit shall include a grading and drainage plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal in conformance with Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
21. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
22. The applicant shall submit an Erosion and Sediment Control plan in compliance with all State of California and the City of Dana Point standards for review and approval.
23. The applicant shall submit a separate survey of the property clearly showing the bluff edge and 40-foot bluff edge setback and in compliance with all the City of Dana Point standards for review and approval.

24. Prior to issuance of a building permit, the applicant and his/her construction team (including but not limited to, their chosen contractor, project manager, property owner) shall attend a preconstruction meeting at City Hall to discuss requirements and expectations when making improvements to a nonconforming single-family dwelling.

D. Prior to Issuance of a Certificate of Occupancy (“C-of-O”) and/or Final Inspection by City Staff:

25. Prior to commencement of framing, the applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP14-0021. The City’s standard “Line & Grade Certification” form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
26. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP14-0021. The City’s standard “Height Certification” form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil surveyor and be delivered to the Building and Planning Divisions for approval before release of final roof sheathing is granted
27. The applicant shall submit a final Landscape and Irrigation plan for review and approval by both the Planning Division and Public Works/Engineering Department. Approval of this plan shall be required prior to issuance of a Certificate of Occupancy (C-of-O).

The Final Landscaping Plan shall include the following:

- *All proposed and existing plant materials (location, type, size, quantity).*
- *Removal of any and all irrigation within the area of the setback (40 feet) from the edge of the property’s coastal bluff.*
- *An irrigation plan (if irrigation is proposed).*
- *The project’s approved Site Plan and a copy of the entitlement conditions of approval superimposed over one or more sheets within the plan.*

Moreover, the plan shall include the following notations to be contained within prominent text boxes:

- *All existing irrigation within the area of the property's setback (40 feet) from edge of coastal bluff shall be removed.*
 - *No new irrigation is permitted within the area of the property's setback (40 feet) from the edge of coastal bluff.*
28. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual and submitted to the Public Works/Engineering Department for review and approval.
 29. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
 30. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
 31. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.
 32. All work in the right-of-way shall be completed in conformance with the Encroachment Permit conditions to the satisfaction of the City Engineer.
 33. All permanent BMP's shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
 34. The applicant shall contact the Project Planner for a final inspection of the project and property prior to contacting the Building/Safety Division for a final inspection and project sign-off. All landscaping shall be installed (per plan) within the front (street facing) yard prior to final project inspection by the Planning Division.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 23rd day of March, 2015 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Liz Claus, Chairperson
City of Dana Point Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department



City of Dana Point
CDP14-0021 and SDP14-0039(M)
Evan Langan, AICP, Associate Planner
Community Development Department
33282 Golden Lantern
Dana Point, CA 92629-1805

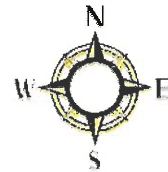
VICINITY MAP



Project: *CDP14-0021 and SDP14-0039(M)*

Owner and Applicant: *Behzad and Nori Cohan*

Location: *35501 Camino Capistrano*



RECEIVED

SEP 23 2014

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

COHAN RESIDENCE

35501 Camino Capistrano
Dana Point, CA 92624



SOUTHPOINTE
COMPANIES

Existing Photographic Documentation

ATTACHMENT #3



**Existing Front
Elevation**

View from Camino Capistrano towards Pacific Ocean. Images of existing 3,582 SQ.FT. Single Family Dwelling.





Adjacent Property
Front Elevation

Existing Single Family home
south of project location.



Adjacent Property
Front Elevation

Existing Single Family home





**Front Elevation of
Homes Across
Camino Capistrano**

View from Camino Capistrano
and looking towards Seascap
Circle.





**Side Elevation of
Adjacent Property**

Photographic documentation of adjacent property north of project location.





**Side Elevation of
Adjacent Property**

Photographic documentation of
property south of project
location.





**Rear Elevation of
Property**

Rear elevation of existing Single family Home overlooking Pacific Ocean.

ABBREVIATIONS

AB ANCHOR BOLTS	HDCP HANDICAP	REIN REINFORCING
AFF ABOVE FINISH FLOOR	HDWR HARDWARE	REQ'D REQUIRED
ANOD ANODIZED	HORIZ HORIZONTAL	RET RETAINING
AT ACOUSTIC TILE	HR HOUR	RE REVISED
BD BOARD	HT HEIGHT	RF RAISED FLOOR
BESB BLUFF EDGE SETBACK	HVAC HEATING, VENT. AIR COND.	RM ROOM
BFC BELOW FINISHED CEILING	ID INSIDE DIAMETER	RO ROUGH OPENING
BLDG BUILDING	INSUL INSULATION	ROW RIGHT OF WAY
BLK BLOCK	INT INTERIOR	RYSB REAR YARD SETBACK
BOT BOTTOM	IN INVERT	SC SOLID CORE
BTWN BETWEEN	JST JOIST	S CONC SEALED CONCRETE
CB CONCRETE BLOCK	JT JOINT	SD STORM DRAIN
CHAN CHANNEL	KO KNOCKOUT	SEC SECTION
CI CAST IRON	LAM LAMINATE	SIM SIMILAR
CLG CEILING	LAV LAVATORY	SPEC SPECIFICATION
CMP CORRUGATED METAL PIPE	LH LEFTHAND	SS STAINLESS STEEL
CMU CONCRETE MASONRY UNIT	LL LIVELoad	S/S SERVICE SINK
COL COLUMN	LWC LIGHT WEIGHT CONCRETE	STD STANDARD
CONC CONCRETE	MAS MASONRY	STL STEEL
CONST CONSTRUCTION	MAX MAXIMUM	STRUCT STRUCTURE
CONT CONTINUOUS	MECH MECHANICAL	SUSP SUSPENDED
CONTR CONTRA	MFR MANUFACTURER	SYSB SIDE YARD SETBACK
CPT CARPET	MH MANHOLE	T TREAD
CT CERAMIC TILE	MIN MINIMUM	T&G TONGUE AND GROVE
D DRYER	MISC MISCELLANEOUS	TEL TELEPHONE
DBL DOUBLE	MO MASONRY OPENING	TEMP TEMPERED
DTL DETAIL	MTL METAL	TD TRASH DISPOSAL
DIM DIMENSION	N NEW	TJ TOOLED JOINT
DN DOWN	NIC NOT IN CONTRACT	TLT TOILET
DR DOOR	NOM NOMINAL	TOC TOP OF CONCRETE
DW DISHWASHER	NONCOM NON-COMBUSTIBLE	TOF TOP OF FOOTING
DWG DRAWING	NTS NOT TO SCALE	TOP TOP OF MASONRY
E EXISTING	OC ON CENTER	TOP TOP OF PLATE
EA EACH	OD OVERFLOW DRAIN	TOS TOP OF STEEL
EJ EXPANSION JOINT	OH OPPOSITE HAND	TOW TOP OF WALL
EL ELEVATION	OPNG OPENING	TRANS TRANSFORMER
ELEC ELECTRICAL	OPP OPPOSITE	TYP TYPICAL
EM ELECTRICAL METER	OVHD OVERHEAD	VB VAPOR BARRIER
EQ EQUAL	PART PARTITION	VERT VERTICAL
EQUIP EQUIPMENT	PART BD PARTICLE BOARD	VIR VERIFY IN FIELD
EXP EXPANSION	PC PRE CAST CONCRETE	VWC VINYL WALL COVERING
EXT EXTERIOR	PIP POURED IN PLACE	W WTH
ELEC ELECTRICAL	PL PLATE	W/O WITHOUT
EQ EQUAL	PLM PLASTIC LAMINATE	W WASHER
EQUIP EQUIPMENT	PLYWD PLYWOOD	WC WATER CLOSET
EXP EXPANSION	PL PROPERTY LINE	WD WOOD
EXT EXTERIOR	PR PAIR	WC WALK-IN CLOSET
FD FLOOR DRIAN	PSF POUNDS PER SQUARE FOOT	WP WATERPROOF
FDN FOUNDATION	PT POUNDS PER SQUARE INCH	WDW WINDOW
FF FINISH FLOOR	QT QUARRY TILE	WM WATER METER
FLR FLOOR	R RADIUS	
FLOUR FLOURECENT	RA RETURN AIR	
FP FIREPROOF	RB RUBBER BASE	
FYSB FRONT YARD SETBACK	RD ROOF DRAIN	
GA GAUGE	RE REFER/REFERENCE	
GAL GALVANIZED	REFL REFLECTED	
GYP BD GYPSUM BOARD		
GC GENERAL CONTRACTOR		
GI GALVANIZED IRON		
GL GLASS		
GM GAS METER		
GR GRADE		

REMODEL / ADDITION

35501 CAMINO CAPISTRANO
DANA POINT, CA 92624



RECEIVED

FEB 23 2015

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



REMODEL AND ADDITION
**35501 CAMINO
CAPISTRANO, DANA
POINT 92624**

PROJECT DIRECTORY

OWNER
BEHZAD & NORI COHAN
35501 CAMINO CAPISTRANO
DANA POINT, CA 92624

CITY OF DANA POINT
PLANNING DEPARTMENT
33282 GOLDEN LANTERN
DANA POINT, CA 92629

DESIGNER
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STRUCTURAL ENGINEERING
NEAL WANKET, PE
27537 COMMERCE CENTER DRIVE SUITE 205
TEMECULA, CA 92590
951.506.6507

APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH THE:

- 2013 CALIFORNIA RESIDENTIAL CODE
- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA ENERGY EFFICIENCY CODE STANDARDS CODE

DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

PROJECT SUMMARY

LEGAL DESCRIPTION	
APN #	691-083-36
LOT #	39 & 40
TR#	1128
OCCUPANCY	
GROUP	R3-U
CONSTRUCTION	
TYPE	VB
LOT SIZE	
RECTANGULAR	10,715.00 SQ.FT.
ZONING	
DANA POINT	RSP-3
NUMBER OF STORIES	
	2 28' HIGH MAX

BUILDING FLOOR AREA CALCULATIONS	
EXISTING FIRST FLOOR	1570 SQ.FT.
EXISTING SECOND FLOOR	1656 SQ.FT.
FIRST FLOOR ADDITION	585 SQ.FT.
SECOND FLOOR ADDITION	585 SQ.FT.
TOTAL NEW LIVING AREA	4395 SQ.FT.
OUTDOOR AREA	
EXISTING REAR YARD BALCONY	159 SQ.FT.
EXISTING SIDE YARD BALCONY	63 SQ.FT.
NEW ROOFTOP DECK	300 SQ.FT.
TOTAL BALCONY AREA	522 SQ.FT.

DETACHED STRUCTURES	
EXISTING DETACHED GARAGE	656 SQ.FT.
EXISTING DETACHED GAME ROOM	358 SQ.FT.
EXISTING FRONT PORCH	144 SQ.FT.
DEMO OF EXIST. STRUCTURES	-1156 SQ.FT.
NEW SINGLE CAR GARAGE	328 SQ.FT.
NEW SINGLE CAR GARAGE	328 SQ.FT.
BREEZEWAY	112 SQ.FT.
TOTAL NEW AREA	768 SQ.FT.

LOT COVERAGE		
LOT AREA	10,715.00	
BUILDING OUTLINE	4,396.00	41.03%
DETACHED STRUCTURES	768.00	7.17%
TOTAL	5,164.00	48.19%

ALLOWABLE LOT COVERAGE		
GROSS FLOOR AREA*	4,805.00	80%
NET FLOOR AREA**	5,459.00	51%
*GROSS FLOOR AREA CALCULATED BEFORE DEMO AND ADDITION		
**NET FLOOR AREA CALCULATED INCLUDING DEMO AND ADDITION		

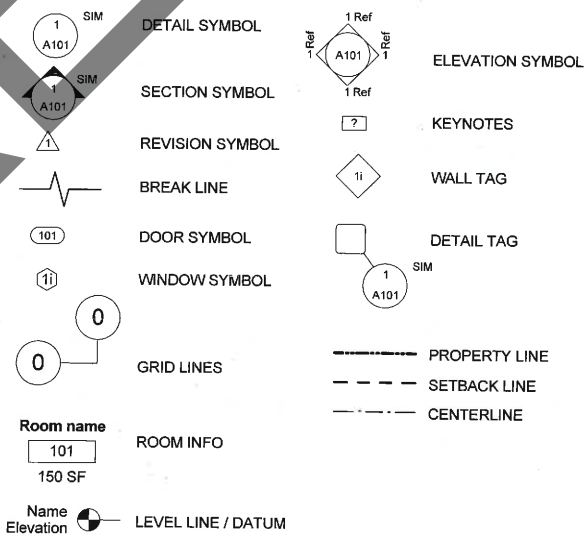
SCOPE OF WORK

DEMO (E) 3-CAR GARAGE, (E) ENTERTAINMENT ROOM, DEMO 74 SQ.FT. OF (E) ROOM AREA. DEMO FRONT PORCH, DEMO ENTIRE (E) ROOF.

REMODEL (E) 3,221 SQ.FT. HOME.

ADDITION OF 1,170 SQ.FT. TO HOME. (N) SPLIT SINGLE CAR GARAGE, BOTH AT 328 SQ.FT. (N) 73 SQ.FT. BREEZEWAY, (N) ROOF, (N) 300 SQ.FT. ROOFTOP DECK, MAINTENANCE ON (E) BALCONIES, NEW EXTERIOR FINISH, NEW WINDOWS, NEW DOORS. REPAIR AND REPLACE ALL HVAC, ELECTRICAL AND PLUMBING. UPGRADE TO 200 AMP PANEL, WITH 70 AMP SUBPANEL DEDICATED TO GARAGE SPACE.

ARCHITECTURAL SYMBOLS

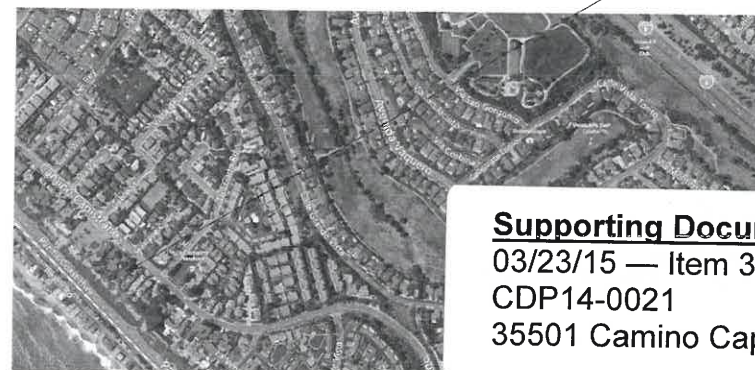


SHEET INDEX CDP

Sheet Number	Sheet Name
ARCHITECTURAL	
A0.0	TITLE PAGE
A1.0	SITE PLAN / WQMP PLAN
A1.1	DEMO PLAN / DEMO CALCULATIONS
A2.0	FLOOR PLAN
A2.1	FLOOR PLAN
A2.2	ROOFTOP DECK PLAN
A2.3	GARAGE FLOOR PLAN
A4.0	ELEVATIONS
A4.1	ELEVATIONS
A5.0	ROOF PLAN
CIVIL ENGINEERING	
G1.0	GRADING / DRAINAGE PLAN
G1.1	GRADING / GENERAL NOTES
LANDSCAPE	
L1.0	LANDSCAPE PLAN

Sheet Number	Sheet Name
STRUCTURAL	
S-2	FOUNDATION PLAN
SURVEY	
TS1.0	TOPOGRAPHIC SURVEY

VICINITY MAP



Supporting Document 4
03/23/15 — Item 3
CDP14-0021
35501 Camino Capistrano

Rudy Morales
RUDY MORALES
DESIGNER

REVISIONS		
No.	Description	Date

ISSUED FOR: PLAN REVIEW
ISSUED ON: 02/23/15
APPROVED ON: 02/23/15
PLAN CHECK
BIDDING
CONSTRUCTION

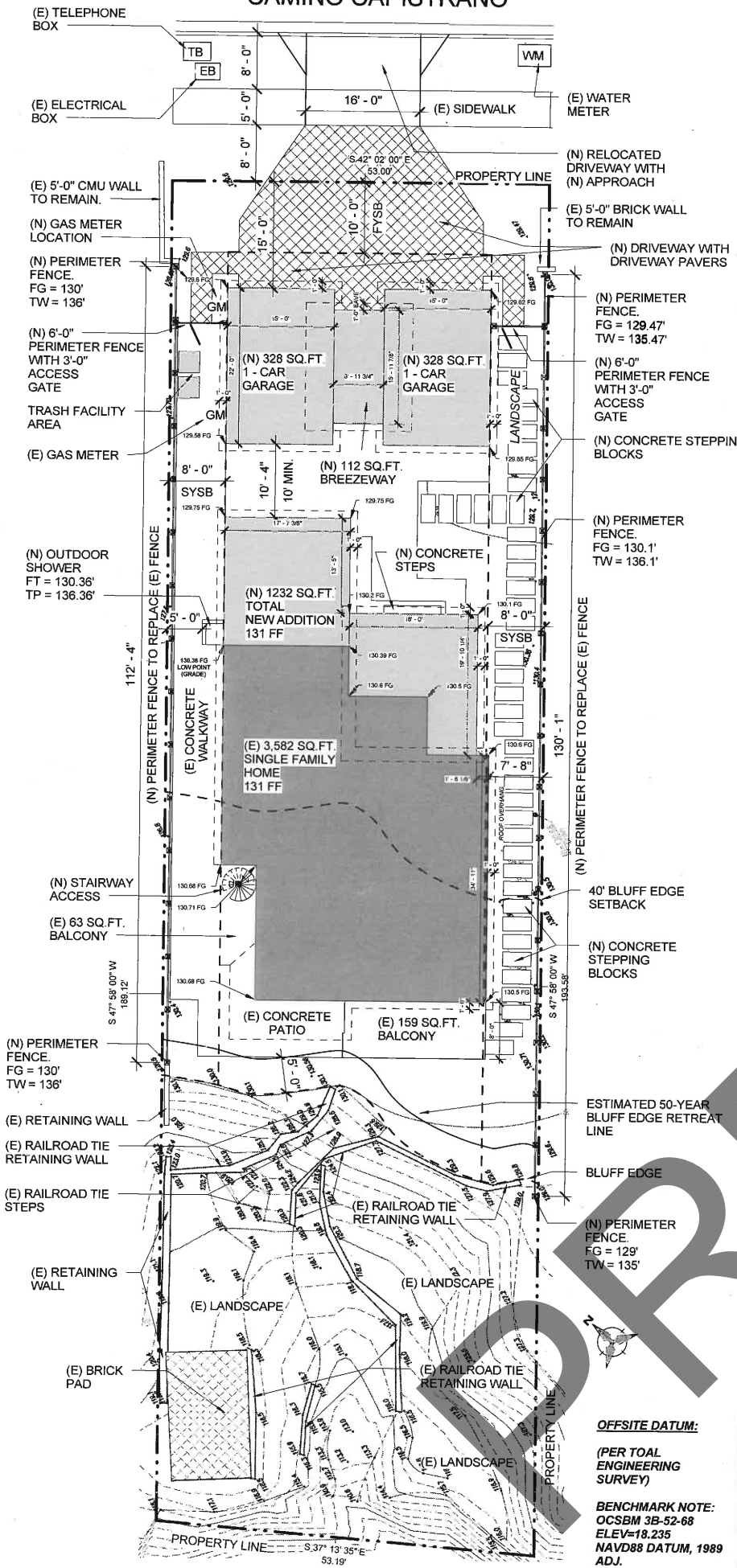
OWNER
BEHZAD & NORI COHAN
35501 CAMINO CAPISTRANO, DANA POINT 92624

REMODEL AND ADDITION
TITLE PAGE

Project number	2014-07
Date	02/23/15
Drawn by	RJM
Checked by	RJM

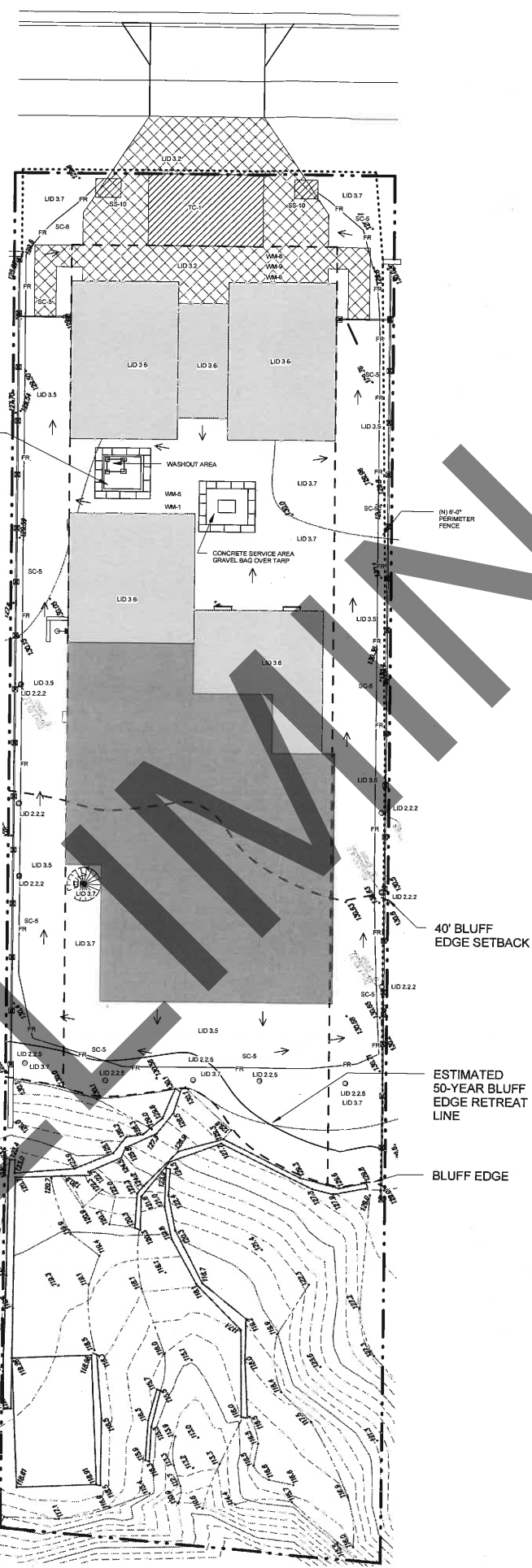
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CAMINO CAPISTRANO



1 (N) SITE PLAN
1" = 10'-0"

CAMINO CAPISTRANO



2 (N) WQMP
1" = 10'-0"

STORM WATER QUALITY NOTES / CONSTRUCTION BMP'S

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIAL THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTRIBUTED BY CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.

BMP LEGEND

- FD5 856 BROW DITCH
- FD5 858 BERM
- MATERIALS & WASTE MANAGEMENT CONTROL BMP'S:
 - WM-1 MATERIAL DELIVERY & STORAGE
 - WM-4 SPILL PREVENTION AND CONTROL
 - WM-5 CONCRETE WASTE MANAGEMENT
 - WM-5 SOLID WASTE MANAGEMENT
 - WM-3 SANITARY WASTE MANAGEMENT
 - WM-2 HAZARDOUS WASTE MANAGEMENT
- TEMPORARY RUNOFF CONTROL BMP'S:
 - SS-2 PRESERVATION OF EXISTING VEGETATION
 - FS-3 BONDED OR STABILIZED FIBER MATRIX (WINTER)
 - SS-4 HYDROSEEDING (SUMMER)
 - SS-6 STRAW OR WOOD MULCH
 - SS-8 PHYSICAL STABILIZATION (WINTER)
 - SS-10 ENERGY DISSIPATOR
 - SC-1 SILT FENCE
 - SC-2 SEDIMENT / DESILTING BASIN
 - SC-5 FIBER ROLLS
 - SC-8 / SC-8 GRAVEL OR SAND BAGS
 - SC-7 STREET SWEEPING AND VACUUMING
 - SC-10 STORM DRAIN INLET PROTECTION
 - NS-2 DEWATERING FILTRATION
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE
 - TC-2 CONSTRUCTION ROAD STABILIZATION
 - TC-3 ENTRANCE / EXIT TIRE WASH
- PERMANENT BMP'S:
 - SD-10 PROTECTION OF CHANNEL BANKS / MANUFACTURED SLOPES AND FLAT PAD AREA COVERAGE
 - SD-12 IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS
 - SD-13 STORM DRAIN STENCILING AND POSTING OF SIGNAGE
 - SD-32 PROPER DESIGN OF TRASH STORAGE AREAS
 - SD-34 PROPER DESIGN OF OUTDOOR MATERIAL STORAGE AREAS
 - EC-10 OUTLET PROTECTION
 - TC-10 UNDERGROUND INFILTRATION TRENCH
- LOW IMPACT DEVELOPMENT BMP'S:
 - LID 2.2.1 CONSERVATION OF NATURAL DRAINAGES, WELL DRAINED SOILS AND SIGNIFICANT VEGETATION
 - LID 2.2.2 MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
 - LID 2.2.3 MINIMIZE AND DISCONNECT IMPERVIOUS SURFACES
 - LID 2.2.4 MINIMIZE SOIL COMPACTION
 - LID 2.2.5 DRAIN RUNOFF FROM IMPERVIOUS SURFACES TO PERVIOUS AREAS
 - LID 3.1 HYDROLOGIC DESIGN
 - LID 3.2 PERMEABLE PAVEMENT DESIGN
 - LID 3.3 ROAD DESIGN FOR DEVELOPMENTS
 - LID 3.4 PARKING LOT DESIGN FOR COMMERCIAL PROJECTS
 - LID 3.5 DRIVEWAY, SIDEWALK, AND BIKE PATH DESIGN
 - LID 3.6 BUILDING DESIGN
 - LID 3.7 LANDSCAPING DESIGN

LEGEND

- (E) BUILDING AREA
- (N) BUILDING AREA
- PROPERTY LINE
- SETBACK LINE
- CENTER LINE

DRAINAGE

- THE GRADE SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10 FT. OF THE FOUNDATION WALL.
- BEYOND 10 FT. OF THE STRUCTURE, A MIN. SURFACE DRAINAGE SLOPE GRADE FOR LANDSCAPE & A.C. PAVEMENT OF 1.0% AND CONCRETE PAVEMENT OF 0%.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- ALL GRADES AROUND NEW STRUCTURE SHALL BE GRADED 2% AWAY FROM BUILDING AS SHOWN TO ACHIEVE DRAINAGE. FLOW LINE SHALL BE 1% AND SHALL CONNECT TO EXISTING FLOW LINE OR DRAINS THAT DRAIN TO STREET.

SHEET NOTES

- CONSTRUCTION FENCE WITH DUST CONTROL FABRIC
- SAND BAGS

STORM WATER MANAGEMENT

LAND DISTURBANCE ACTIVITY:
 TOTAL SITE AREA: 10,715.00 SQ.FT.
 TOTAL SITE OF CONSTRUCTION AREA: (PROPOSED ADDITION) 6,122.00 SQ.FT.
 TOTAL IMPERVIOUS AREA BEFORE AND AFTER CONSTRUCTION:
 BEFORE - 5,584.00 SQ.FT.
 AFTER - 6,245.00 SQ.FT.



REMODEL AND ADDITION
35501 CAMINO CAPISTRANO, DANA POINT 92624

RUDY MORALES
 DESIGNER

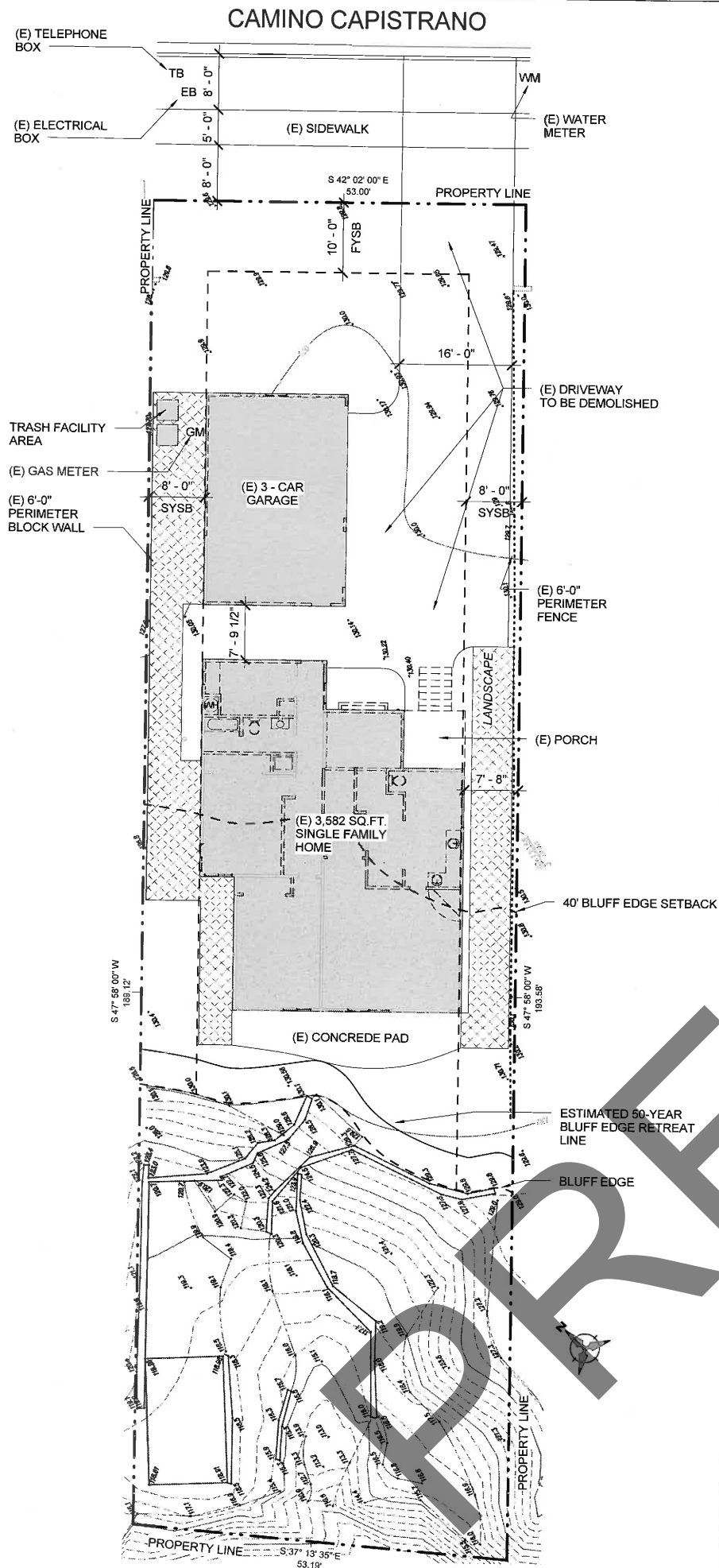
REVISIONS		
No.	Description	Date

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 ISSUED ON: 02/23/15
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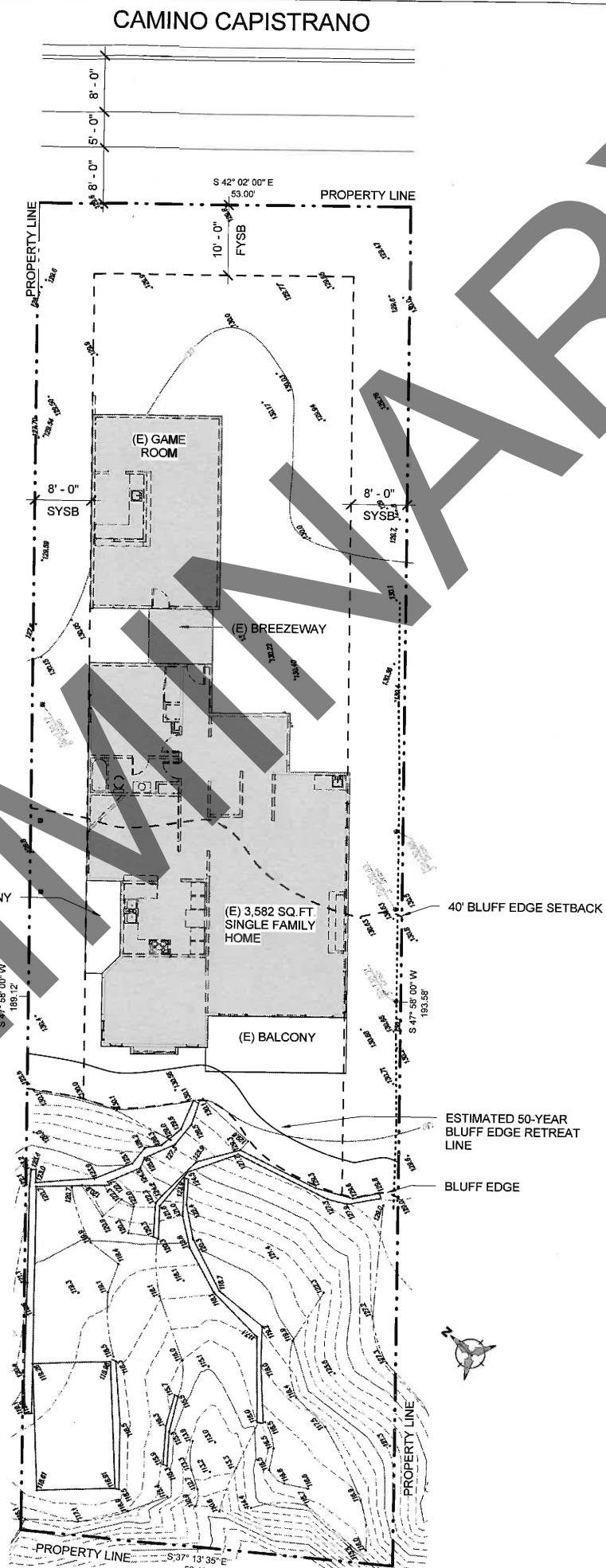
OWNER
 BEHZAD & NORI COHAN
 35501 CAMINO CAPISTRANO, DANA POINT 92624

REMODEL AND ADDITION
 SITE PLAN / WQMP PLAN

Project number	2014-07
Date	02/23/15
Drawn by	RJM
Checked by	RJM



① (D) SITE PLAN - 1st
1" = 10'-0"



② (D) SITE PLAN - 2nd
1" = 10'-0"

DEMOLITION CALCULATIONS

SINGLE FAMILY HOME		
TOTAL LENGTH OF EXISTING INTERIOR WALLS	381.00	LF
TOTAL OF PROPOSED WALLS TO BE DEMOLISHED	258.00	LF
TOTAL LENGTH OF EXISTING EXTERIOR WALLS	383.00	LF
TOTAL LENGTH OF EXTERIOR WALL TO BE DEMOLISHED	76.00	LF
PERCENTAGE OF EXTERIOR WALLS TO BE DEMOLISHED	20.94%	

PERCENTAGE OF ALL WALLS TO BE DEMOLISHED	44.89%
---	---------------

DETACHED GARAGE/GAME ROOM

TOTAL LENGTH OF EXISTING INTERIOR WALLS	0.00	LF
TOTAL OF PROPOSED WALLS TO BE DEMOLISHED	0.00	LF
TOTAL LENGTH OF EXISTING EXTERIOR WALLS	189.00	LF
TOTAL LENGTH OF EXTERIOR WALL TO BE DEMOLISHED	189.00	LF
PERCENTAGE OF EXTERIOR WALLS TO BE DEMOLISHED	100.00%	

DEMO LEGEND

- INT WALL TO DEMO
- INT WALL TO REMAIN
- EXT WALL TO DEMO
- EXT WALL TO REMAIN
- ALL DASHED ITEMS TO BE REMOVED

PURSUANT TO REQUIREMENTS OF SECTION 9.63.040 OF THE CITY OF DANA POINT ZONING CODE, IF ANY NONCONFORMING PORTION OF THIS STRUCTURE IS REMOVED, THAT PORTION WILL BE RECONSTRUCTED IN CONFORMANCE WITH CURRENT REQUIREMENTS OF THIS CODE.

PURSUANT TO REQUIREMENTS OF SECTION 9.63.040 OF THE CITY OF DANA POINT ZONING CODE, DEMOLITION BEYOND FIFTY (50) PERCENT OF THE TOTAL LINEAR LENGTH OF ALL WALLS, SHALL CONSTITUTE TOTAL DEMOLITION OF THE NONCONFORMING STRUCTURE AND SUCH SHALL SUBSEQUENTLY BE RECONSTRUCTED TO CONFORM TO THE CURRENT REQUIREMENTS OF THIS CODE.

SOUTHPOINTE CONSTRUCTION
LIC # 989405
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REMODEL AND ADDITION
35501 CAMINO CAPISTRANO, DANA POINT 92624

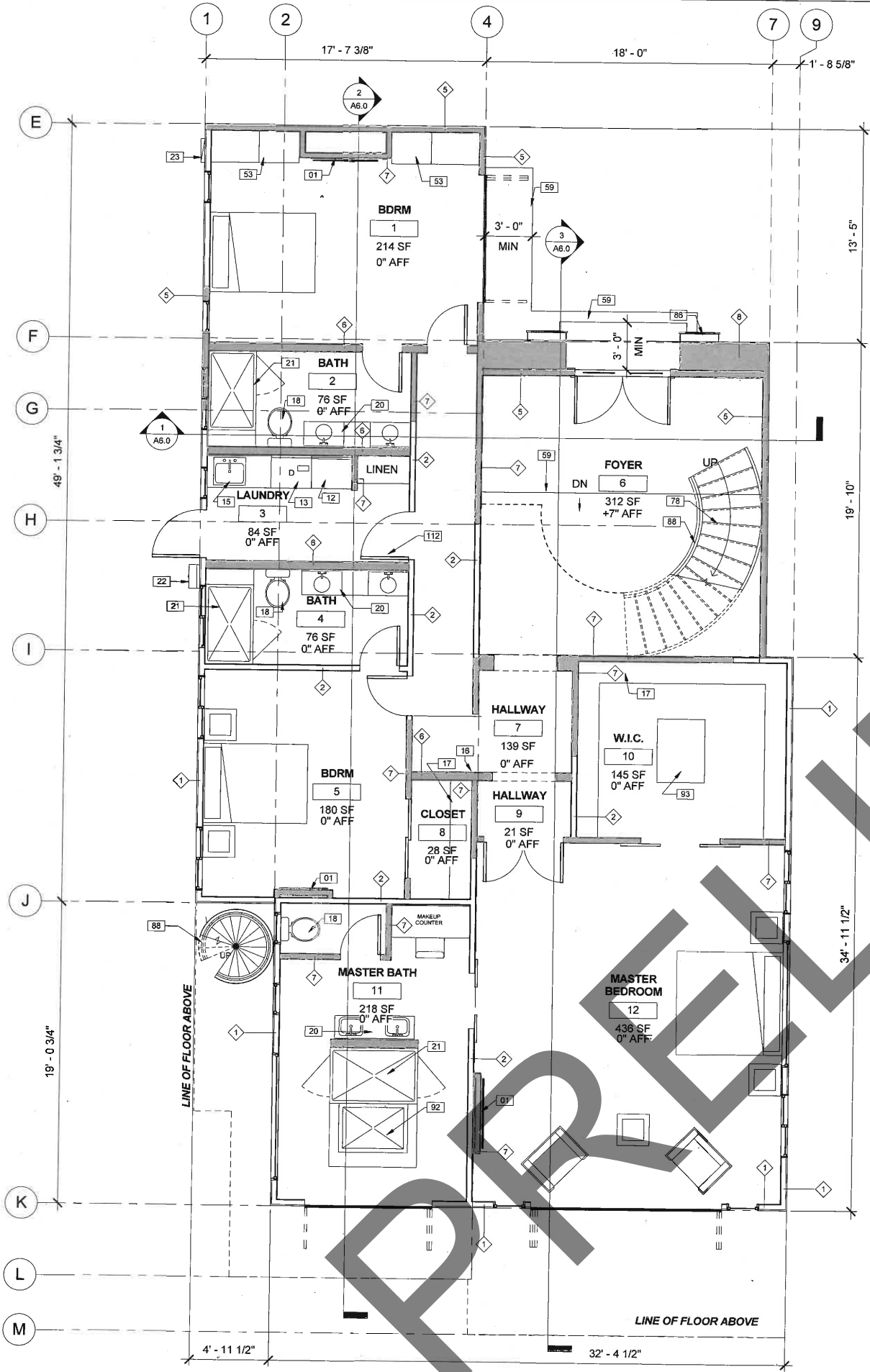
RUDY MORALES
DESIGNER

REVISIONS		
No.	Description	Date

ISSUED FOR: PLAN REVIEW PLAN CHECK BIDDING CONSTRUCTION	ISSUED ON:	APPROVED ON:
OWNER BEHZAD & NORI COHAN 35501 CAMINO CAPISTRANO, DANA POINT 92624		
REMODEL AND ADDITION DEMO PLAN / DEMO CALCULATIONS		
Project number	2014-07	
Date	02/23/15	
Drawn by	RJM	
Checked by	RJM	



REMODEL AND ADDITION
**35501 CAMINO
 CAPISTRANO, DANA
 POINT 92624**



KEYNOTE LEGEND

Key Value	Keynote Text
01	NAPOLEON FIREPLACE (UL LISTED) ELECTRIC FIREPLACE, VENTLESS, INSERT PER OWNER SELECTION
12	WASHER SPACE. PROVIDE RECESSED HOSE BIBB AND DRAIN IN WALL
13	DRYER SPACE. VENT 14' MAX LENGTH. MAX 90° ELBOWS. DUCT TYPE: 4" FLEX DUCTING FROM REAR OF DRYER TO 4" RIDID TO BE VENTED DOWN THROUGH FLOOR. INSTALL DRYER BOX
15	LAUNDRY ROOM SINK
16	NEST LEARNING THERMOSTAT MODEL #T200577
17	SHELF AND POLE
18	TOILET LOW FLOW TYPE (1.28 GALLONS PER FLUSH) TO HAVE MIN. 30" CLEAR WIDTH IN FRONT OF TOILET
20	DOUBLE SINK VANITY. FAUCET FLOW OF 2.2 GALLONS PER MINUTE.
21	SHOWER ENCLOSURE. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM). ALL ENCLOSURES TO BE TEMPERED GLASS. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF 72" MIN ABOVE THE FLOOR - PER SECTION R307.2.
22	RHEEM INTERIOR MOUNTED DIRECT TANKLESS WATER HEATER. MAKE - RHEEM, MODEL # ECOH200DVLN, 9.5 GPM. 1/2" SIDE CLEARANCE, 12" TOP AND BOTTOM CLEARANCE PER MFTR INSTRUCTIONS.
23	(N) 200 AMP ELECTRICAL METER
53	FULL HEIGHT CLOSET CABINETS
59	CONCRETE RISER. MINIMUM TREAD = 12" MIN. RISER = 7-3/4" MAX.
78	MINIMUM TREAD = 10" MIN. RISER = 7-3/4" MAX.
86	PRE-CAST MOLDING. COLOR TBD BY OWNER
88	38" STAIR HANDRAIL, WROUGHT IRON RAILING PER OWNER SELECTION.
92	CUSTOM SPA JACUZZI
93	CUSTOM W.I.C ISLAND
112	LAUNDRY ROOM DOOR TO HAVE MIN OF 100 SQ IN OPENING FOR DRYER VENT MAKE UP AIR - CMC SECT.504.3.1

WALL LEGEND

	(E) 2x4 WALL
	(N) 2x4 WALL
	(N) 2x6 WET WALL
	(N) 2x4 INTERIOR PARTITION.
	WALL TAG
	KEYNOTE TAG

- ### ADDITIONAL NOTES
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
 - REPLACE EXISTING SMOKE ALARMS AFTER 10 YEARS FROM DATE OF MFTR MARKED ON UNIT, OR IF DATE OF MFTR CANNOT BE DETERMINED - PER SECTION R314.3.2.
 - (E) NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED W/ WATER-CONSERVING PLUMBING FIXTURES FOR A RESIDENTIAL BUILDING UNDERGOING ADDITION OR ALTERATION PER SECT.301.1.1 OF 2013 CGBSC.

- ### PARTITION NOTES
- ALL DIMENSIONS ARE FINISH FACE OF WALLS OR GRID LINES, U.N.O.
 - ALL PLUMBING PARTITIONS SHALL BE 2x6 WOOD STUDS AT 16" OC.
 - ALL INTERIOR WALL PROJECTIONS SHALL USE 2x WOOD STUDS.
 - PROVIDE 2x10 WOOD BLOCKING/BACKING AT BACK OF EACH DOOR SWING IN LINE WITH DOOR HANDLE.
 - PROVIDE 2x10 BLOCKING/BACKING AT ALL LOCATIONS FOR TOWL BARS, TOILET PAPER ROLL DISPENSERS, WALL HUNG VANITIES, WALL HUNG CABINETS, WALL HUNG LIGHTING, ETC.
 - ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH FOR THE FINAL FINISH (LEVEL 5 THROUGHOUT U.N.O.).
 - BLOCKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. ALL WOOD BLOCKINGS, GROUNDS, ROUGH BUCKS, AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH MODEL BUILDING CODES AND FIRE CODES.
 - TYPICAL PARTITIONS TYPES ARE KEYED ON THE OVERALL BUILDING PLANS. CONTRACTOR TO REVIEW AND BE RESPONSIBLE FOR ALL NOTATIONS OF FINISH ALIGNMENTS IN DRAWINGS. MISALIGNED FRAMING TO BE CORRECTED AT CONTRACTORS EXPENSE.
 - WHEN SHEAR PANELS ARE INSTALLED BETWEEN THE FIRE PROTECTIVE GYP. BD. AND THE WOOD STUDS, THE LENGTH OF THE FASTENERS USED TO ATTACH THE FIRE PROTECTION MUST BE INCREASED BY AN AMOUNT EQUAL TO THE THICKNESS OF THE SHEAR PANEL. SEE WALL LEGEND FOR THE WALL TYPES ON PLANS.

RUDY MORALES
 DESIGNER

REVISIONS

No.	Description	Date

ISSUED FOR: PLAN REVIEW PLAN CHECK BIDDING CONSTRUCTION	ISSUED ON:	APPROVED ON:
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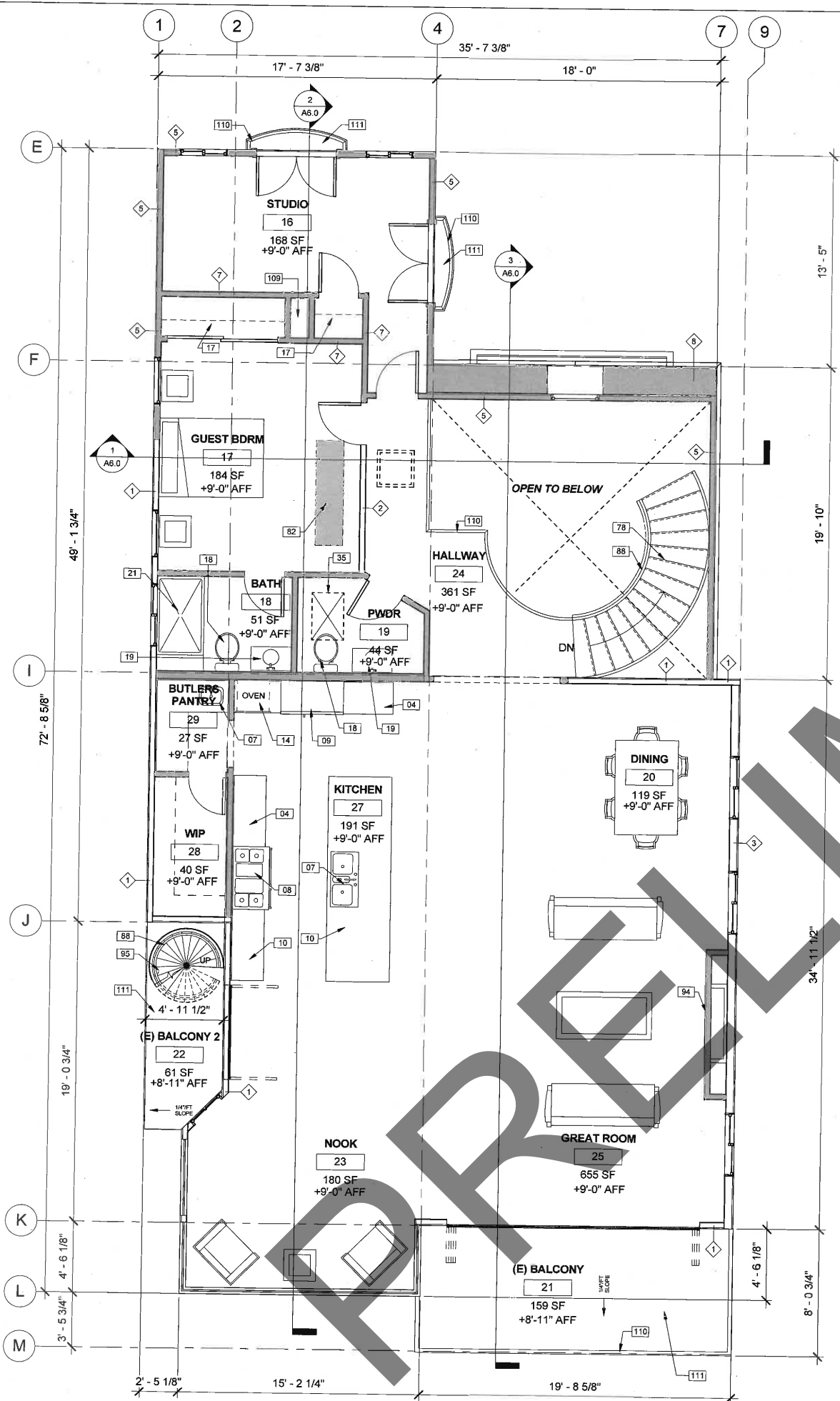
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 BEHZAD & NORI COHAN
 35501 CAMINO CAPISTRANO, DANA POINT 92624

**REMODEL AND ADDITION
 FLOOR PLAN**

Project number	2014-07
Date	02/23/15
Drawn by	RJM
Checked by	RJM

A2.0

1 FIRST FLOOR PLAN
1/4" = 1'-0"



1 SECOND FLOOR PLAN
1/4" = 1'-0"

KEYNOTE LEGEND

Key Value	Keynote Text
04	36" HIGH COUNTERTOP WITH BASE CABINETS
07	KITCHEN SINK WITH GARBAGE DISPOSAL PLUMBING
08	36" SLIDE IN RANGE
09	REFRIDGERATOR SPACE
10	ISLAND WITH BASE CABINETS AND COUNTER TOP
14	SLIDE-IN DOUBLE OVEN
17	SHelf AND POLE
18	TIOLET LOW FLOW TYPE (1.28 GALLONS PER FLUSH) TO HAVE MIN. 30" CLEAR WIDTH IN FRONT OF TIOLET
19	VANITY WITH LAVATORY FAUCET WITH MAXIMUM FLOW RATE OF 1.5 GALLONS PER MINUTE (GPM).
21	SHOWER ENCLOSURE. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM). ALL ENCLOSURES TO BE TEMPERED GLASS. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF 72" MIN ABOVE THE FLOOR - PER SECTION R307.2.
35	(N) 24"x36" ATTIC ACCESS. THE LARGEST PIECE OF EQUIPMENT CAN BE MOVED THROUGH THE OPENING
78	MINIMUM TREAD = 10" MIN. RISER = 7-3/4" MAX.
82	LOCATION OF FAU UNIT IN ATTIC. SEE DTL 03/A7.3 FOR MIN REQUIREMENTS.
88	38" STAIR HANDRAIL, WROUGHT IRON RAILING PER OWNER SELECTION.
94	60" GAS FIREPLACE INSERT
95	CUSTOM WROUGHT IRON SPIRAL STAIRCASE
109	HVAC CHASE FOR MECHANICAL USE
110	42" GUARDRAIL, PER OWNER SELECTION.
111	LIFE DECK ICC-ES ESR # 2701 WATER PROOF DECKING

WALL LEGEND

	(E) 2x4 WALL
	(N) 2x4 WALL
	(N) 2x6 WET WALL
	(N) 2x4 INTERIOR PARTITION.
	WALL TAG
	KEYNOTE TAG

- ### ADDITIONAL NOTES
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITH WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
 - REPLACE EXISTING SMOKE ALARMS AFTER 10 YEARS FROM DATE OF MFTR MARKED ON UNIT, OR IF DATE OF MFTR CANNOT BE DETERMINED - PER SECTION R314.3.2.
 - (E) NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED W/ WATER-CONSERVING PLUMBING FIXTURES FOR A RESIDENTIAL BUILDING UNDERGOING ADDITION OR ALTERATION PER SECT.301.1.1 OF 2013 CGBSC.

- ### PARTITION NOTES
- ALL DIMENSIONS ARE FINISH FACE OF WALLS OR GRID LINES, U.N.O.
 - ALL PLUMBING PARTITIONS SHALL BE 2x6 WOOD STUDS AT 16" OC.
 - ALL INTERIOR WALL PROJECTIONS SHALL USE 2x WOOD STUDS.
 - PROVIDE 2x10 WOOD BLOCKING/BACKING AT BACK OF EACH DOOR SWING IN LINE WITH DOOR HANDLE.
 - PROVIDE 2x10 BLOCKING/BACKING AT ALL LOCATIONS FOR TOWL BARS, TOILET PAPER ROLL DISPENSERS, WALL HUNG VANITIES, WALL HUNG CABINETRY, WALL HUNG LIGHTING, ETC.
 - ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH FOR THE FINAL FINISH (LEVEL 5 THROUGHOUT U.N.O.).
 - BLOCKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. ALL WOOD BLOCKINGS, GROUNDS, ROUGH BUCKS, AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH MODEL BUILDING CODES AND FIRE CODES.
 - TYPICAL PARTITIONS TYPES ARE KEYED ON THE OVERALL BUILDING PLANS. CONTRACTOR TO REVIEW AND BE RESPONSIBLE FOR ALL NOTATIONS OF FINISH ALIGNMENTS IN DRAWINGS. MISALIGNED FRAMING TO BE CORRECTED AT CONTRACTORS EXPENSE.
 - WHEN SHEAR PANELS ARE INSTALLED BETWEEN THE FIRE PROTECTIVE GYP.BD. AND THE WOOD STUDS, THE LENGTH OF THE FASTENERS USED TO ATTACH THE FIRE PROTECTION MUST BE INCREASED BY AN AMOUNT EQUAL TO THE THICKNESS OF THE SHEAR PANEL. SEE WALL LEGEND FOR THE WALL TYPES ON PLANS.



REMODEL AND ADDITION

35501 CAMINO CAPISTRANO, DANA POINT 92624







RUDY MORALES
DESIGNER

REVISIONS		
No.	Description	Date

ISSUED FOR: PLAN REVIEW PLAN CHECK BIDDING CONSTRUCTION	ISSUED ON:	APPROVED ON:
OWNER BEHZAD & NORI COHAN 35501 CAMINO CAPISTRANO, DANA POINT 92624		
REMODEL AND ADDITION FLOOR PLAN		
Project number	2014-07	
Date	02/23/15	
Drawn by	RJM	
Checked by	RJM	

KEYNOTE LEGEND	
Key Value	Keynote Text
104	1/4"X12" SLOPE
105	(N) 42" MIN PARAPET WALL WITH 6" GLASS TOP RAILING
106	DECK DRAIN, INLET FLOW LINE TO BE FLUSH WITH DECK FLOOR
107	OVERFLOW SCUPPER
108	WROUGHT IRON SPIRAL STAIRCASE
110	42" GUARDRAIL, PER OWNER SELECTION.
111	LIFE DECK ICC-ES ESR # 2701 WATER PROOF DECKING

WALL LEGEND

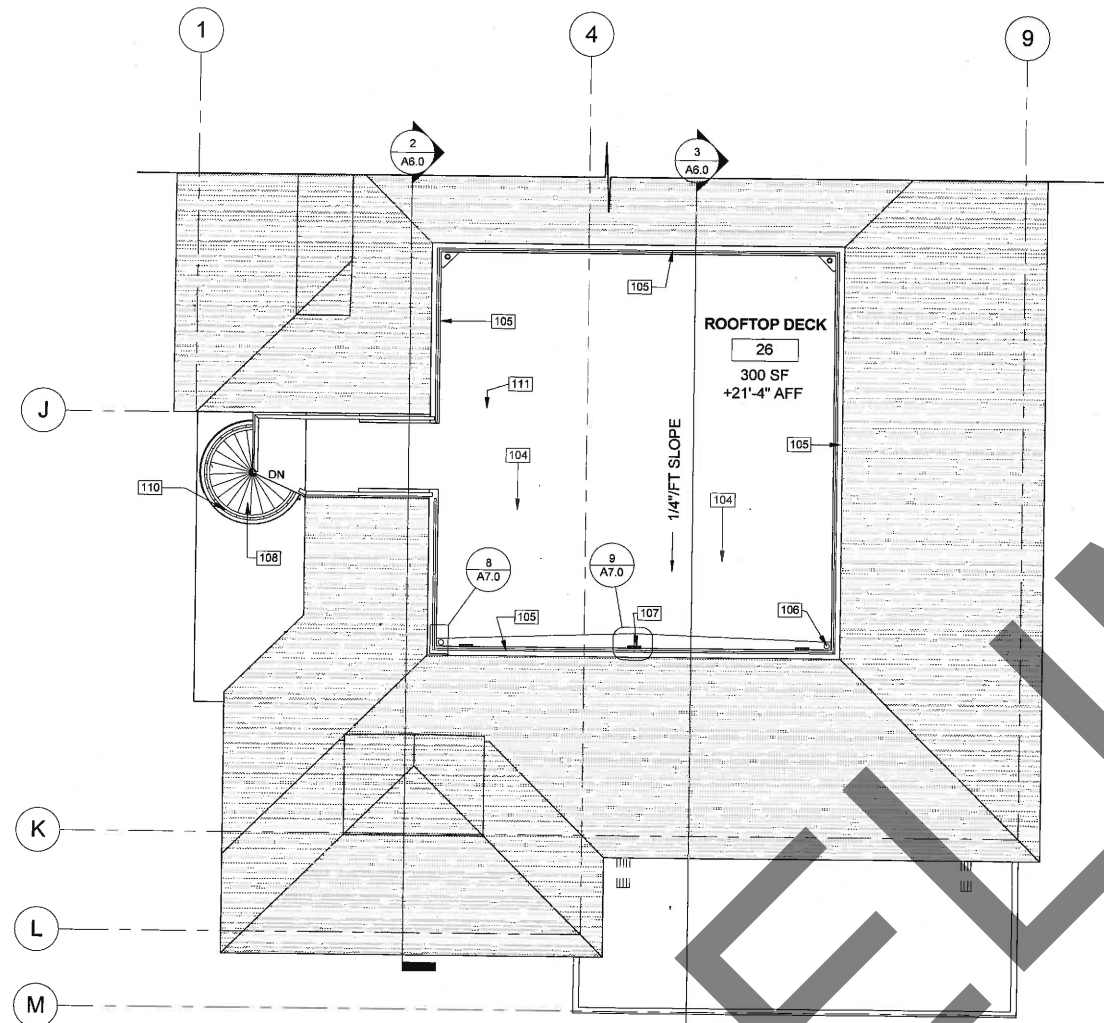
-  (E) 2x4 WALL
-  (N) 2x4 WALL
-  (N) 2x6 WET WALL
-  (N) 2x4 INTERIOR PARTITION.
-  WALL TAG
-  KEYNOTE TAG

ADDITIONAL NOTES

- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITH WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
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- PROVIDE 2x10 BLOCKING/BACKING AT ALL LOCATIONS FOR TOWL BARS, TOILET PAPER ROLL DISPENSERS, WALL HUNG VANITIES, WALL HUNG CABINETRY, WALL HUNG LIGHTING, ETC.
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- TYPICAL PARTITIONS TYPES ARE KEYED ON THE OVERALL BUILDING PLANS.
- CONTRACTOR TO REVIEW AND BE RESPONSIBLE FOR ALL NOTATIONS OF FINISH ALIGNMENTS IN DRAWINGS. MISALIGNED FRAMING TO BE CORRECTED AT CONTRACTORS EXPENSE.
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① (N) ROOF TOP DECK
1/4" = 1'-0"



REMODEL AND ADDITION
**35501 CAMINO
 CAPISTRANO, DANA
 POINT 92624**


RUDY MORALES
 DESIGNER

REVISIONS		
No.	Description	Date

ISSUED FOR: PLAN REVIEW PLAN CHECK BIDDING CONSTRUCTION	ISSUED ON:	APPROVED ON:
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
OWNER
 BEHZAD & NORI COHAN
 35501 CAMINO CAPISTRANO, DANA POINT 92624

REMODEL AND ADDITION
ROOFTOP DECK PLAN

Project number	2014-07
Date	02/23/15
Drawn by	RJM
Checked by	RJM

KEYNOTE LEGEND	
Key Value	Keynote Text
28	CUSTOM WROUGHT IRON 5'-0" FRENCH DOOR GATE PER OWNER SELECTION
97	ARCHED OPENING

WALL LEGEND

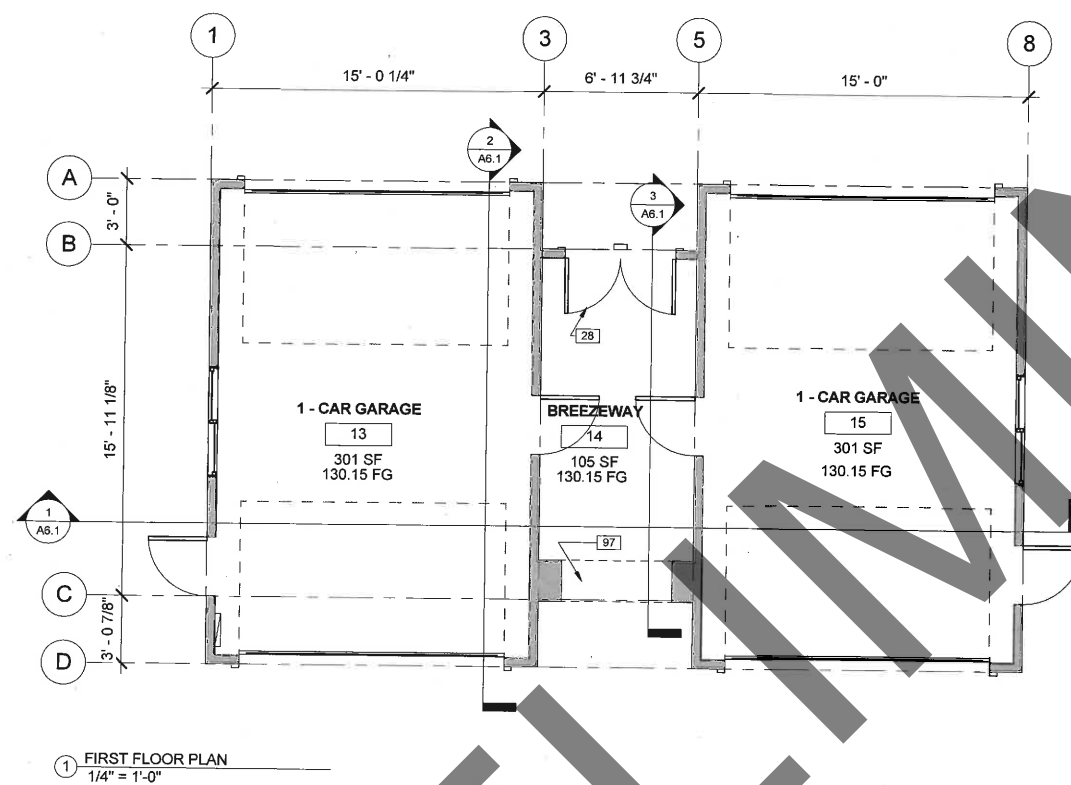
-  (E) 2x4 WALL
-  (N) 2x4 WALL
-  (N) 2x6 WET WALL
-  (N) 2x4 INTERIOR PARTITION.
-  WALL TAG
-  KEYNOTE TAG

ADDITIONAL NOTES

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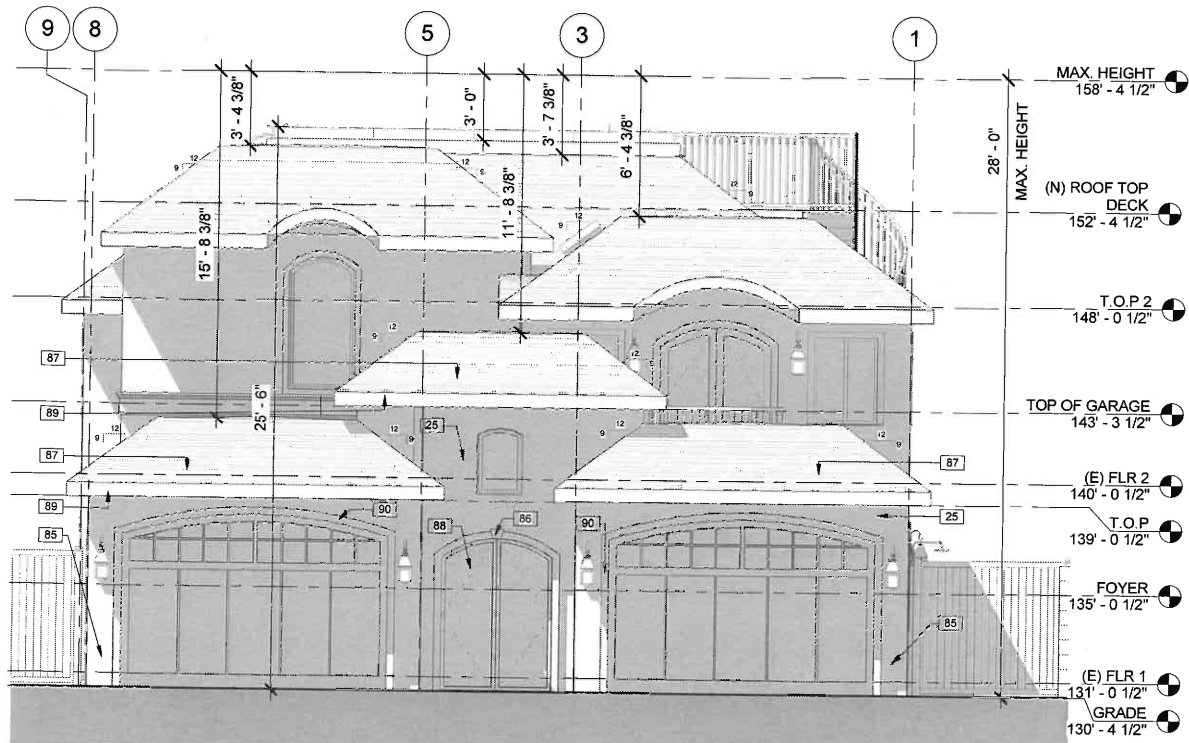
1 FIRST FLOOR PLAN
1/4" = 1'-0"



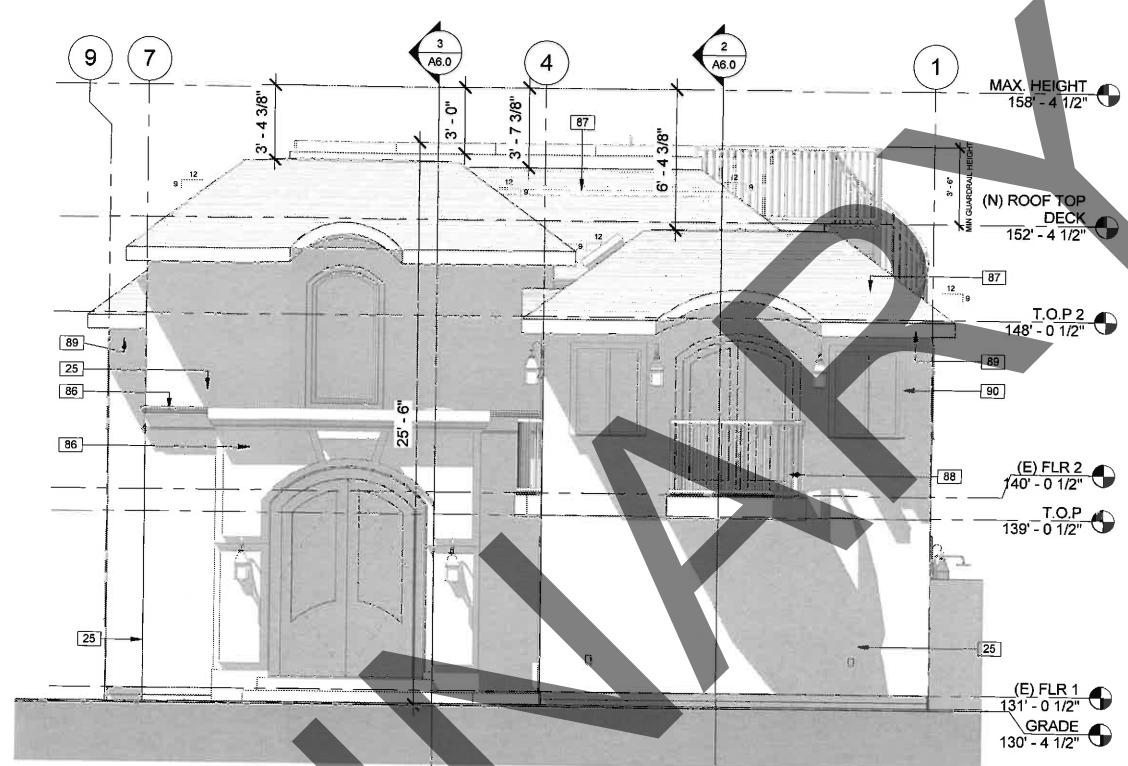
REMODEL AND ADDITION
**35501 CAMINO
 CAPISTRANO, DANA
 POINT 92624**

 RUDY MORALES DESIGNER		
REVISIONS		
No.	Description	Date

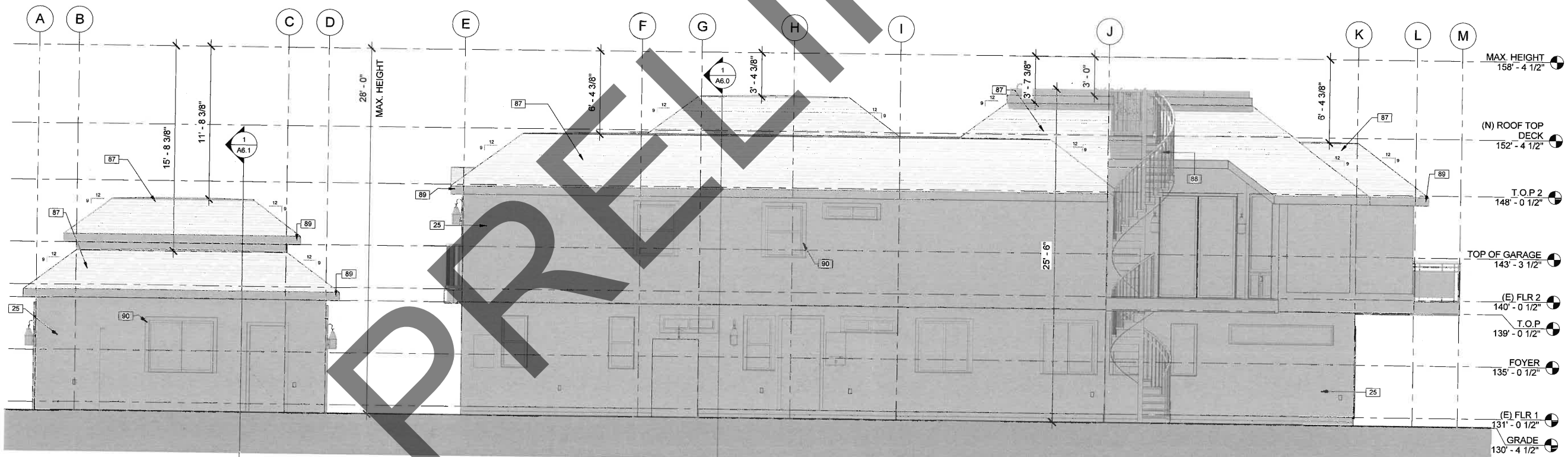
ISSUED FOR: PLAN REVIEW PLAN CHECK BIDDING CONSTRUCTION	ISSUED ON:	APPROVED ON:
OWNER BEHZAD & NORI COHAN 35501 CAMINO CAPISTRANO, DANA POINT 92624		
REMODEL AND ADDITION GARAGE FLOOR PLAN		
Project number	2014-07	
Date	02/23/15	
Drawn by	RJM	
Checked by	RJM	



1 FRONT ELEVATION - STREET VIEW
1/4" = 1'-0"



3 FRONT ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"

KEYNOTE LEGEND

Key Value	Keynote Text
25	SMOOTH STUCCO FINISH, WITH 2 LAYERS OF GRADE D PAPER BARRIER FOR STUCCO APPLIED OVER WOOD-BASED SHEATHING - PER SECT. R703.6.3
85	STONE VENEER PER MATERIAL BOARD AND OWNER SELECTIONS
86	PRE-CAST MOLDING. COLOR TBD BY OWNER
87	ARCHITECTURAL ASPHALT SHINGLES PER OWNER SELECTION AND MATERIAL BOARD
88	38" STAIR HANDRAIL, WROUGHT IRON RAILING PER OWNER SELECTION.
89	EAVE CROWN MOLDING PER OWNER SELECTION
90	WOOD TRIM. COLOR PER OWNER SELECTION

NOTE:
PER CODE, INDIVIDUAL FREESTANDING BUILDINGS (THOSE SEPARATED BY AT LEAST 10 FEET) SHALL HAVE THEIR HEIGHT MEASUREMENTS CALCULATED INDIVIDUALLY. SEE GRADING PLAN FOR STRUCTURE BASE HEIGHT.



REMODEL AND ADDITION
**35501 CAMINO
CAPISTRANO, DANA
POINT 92624**

Rudy Morales
RUDY MORALES
DESIGNER

REVISIONS		
No.	Description	Date

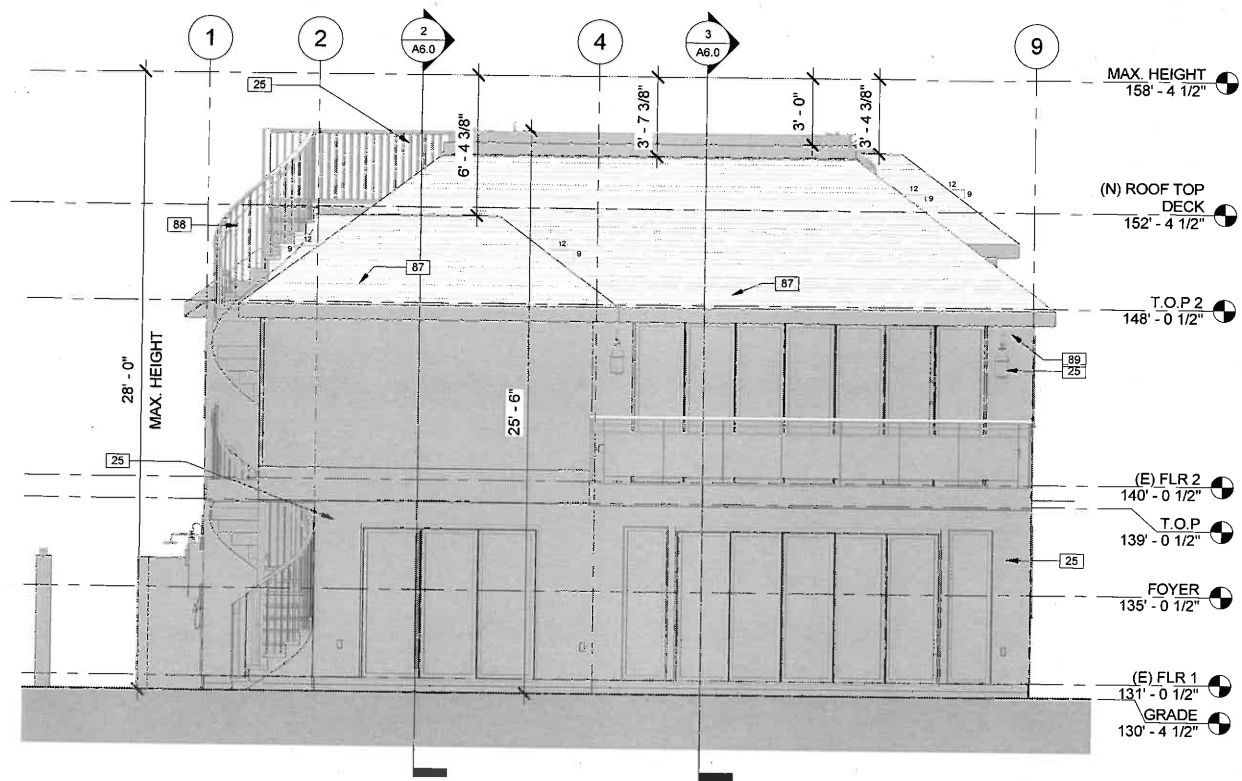
ISSUED FOR: PLAN REVIEW PLAN CHECK BIDDING CONSTRUCTION	ISSUED ON:	APPROVED ON:
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OWNER
BEHZAD & NORI COHAN
35501 CAMINO CAPISTRANO, DANA POINT 92624

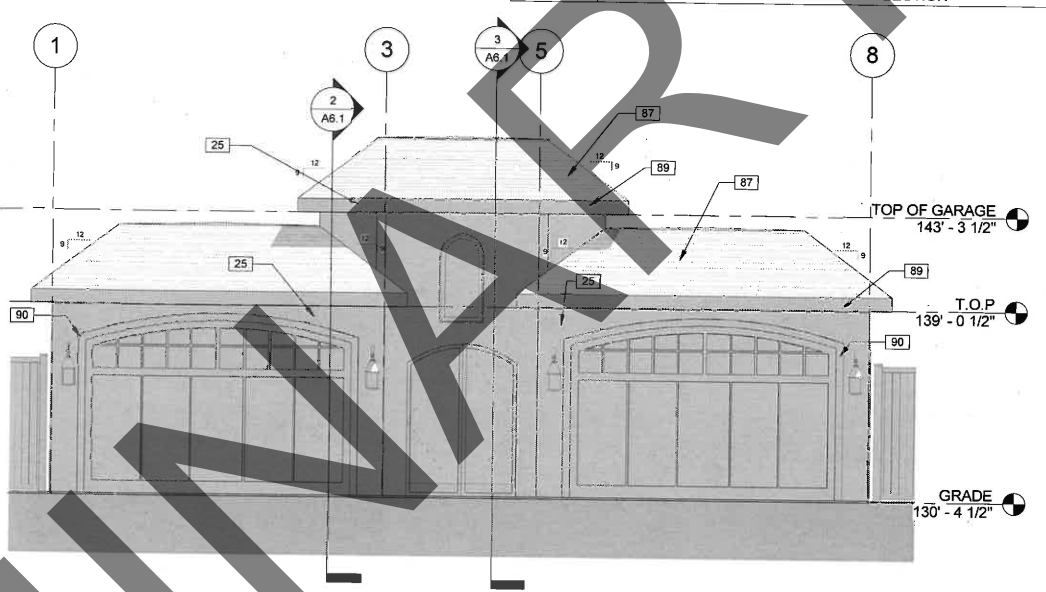
**REMODEL AND ADDITION
ELEVATIONS**

Project number	2014-07
Date	02/23/15
Drawn by	RJM
Checked by	RJM

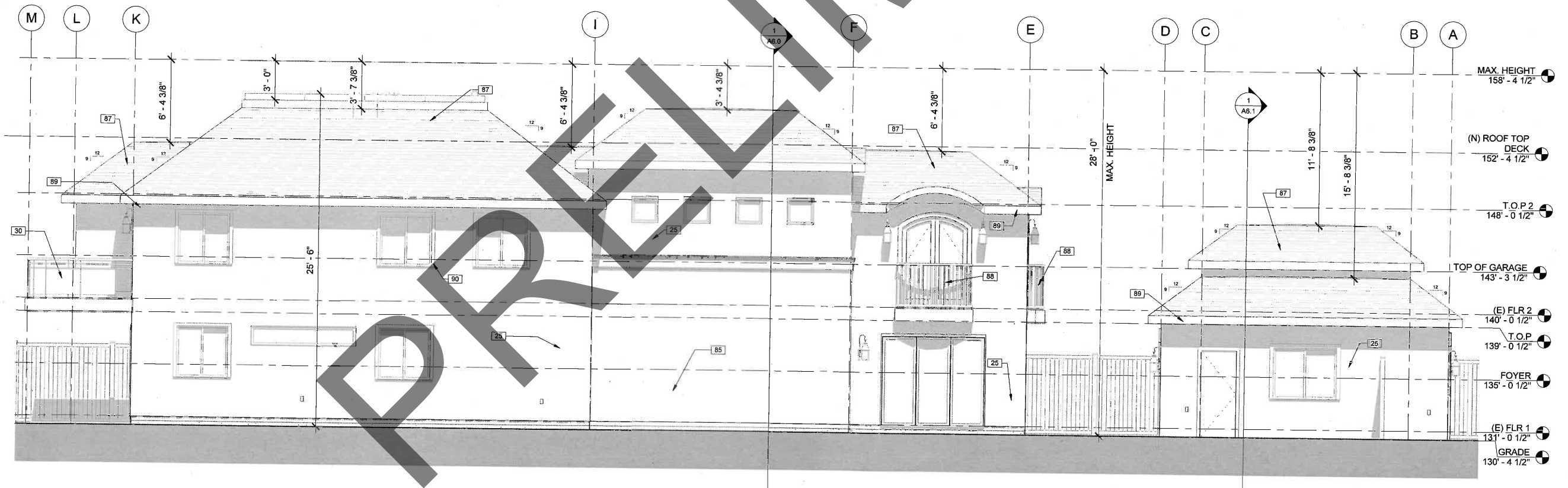
A4.0



1 REAR ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION - GARAGE
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"

NOTE:
PER CODE, INDIVIDUAL FREESTANDING BUILDINGS (THOSE SEPARATED BY AT LEAST 10 FEET) SHALL HAVE THEIR HEIGHT MEASUREMENTS CALCULATED INDIVIDUALLY. SEE GRADING PLAN FOR STRUCTURE BASE HEIGHT.

KEYNOTE LEGEND	
Key Value	Keynote Text
25	SMOOTH STUCCO FINISH WITH 2 LAYERS OF GRADE D PAPER BARRIER FOR STUCCO APPLIED OVER WOOD-BASED SHEATING - PER SECT.R703.6.3
30	CUSTOM METAL RAILINGS PER OWNER SELECTION
85	STONE VENEER PER MATERIAL BOARD AND OWNER SELECTIONS
87	ARCHITECTURAL ASPHALT SHINGLES PER OWNER SELECTION AND MATERIAL BOARD
88	38" STAIR HANDRAIL, WROUGHT IRON RAILING PER OWNER SELECTION.
89	EAVE CROWN MOLDING PER OWNER SELECTION
90	WOOD TRIM, COLOR PER OWNER SELECTION

SOUTHPOINTE
CONSTRUCTION
LIC # 989405
www.SouthPointe.com
P.O. Box 378, Dana Point, CA 92624
C: 709.448.2499
Rudy@SouthPointe.com

REMODEL AND ADDITION
**35501 CAMINO
CAPISTRANO, DANA
POINT 92624**

Rudy Morales
RUDY MORALES
DESIGNER

REVISIONS		
No.	Description	Date

ISSUED FOR: PLAN REVIEW, PLAN CHECK, BIDDING, CONSTRUCTION

ISSUED ON: _____

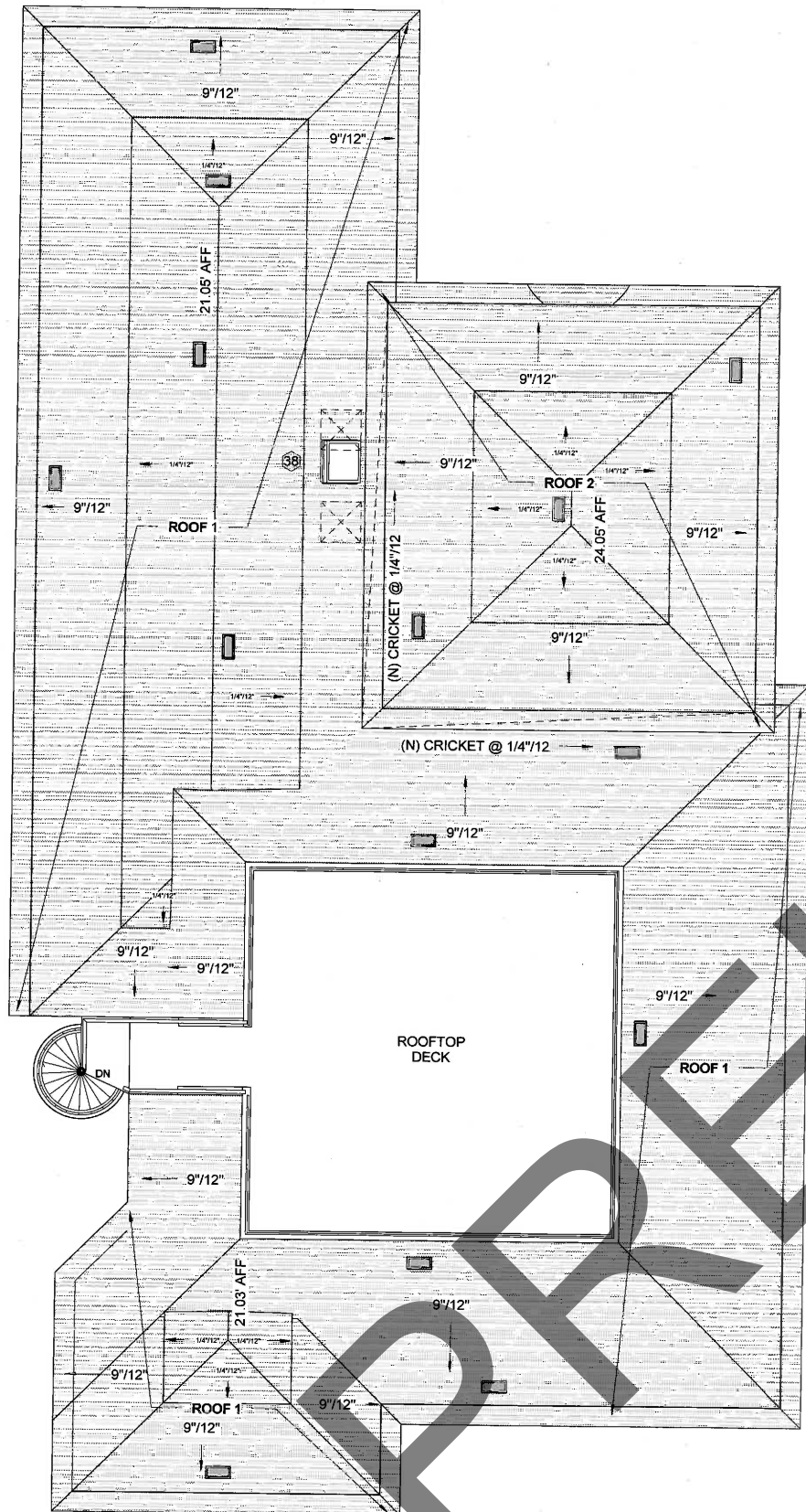
APPROVED ON: _____

OWNER
BEHZAD & NORI COHAN
35501 CAMINO CAPISTRANO, DANA POINT 92624

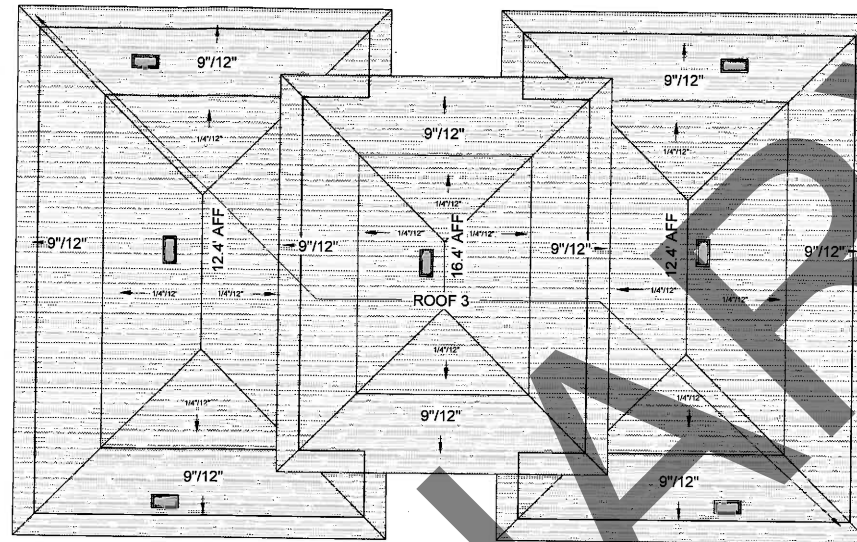
**REMODEL AND ADDITION
ELEVATIONS**

Project number: 2014-07
Date: 02/23/15
Drawn by: RJM
Checked by: RJM

A4.1



① (N) ROOF PLAN
1/4" = 1'-0"



② (N) GARAGE ROOF PLAN
1/4" = 1'-0"

ROOF SPECIFICATIONS

ASPHALT ARCHITECTURAL SHINGLES

CLASS "A" ROOFING
COMPOSITION SHINGLES UL APPROVED FIRE
RESISTIVE
OVER 2-LAYER #15 FELT

NOTE: SEE DETAIL 01 ON A8.1 FOR INSTALLATION
PER MANUFACTURER.

ATTIC VENTILATION

NEW ROOF 1

AREA	2160 SQ.FT.	/	150	=	14.40 SQ.FT.
	144	X	14.40 SQ.FT.	=	2074 SQ. IN.
	2074 SQ. IN.	/	2 NVFA	=	1037 SQ.IN. Required
	1037 SQ.IN.	/	95 SQ.IN.	=	10.92 VENTS NEEDED

OHAGIN VENTS					
6 HIGH VENTS	95 SQ.IN.	=	570 SQ.IN.		
5 LOW VENTS	95 SQ.IN.	=	475 SQ.IN.		

OTHER VENTS					
12x24 GABLE VENTS	432 SQ.IN.	=	0 SQ.IN.		
18" DORMER VENTS	99 SQ.IN.	=	0 SQ.IN.		
TOTAL VENT PROVIDED		=	1046 SQ.IN.		

NEW ROOF 2

AREA	581 SQ.FT.	/	150	=	3.87 SQ.FT.
	144	X	3.87 SQ.FT.	=	558 SQ. IN.
	558 SQ. IN.	/	2 NVFA	=	279 SQ.IN. Required
	279 SQ.IN.	/	95 SQ.IN.	=	2.94 VENTS NEEDED

OHAGIN VENTS					
1 HIGH VENTS	95 SQ.IN.	=	95 SQ.IN.		
2 LOW VENTS	95 SQ.IN.	=	190 SQ.IN.		

OTHER VENTS					
0 12x24 GABLE VENTS	432 SQ.IN.	=	0 SQ.IN.		
0 18" DORMER VENTS	99 SQ.IN.	=	0 SQ.IN.		
TOTAL VENT PROVIDED		=	285 SQ.IN.		

NEW ROOF 3

AREA	1097 SQ.FT.	/	150	=	7.31 SQ.FT.
	144	X	7.31 SQ.FT.	=	1053 SQ. IN.
	1053 SQ. IN.	/	2 NVFA	=	527 SQ.IN. Required
	527 SQ.IN.	/	95 SQ.IN.	=	5.54 VENTS NEEDED

OHAGIN VENTS					
3 HIGH VENTS	95 SQ.IN.	=	285 SQ.IN.		
3 LOW VENTS	95 SQ.IN.	=	285 SQ.IN.		

OTHER VENTS					
0 12x24 GABLE VENTS	432 SQ.IN.	=	0 SQ.IN.		
0 18" DORMER VENTS	99 SQ.IN.	=	0 SQ.IN.		
TOTAL VENT PROVIDED		=	576 SQ.IN.		

OHAGIN ROOF VENT

NOTE: SEE WINDOW SCHEDULE ON SHEET A4.0 FOR
WINDOW 15, 16, AND 17. SPECS ARE GIVEN ON
WINDOWS SCHEDULE.

SOUTHPOINTE
CONSTRUCTION
LIC # 989405
www.Southpointe.com
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C. 702.468.2499
Rudy@Southpointe.com

REMODEL AND ADDITION
**35501 CAMINO
CAPISTRANO, DANA
POINT 92624**

RUDY MORALES
DESIGNER

RUDY MORALES
DESIGNER

REVISIONS		
No.	Description	Date

ISSUED FOR: PLAN REVIEW PLAN CHECK BIDDING CONSTRUCTION	ISSUED ON:	APPROVED ON:
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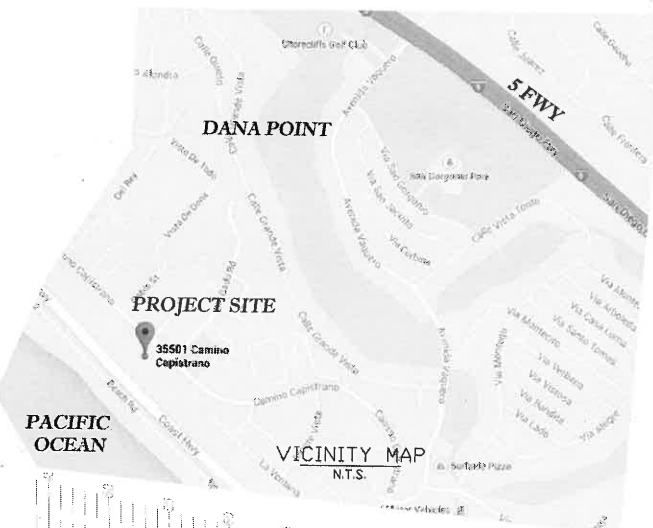
OWNER
BEHZAD & NORI COHAN
35501 CAMINO CAPISTRANO, DANA POINT 92624

**REMODEL AND ADDITION
ROOF PLAN**

Project number	2014-07
Date	02/23/15
Drawn by	RJM
Checked by	RJM

A5.0

35501 CAMINO CAPISTRANO, DANA POINT COUNTY OF ORANGE, STATE OF CALIFORNIA CONCEPT GRADING PLAN



OWNER / DEVELOPER:

Behzad and Nori Cohan
35501 Camino Capistrano
Dana Point, CA 92624

SITE ADDRESS:

35501 CAMINO CAPISTRANO
DANA POINT, CA 92624

LEGAL DESCRIPTION:

THOSE PORTIONS OF LOTS 39 AND 40 OF TRACT NO. 1128, AS PER MAP RECORDED IN BOOK 36, PAGES 22 TO 25 OF MISCELLANEOUS MAPS, SHOWN AS PARCEL 2, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND PER MAP RECORDED IN BOOK 117, PAGE 43 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM ALL OIL, GAS, MINERAL AND OTHER HYDROCARBONS AS RESERVED IN INSTRUMENTS OF RECORD.

ASSESSOR'S PARCEL NUMBER:

APN: 691-083-36

PUBLIC WORKS NOTE:
IF PUBLIC IMPROVEMENTS SURROUNDING THE SITE ARE DAMAGED BY THE PRIVATE WORK, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND STREET PAVEMENT WILL BE REQUIRED BY THE CITY AT THE TIME OF PRIVATE CONSTRUCTION COMPLETION. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.

RIGHT-OF-WAY WORK:
IMPROVED ENCRICHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.

EROSION CONTROL GENERAL NOTES:

- IN CASE OF EMERGENCY CALL:
BILL PARKER
(RESPONSIBLE PERSON)
SOUTH POINTE DEVELOPMENT, LLC
(FIRM)
951.676.2773
(24 HOUR PHONE NO.)
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
- GRADED AREAS ON THE PERMITTED AREA PERMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESIRING FACILITIES.
- THE PERMITEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.

ENVIRONMENTAL NOTES:

- THE PERMITEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS, THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR WATER SHED IS PROHIBITED.
- PERMITEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, SOILS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS; VEHICLE/EQUIPMENT WASHER WATER AND CONCRETE WAS WATER; CONCRETE, DETRIMENT OR FLATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- PERMITEE ANY DISCHARGE MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR HARMFUL OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

NPDES GENERAL NOTES:

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJACENT PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ADJACENT CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIALS OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- POTENTIAL POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS, WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIMES, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING.
- DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE AND PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER, PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- NOTICE: ALL CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL MEET THE REGULATORY CONSTRUCTION REQUIREMENTS ON THE PROJECT SITE, AS SHOWN IN THE LATEST EDITION OF THE ORANGE COUNTY STORMWATER PROGRAM "CONSTRUCTION RUNOFF GUIDANCE MANUAL".

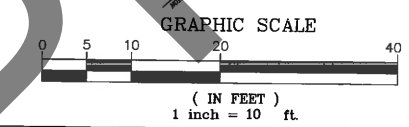
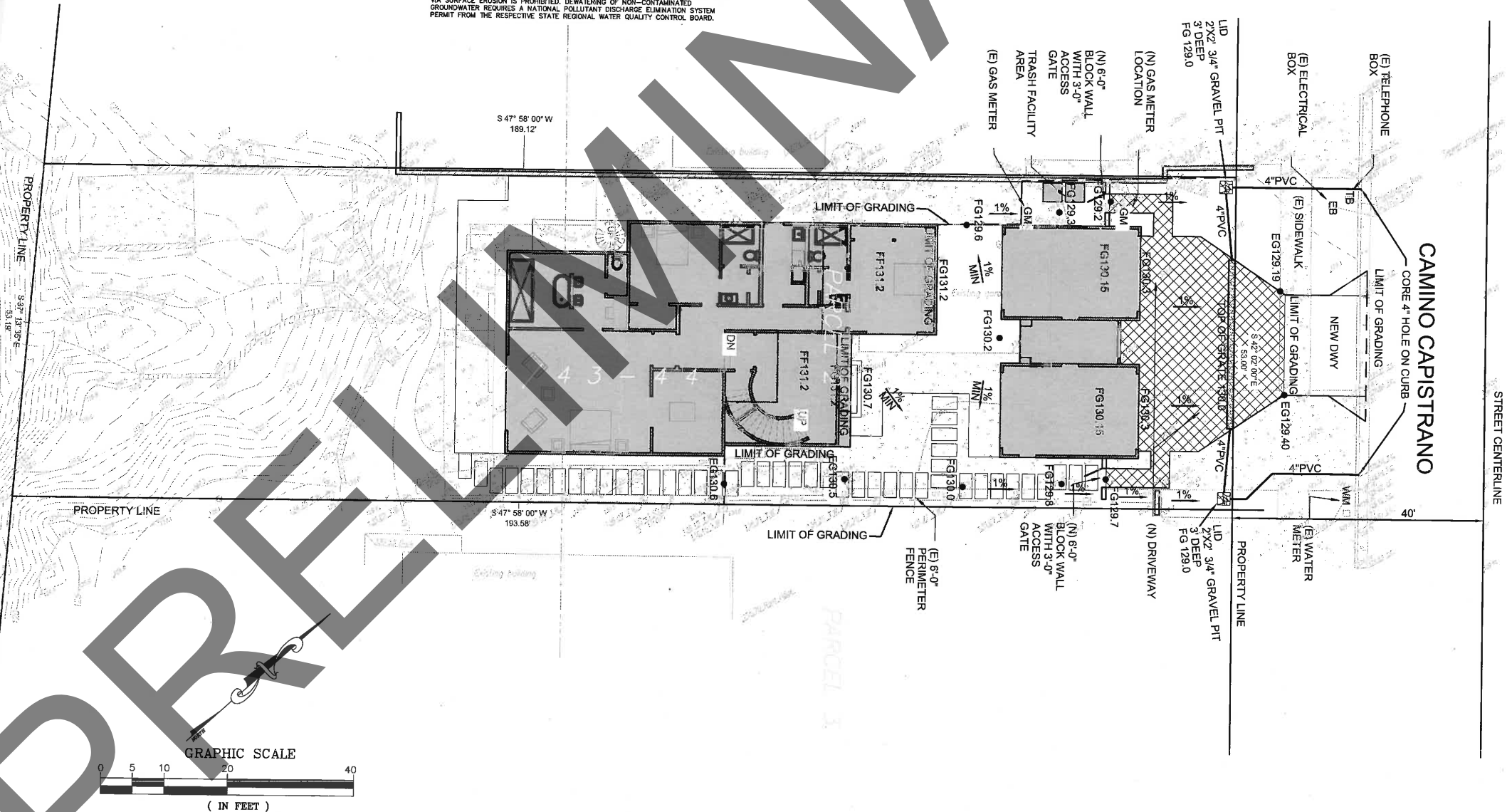
UNDERGROUND STRUCTURES:

ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS AND THOSE SHOWN ON THE RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE OWNER BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENT PURSUANT THERETO AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED; NOT INDICATED ON THE PUBLIC RECORDS EXAMINED; LOCATED AT VARIANCE WITH THAT REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

APPROX. EARTHWORK QUANTITIES:

CUT	10	CY	EXPORT	06	CY
FILL	10	CY	IMPORT	05	CY

NOTE: EARTHWORK QUANTITIES ARE ESTIMATES ONLY AND DO NOT INCLUDE SHRINKAGE OR SWELLAGE. THEY ARE ESSENTIALLY FOR PERMIT PURPOSES ONLY AND NOT INTENDED FOR BIDDING. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT QUANTITIES FOR THE PURPOSES OF PAYMENT AND CONTRACT DOCUMENTS. THE UNDERSIGNED ENGINEER ACCEPTS NO RESPONSIBILITY FOR DISCREPANCIES IN THE EARTHWORK QUANTITIES.



Underground Service Alert
Call: TOLL FREE
1-800-422-4133
TWO WORKING DAYS BEFORE YOU DIG

REVISIONS				
REV.	DATE	BY	DESCRIPTION	APP'VD

DEVELOPER / OWNER
SOUTH POINTE DEVELOPMENT, LLC
41146 Elm Street, Suite H
Murrieta, CA 92562
951.676.2773

SOILS ENGINEER

VENTURA ENGINEERING, LLC
6700 GILBERTSON AVE. #100 J-229
TEMECULA, CA 92590
PHONE 951-252-7822
FAX 951-252-4720

SEAL: MURFREDO S.D. VENTURA
No. 66532
Exp. 6-30-16
CIVIL
STATE OF CALIFORNIA

DRAWN BY:	DATE:
DESIGNED BY:	DATE:
CHECKED BY:	DATE:
PREPARED UNDER THE SUPERVISION OF:	
MURFREDO S.D. VENTURA	11-12-14
R.C.E. NO.: 66532	EXP. DATE: 6-30-16

CONCEPT GRADING PLAN
SOUTH POINTE EQUITIES, LLC
35501 CAMINO CAPISTRANO
DANA POINT, CA 92624

SHEET NO.
1
OF
2

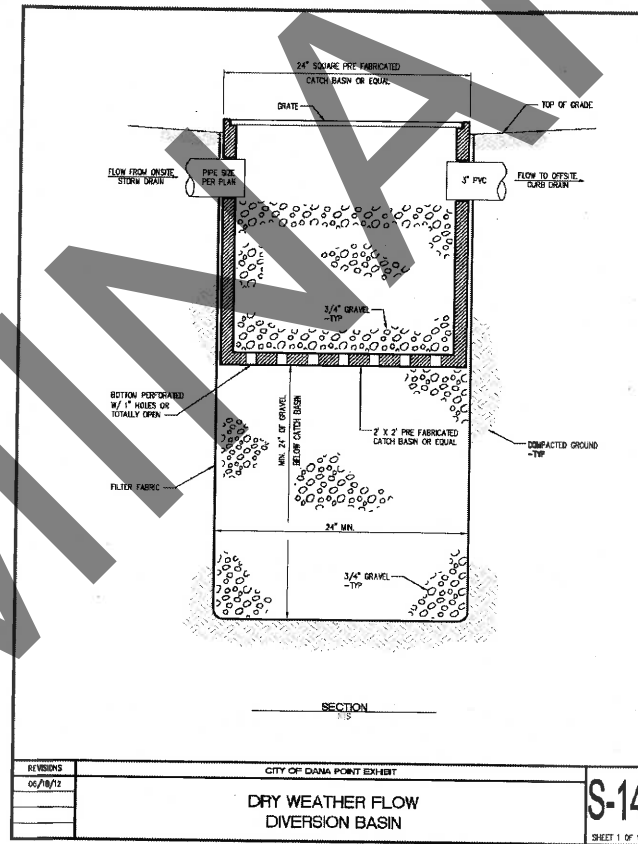


CITY OF DANA POINT
 PUBLIC WORKS, WATER QUALITY
 33382 Golden Lantern, Suite 212
 Dana Point, Ca 92609
 949.248.3554 • www.danapoint.org

LOW IMPACT DEVELOPMENT & SOURCE CONTROL BMP FOR ALL REDEVELOPMENT/DEVELOPMENT PROJECTS

- Conserve natural areas, including existing trees, other vegetation and soils.
- Construct streets, sidewalks and parking lot aisles to the minimum widths necessary, provided that public safety is not compromised.
- Minimize the impervious footprint of the project.
- Minimize soil compaction in landscaped areas.
- Minimize disturbances in natural drainages, for example, natural swales, topographic depressions, etc.
- Disconnect impervious surfaces through distributed pervious areas by draining rooftops into adjacent landscaping, using vegetated swales in lieu of underground piping, incorporating sheet flow over vegetated areas, incorporating low flow infiltration, etc.;
- Create buffer zones for natural water bodies, where feasible and if buffer zones are not feasible, implement other buffer, such as trees, access restrictions, etc.;
- Install the Dry Weather Flow Diversion Basin, S-14. Refer to attached standard detail.
- Prevent illicit discharges into the MS4, including sprinkler/irrigation runoff.
- Stencil, sign or otherwise mark, with approval from City, the storm drain system with no dumping messages.
- Properly design outdoor material storage areas, outdoor work areas, and trash storage areas.
- Sweep street and parking lots monthly, at a minimum.
- Landscape with native, non-invasive and/or low water species, where feasible.
- Any other BMPs deemed necessary to address any specific issues or concerns, as directed by the Public Works Director.

Updated December 2013



REVISIONS	CITY OF DANA POINT EXHIBIT	S-14
06/18/12	DRY WEATHER FLOW DIVERSION BASIN	
SHEET 1 OF 1		

PRELIMINARY

Underground Service Alert
 Call: TOLL FREE
 1-800-422-4133
 TWO WORKING DAYS BEFORE YOU DIG

REVISIONS				
REV.	DATE	BY	DESCRIPTION	APP'VD

DEVELOPER / OWNER	SOILS ENGINEER
SOUTH POINTE DEVELOPMENT, LLC 41146 Elm Street, Suite H Murrieta, CA 92562 951.676.2773	

VENTURA ENGINEERING, LLC
 5208 JEFFERSON AVE, STE J-209
 TEMECULA, CA 92590
 PHONE 951.928-7082
 FAX 951.928-0720

SEAL: **MILFREDO S.D. VENTURA**
 No. 66532
 Exp. 8-30-16
 CIVIL
 STATE OF CALIFORNIA

DRAWN BY:	DATE:
DESIGNED BY:	DATE:
CHECKED BY:	DATE:
PREPARED UNDER THE SUPERVISION OF:	
MILFREDO S.D. VENTURA	
R.C.E. NO.: 66532 EXP. DATE: 8-30-16	

LID NOTES AND DETAIL
SOUTH POINTE EQUITIES, LLC
 35501 CAMINO CAPISTRANO
 DANA POINT, CA 92624

SHEET NO. **2**
 OF **2**

REVISIONS	BY



3359 Locust Street
Riverside, CA 92501
(951) 264-4839

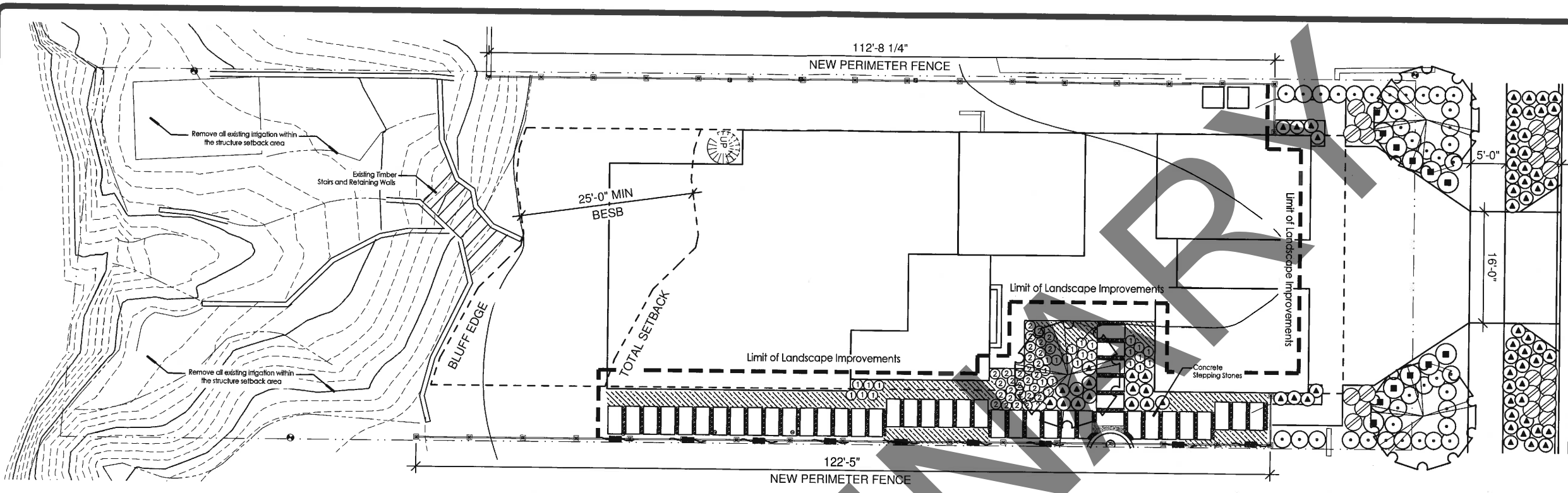
Landscape Dynamics
Irrigation Design and Water Management
innovate@landscapedynamics.net

COHAN RESIDENCE
35501 CAMINO CAPISTRANO, DANA POINT, CA 92624
Conceptual Landscape Plan



DRAWN BY	gpz
CHECKED BY	gpz
DATE	11/19/2014
SCALE	1" = 8'-0"
JOB NO.	0128-DanaPoint
SHEET	

L-1.0
OF (one) SHEETS



Irrigation Calculations

Maximum Applied Water Allowance
 MAWA in gallons =
 $ET_o \times Conversion\ Factor \times [(Allowance\ Factor \times Landscape\ Area) + (0.3 \times Special\ Landscape\ Area)]$
 $34,245\ gallons = 44.58 \times 0.62 \times [(0.7 \times 1,770) + (0.3 \times 0)]$
 EAWU in gallons = $ET_o \times Conversion\ Factor \times Plant\ Factor \times Landscape\ Area$
 Irrigation Efficiency
 $367\ S.F.\ Non\ Irrigated\ Area$
 $20,849 = \frac{44.58 \times 0.3 \times 1,403}{0.9}$ Low Water Use Plant Material
 $0 = \frac{44.58 \times 0.7 \times 0}{0.8}$ Turf
 MAWA in gallons = 34,245
 EAWU in gallons = 20,849

LOT COVERAGE	AREA S.F.	PERCENTAGE
LOT AREA	10,715.00	
BUILDING OUTLINE	4,396.00	41.03%
DETACHED STRUCTURES	768.00	7.17%
DRIVEWAY AREA	512.00	4.78%
BALCONY AREA	640.00	6.06%
REDEVELOPED LANDSCAPE	848.00	7.91%
EXIST. UNDISTURBED LANDSCAPE	3,275.00	30.56%
TOTAL	6,325.00	59.03%
ALLOWABLE LOT COVERAGE		80%
GROSS FLOOR AREA*	4,805.00	43%
NET FLOOR AREA**	5,459.00	51%

*GROSS FLOOR AREA CALCULATED BEFORE DEMO AND ADDITION
 **NET FLOOR AREA CALCULATED INCLUDING DEMO AND ADDITION

Planting Legend

- ACER palmatum
- Japanese Maple (green leaves red bark) Multi Stem
- 48\" Box Full Sun Part Shade
- Myrtus communis 'Compacta' Evergreen small leafed shrub
- Dwarf Myrtle 3' x 3'
- 5 gallon Full Sun
- Phormium tenax 'Tiny Tiger' 18\" x 18\"
- Dwarf Variegated Flax 1 gallon Full Sun Part Shade
- Acaena purpurea 18\" x 18\"
- Purple New Zealand Bur 1 gallon Full Sun*
- Leptospermum scoparium New Zealand Tea Tree 3' x 3'
- 5 gallon Full Sun
- Thymus albilorus White Creeping Thyme Spreading
- Rooted Cuttings Full Sun
- Dianthus gratianopolitanus 'Cheddar Pink' Baths Cheddar Pink 2' x 2'
- 1 gallon Full Sun
- Limonium perezii Sea Lavender 30\" x 30\"
- 1 gallon Full Sun
- Distictis buccinatoria Red Trumpet Vine Climbing
- 5 gallon Full Sun
- 1/2\" to 3/4\" Round Rock Cover Mulch Utilize local sources 3\" Depth over weed barrier / filter fabric / redwood header

PRELIMINARY

INDICATES SHEAR WALL TYPE AND LENGTH

ANCHOR BOLT SCHEDULE (2010 NDS TABLE 11E)		
S.W. TYPE	PLF	ANCHOR BOLT SPACING 5/8" Ø A.B. W/7" MIN. EMBEDMENT & 3"x3"x .229" PL WASHERS
2	280	60" O.C. W/2X PTD F SILL PLATE
3	350	48" O.C. W/2X PTD F SILL PLATE
4	550	16" O.C. W/2X PTD F SILL PLATE 32" O.C. W/3X PTD F SILL PLATE

I. FOR RETROFIT ANCHORS, REFER TO S-1,
ANCHOR BOLTS NOTES 4 & 5

FOUNDATION NOTES:

- REFER TO THE GENERAL, FOUNDATION, CONCRETE, REINFORCING STEEL, ANCHOR BOLTS, CONNECTION HARDWARE NOTES AND SPECIAL INSPECTION NOTES ON SHEET S-1.
- VERIFY ALL DIMENSIONS WITH ARCHITECT PRIOR TO START OF CONSTRUCTION.
- VERIFY LOCATION OF ALL INSERTS IN SLAB WITH ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PLANS PRIOR TO PLACEMENT OF CONCRETE SLAB ON GRADE.
- CONCRETE SLAB ON GRADE SHALL BE 4" THICK OVER 2" SAND OVER 10 MIL. VISQUEEN (VAPOR BARRIER) OVER 1" TO 2" SAND. THE TOP LAYER OF SAND SHALL BE MOISTENED BUT NOT SATURATED PRIOR TO THE PLACEMENT OF THE CONCRETE. RECOMMENDED REINFORCEMENT OF THE CONCRETE SLAB IS #3 AT 15" O.C. EACH WAY CENTERED IN SLAB THICKNESS. THE VAPOR BARRIER IS NOT REQUIRED AT THE GARAGE BUT IS RECOMMENDED IF A MOISTURE SENSITIVE COVERING IS TO BE APPLIED.
- ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS W/ TYPE V CEMENT U.N.O. (SEE FDN NOTES, S-1).
- ALL FOOTINGS SHALL BE 7" MIN FROM DAYLIGHT MEASURED HORIZONTALLY FROM THE NEAREST EDGE AT BOTTOM OF FTG.
- 5/8" Ø A.B. W/ 7" EMB. AND 3"x3"x.229" PL WASHERS SHALL BE INSTALLED IN SHEAR WALL AND BEARING WALL FTGS. AT A MAX. SPACING OF 72" O.C. (2 MIN PER SEGMENT) U.N.O. SEE SHEAR WALL SCHEDULE FOR SPACING AT SHEAR WALLS.
- HOLD-DOWNS SHALL BE SECURED IN PLACE PRIOR TO INSPECTION. ANCHOR BOLTS WITH NON-STANDARD SPACING SHOULD BE SECURED IN PLACE OR CONSPICUOUSLY MARKED ON THE FORMS PRIOR TO THE PLACEMENT OF CONCRETE, AND SHALL BE INSTALLED PER THE MANUFACTURER SPECIFICATIONS AND THE GSN.
- SIZE, REINFORCING AND TOP OF PAD FOOTING ELEVATIONS SHALL BE PER THE FOOTING SCHEDULE TABLE OR FOUNDATION PLAN. ALL FOOTINGS NOT LABELED SHALL MATCH LARGEST ADJACENT FOOTING SIZE AND REINFORCEMENT.
- UPER GROUND: INSTALL ONE #4 X 20" CONT. REBAR UPER GROUND AND TIED TO BOTTOM REINFORCEMENT IN FTG. WITH BEND TO EXTEND 12" ABV. TOP OF SLAB OR STEM WALL AS OCCURS IN ELECT. PANEL LOCATION.
- ALL SITE WALLS, SIDEWALKS OR OTHER ARCHITECTURAL FEATURES SHALL BE BY OTHERS UNLESS SPECIFICALLY ADDRESSED ON THE STRUCTURAL PLANS.
- REFER TO ARCHITECTURAL PLANS FOR ALL ELEVATIONS.

PAD FOOTING SCHEDULE:

- 24 24" SQ. X 18" D W/ (3) #4 E.W.
- 32 32" SQ. X 18" D W/ (4) #4 E.W.
- 56 56" SQ. X 18" D W/ (7) #4 E.W.

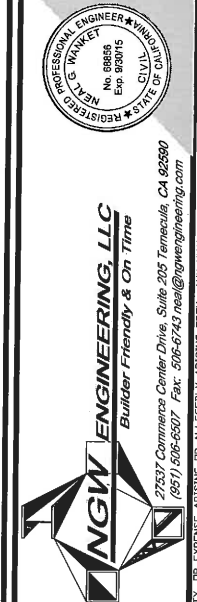
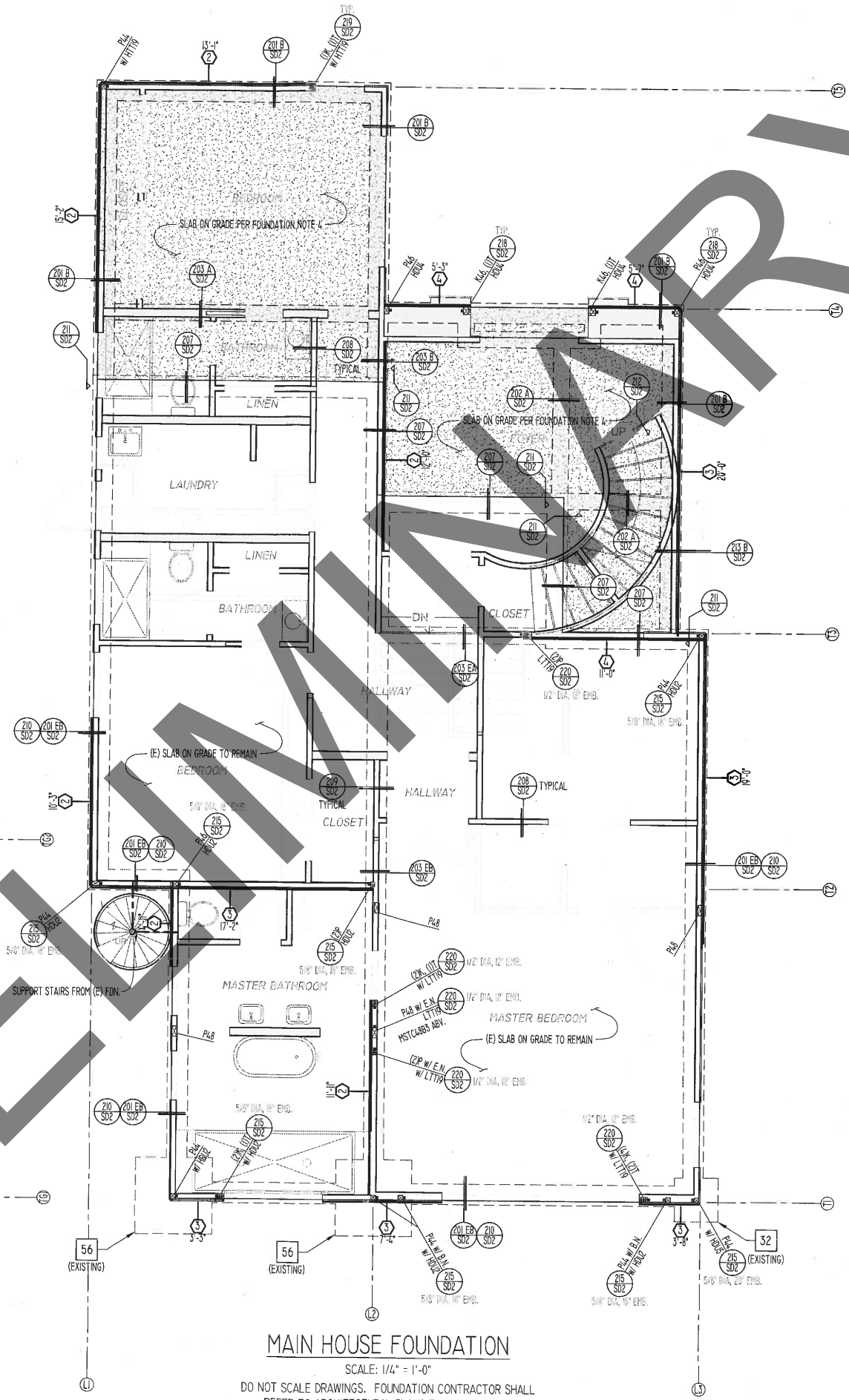
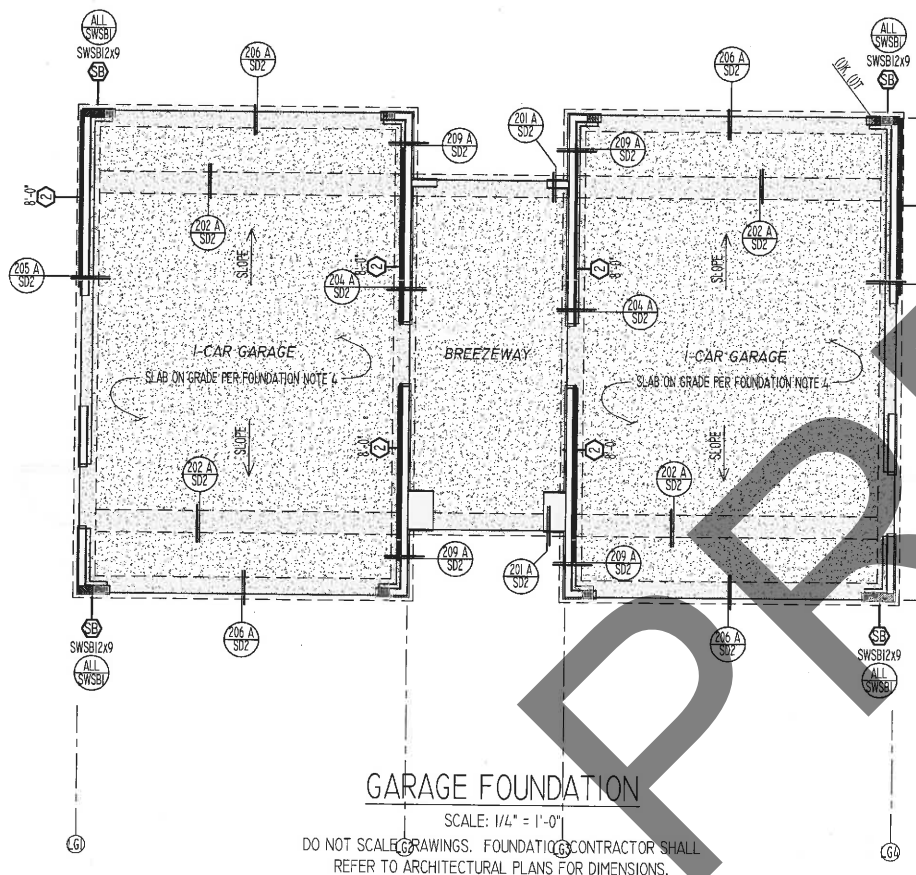
CONTINUOUS FOOTING TABLE:

DETAIL	W	D	T	REINFORCING	COMMENTS
A	12"	18"	16"	(2)#5 CONT. T&B	3" CLR. OF BOTTOM
B	15"	18"	16"	(2)#5 CONT. T&B	3" CLR. OF BOTTOM
EA	12"	18"	16"	(2)#5 CONT. T&B	ASSUMED EXISTING
EB	15"	18"	16"	(2)#5 CONT. T&B	ASSUMED EXISTING

FTG. KEY EXAMPLE
 No. INDICATES FOOTING DETAIL
 LETTER INDICATES FOOTING SIZE & REINFORCEMENT PER TABLE

FOUNDATION LEGEND:

- EDGE OF SLAB
- INDICATES NEW FTG. (SEE CONT. FTG. TABLE).
- INDICATES EXISTING FTG. (SEE CONT. FTG. TABLE).
- INDICATES SHEAR WALL (SEE ANCHOR BOLT SCHEDULE).
- INDICATES SLAB ON GRADE PER FDN. NOTE 4.
- INDICATES UPER GROUND LOCATION PER FOUNDATION NOTE 10. VERIFY WITH ARCH.
- INDICATES SHEAR LINES CORRESPONDING TO STRUCT. CALCULATIONS



SOUTHPOINTE COMPANIES
 CLIENT:
 TITLE: BEHZAD & NORI COHAN RESIDENCE REMODEL & ADDITION
 35501 CAMINO CAPISTRANO
 DANA POINT, CA 92624

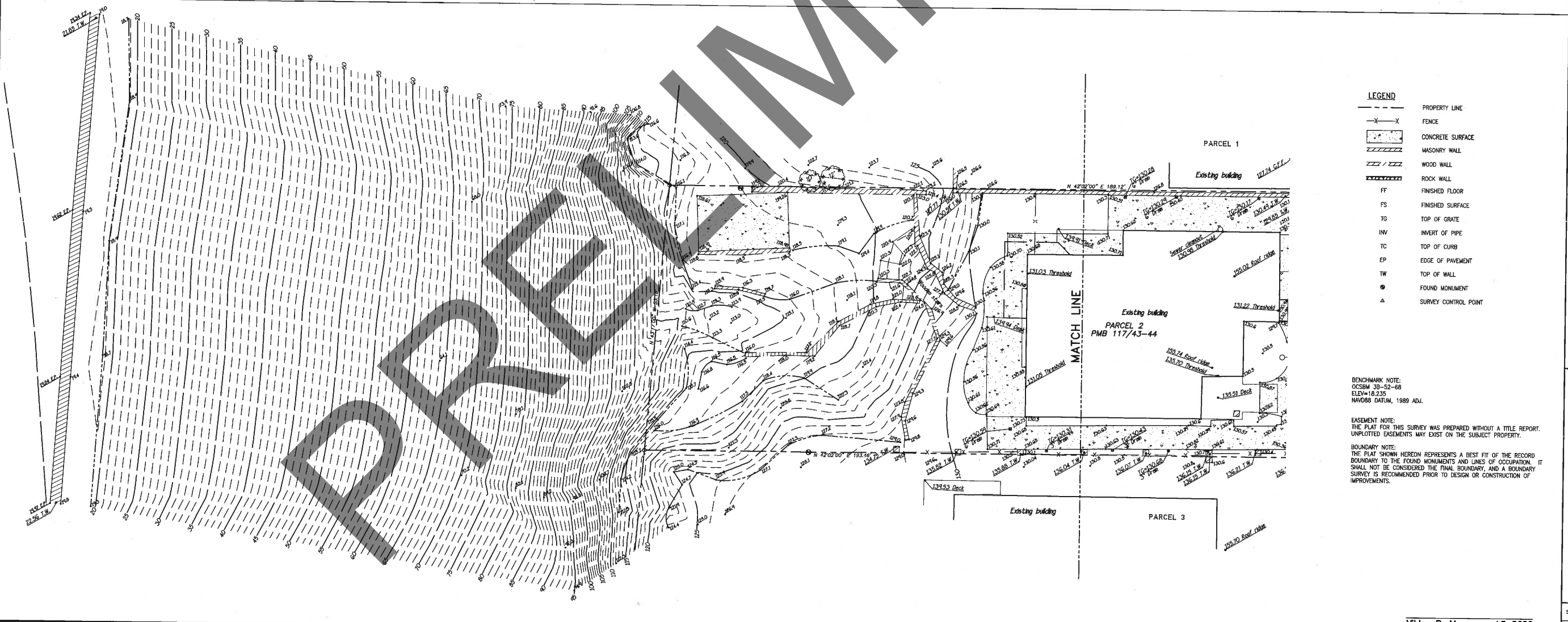
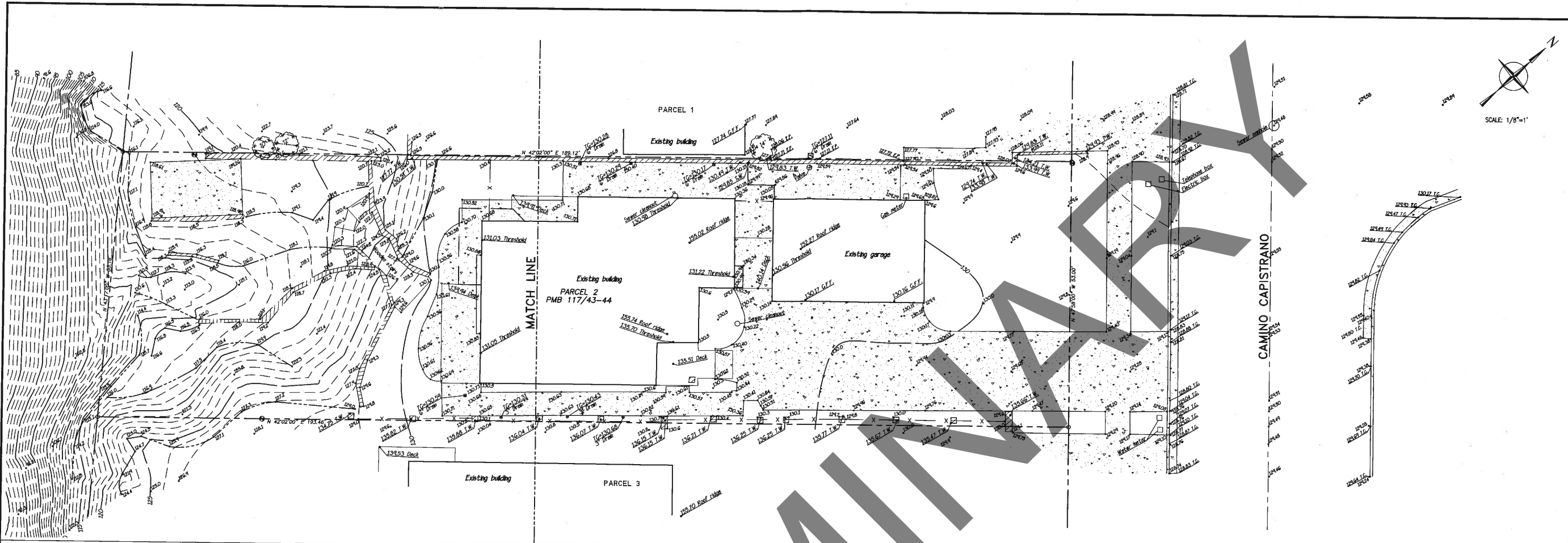
DATE: 12-10-2014
 SCALE: 1/4" = 1'-0"
 DRAWN BY: JMM, NGW

PROJECT NUMBER:
 14-1110-ST

SHEET NUMBER:
 S-2 of 4

FOUNDATION PLAN

THIS DOCUMENT IS AN INSTRUMENT OF PROFESSIONAL SERVICE OF NGW. NGW SHALL TO THE FULLEST EXTENT PERMITTED BY LAW, BE HELD HARMLESS AND RELEASED FROM ANY DAMAGE, LIABILITY, OR EXPENSE ARISING OR ALLEGEDLY ARISING FROM ANY UNAUTHORIZED MODIFICATION, CHANGE, OR REUSE OF THIS DOCUMENT BY OTHERS.



TOPOGRAPHIC SURVEY
PARCEL 2 PMB 117/43-44
35501 CAMINO CAPISTRANO, DANA POINT, CALIFORNIA

PREPARED FOR **SOUTH POINTE CONSTRUCTION**

H. SCALE	V. SCALE	DATE	DATE	DATE	DATE	DATE	DATE
1/8"=1'	N/A	8-9-14	8-9-14	8-9-14	8-9-14	8-9-14	8-9-14

- LEGEND**
- PROPERTY LINE
 - FENCE
 - CONCRETE SURFACE
 - MASONRY WALL
 - WOOD WALL
 - ROCK WALL
 - FF FINISHED FLOOR
 - FS FINISHED SURFACE
 - TG TOP OF GRATE
 - INV INVERT OF PIPE
 - TC TOP OF CURB
 - EP EDGE OF PAVEMENT
 - TW TOP OF WALL
 - FOUND MONUMENT
 - ▲ SURVEY CONTROL POINT

BENCHMARK NOTE:
 OCSBM 39-52-68
 ELEV=18.235
 NAVD83 DATUM, 1989 ADJ.

EASEMENT NOTE:
 THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

BOUNDARY NOTE:
 THE PLAT SHOWN HERON REPRESENTS A BEST FIT OF THE RECORD BOUNDARY TO THE FOUND MONUMENTS AND LINES OF OCCUPATION. IT SHALL NOT BE CONSIDERED THE FINAL BOUNDARY, AND A BOUNDARY SURVEY IS RECOMMENDED PRIOR TO DESIGN OR CONSTRUCTION OF IMPROVEMENTS.

TOAL ENGINEERING, INC.
 Civil Engineers and Land Surveyors
 139 Avenida de San Gabriel, Suite 206
 Ph: 949-482-8586 Fax: 949-482-8625

REVISIONS

NO.	DATE	BY	DESCRIPTION