

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

**ITEM #2**

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**DATE:** FEBRUARY 9, 2015

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
URSULA LUNA-REYNOSA, DIRECTOR  
EVAN LANGAN, AICP, ASSOCIATE PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP14-0029 TO ALLOW THE ADDITION OF 42 SQUARE FEET OF LIVING AREA TO A SINGLE FAMILY DWELLING THAT HAD PREVIOUSLY RECEIVED A ONE-TIME EXEMPTION FOR ADDITIONS AT 4 MONARCH BAY DRIVE

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**RECOMMENDATION:** That the Planning Commission approve the attached resolution approving Coastal Development Permit CDP14-0029.

**PROJECT APPLICANT:** S. Glenn Eichler, AIA (Architect)

**PROPERTY OWNERS:** Joe and Kathy Coleman

**REQUEST:** Approval of a Coastal Development Permit for additions to a single-family dwelling on land located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

**LOCATION:** 4 Monarch Bay Drive (APN 670-131-50)

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on January 28, 2015, published within a newspaper of general circulation on January 29, 2015 and posted on January 30, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that it proposes a nominal increase in square footage to an existing residential dwelling.

**ISSUES:**

- Project consistency with the Dana Point General Plan, Zoning Code (DPZC) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The subject property measures 10,115 square feet (.23 acres) in area and is located within the Monarch Bay Homeowners Association (HOA), a built-out community of exclusively single-family dwellings. The property is a corner lot fronting Monarch Bay Drive, with bordering residential dwellings located to the north and west. The site contains a single-story, single-family dwelling that was originally constructed in 1971 with minor additions having been made to the dwelling since then.

The property is zoned "Residential Single-Family 4" (RSF-4) and is located within the City's Coastal Overlay District (the California Coastal Zone) as well as the Appeals Jurisdiction of the California Coastal Commission.

**DISCUSSION:** The proposed scope of work would add 42 square feet to the dwelling's southerly elevation in the form of an expanded master bathroom in conjunction with a minor interior remodel. No alterations are proposed to the height, overall bedroom or story count. Exterior improvements to the structure and property consist of a new outdoor shower with associated vinyl screen fencing. With the proposed expansion, the dwelling would comprise a total of 3,256 square feet of gross floor area. All proposed improvements comply with standards of the property's RSF-4 Zoning District; no variances or other deviations from standards are requested.

Pursuant to Section 9.69.040 (b)(2)(A) of the Dana Point Zoning Code, the subject property was granted a one-time exemption from a Coastal Development Permit (CDP) in 2004 (Attachment 6) for a 30 square foot expansion - an amount equivalent to or less than 10 percent of the structure's gross floor area - and so the currently proposed 42 square foot expansion shall require a CDP.

Coastal Development Permit CDP14-0029

Pursuant to Section 9.69.040 (b)(2)(B) (Coastal Development Permit Exemptions) of the Dana Point Zoning Code (DPZC), where improvements to single-family dwelling have previously been exempted from a Coastal Development Permit, a subsequent addition of any size shall require approval of a new Coastal Development Permit.

Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP,


requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*


Supportive findings can be made for the CDP request and are enumerated in the project's draft resolution (Attachment 1).

**CORRESPONDENCE:** To date, correspondence for this project has been received only from the Monarch Bay HOA, notifying of that body's review and approval of the proposed remodel and expansion.

**CONCLUSION:** Staff finds that the subject project is consistent with the policies and provisions of the City of Dana Point's General Plan, Zoning Ordinance and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached resolution, approving CDP14-0029 subject to findings and conditions of approval.



Evan Langan, AICP  
Associate Planner



Ursula Luna-Reynosa, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 15-02-09-xx

**Supporting Documents**

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)
5. Approval Documentation, Monarch Bay HOA
6. CDP Exemption (2004), 4 Monarch Bay Drive

**RESOLUTION NO. 15-02-09-xx**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP14-0029 TO ALLOW THE ADDITION OF 42 SQUARE FEET OF LIVING AREA TO A SINGLE FAMILY DWELLING THAT HAD PREVIOUSLY RECEIVED A ONE-TIME EXEMPTION FOR ADDITIONS AT 4 MONARCH BAY DRIVE**

**Project Applicant:** S. Glenn Eichler, AIA (Architect)  
**Property Owners:** Joe and Kathy Coleman

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, the applicant filed a verified application for a Coastal Development Permit (CDP) to allow for additions to an existing single-family dwelling at 4 Monarch Bay Drive (APN 670-131-50) and where a previous addition had already been granted a one-time exemption from a CDP; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt from review under the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1 - Existing Facilities) of the CEQA Guidelines; and

WHEREAS, the Planning Commission did, on the 9<sup>th</sup> day of February, 2015, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP14-0029.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP14-0029 subject to conditions:

***ATTACHMENT #1***

Findings:

Coastal Development Permit CDP14-0029

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “preserve the individual positive character and identity of the City’s communities” by fostering new, aesthetically pleasing residential development at the subject property that is both wholly compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within a private, gated community that does not contain public accessways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County and State beaches and so the subject request conforms with the public access and public recreation policies of Chapter Three of the Coastal Act.**
3. That the project conforms with Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project is qualified as Categorical Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facilities) in that it proposes a nominal increase in square footage to an existing residential dwelling.**

4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.**
5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located within an established area of residential uses with little to no natural landforms present and; in that the proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed project will make additions to an existing residential dwelling in a manner that conforms to current development and design standards of the Dana Point Zoning Code.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staffs as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program for the subject property). There are no adopted specific plans that apply to the subject property.**

Conditions:

**A. General:**

1. Approval of this application permits the addition of 42 square feet to an existing single-family dwelling located at 4 Monarch Bay Drive per plans submitted to and on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program and Zoning Code.

2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
6. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with



the review of the proposed project and any other related documentation.

The applicant and owner, and their successors in interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
9. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and internet services. The applicant is responsible to coordinate any potential conflicts or existing easements.
10. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
11. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.

**B. Prior to Building Plan Check Submittal and/or prior to Issuance of a Building Permit or release on certain related inspections:**

12. Building plan check submittal shall include three sets of the following construction documents (as applicable):
  - a. *Building Plans*
  - b. *Energy Calculations*
  - c. *Structural Calculations*

**D. Prior to Final Inspection and Project Approval by City Staff:**

13. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.

DRAFT

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 9<sup>th</sup> day of February, 2015 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Liz Claus, Chairperson  
Planning Commission

ATTEST:

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Ursula Luna-Reynosa, Director  
Community Development Department



## VICINITY MAP



**Project :** CDP14-0029

**Applicant:** S. Glenn Eichler, AIA

**Location:** 4 Monarch Bay Drive



**ATTACHMENT #2**



ATTACHMENT #3

gle earth

feet  
meters



RECEIVED

DEC 18 2014

CITY OF DANA POINT  
COMMUNITY DEVELOPMENT  
DEPARTMENT



















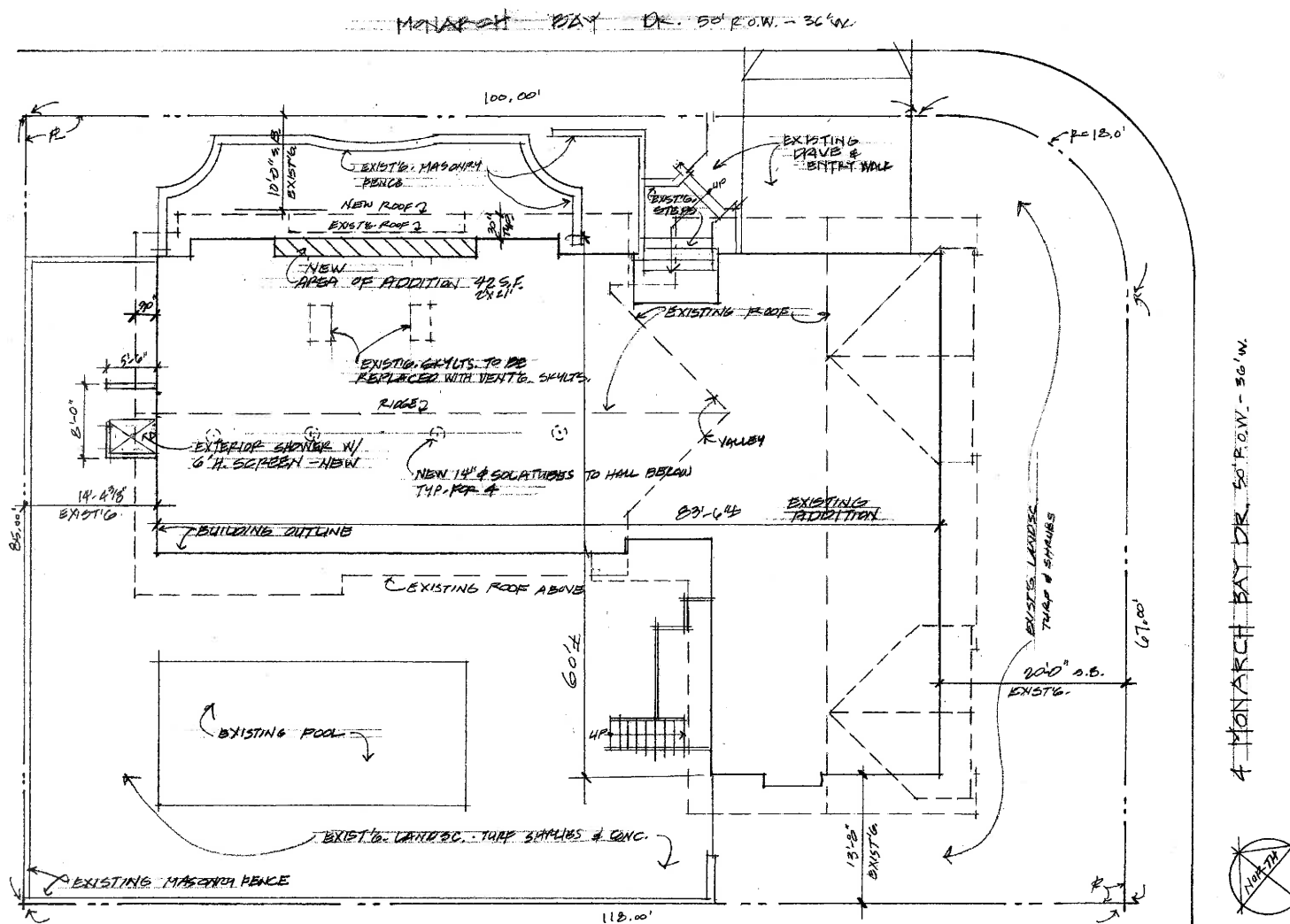




RECEIVED

JAN 23 2015

CITY OF DANA POINT  
COMMUNITY DEVELOPMENT  
DEPARTMENT



SITE PLAN  
LOT COVERAGE: 3250/10115 = 32.2%  
1/32" = 1'-0"

GREEN CODE

FORMALDEHYDE LIMITS IN PARTS PER MILLION			
Product	Current Limit	January 1, 2012	July 1, 2012
Hardwood ply veneer core	.05		
Hardwood ply composite core	.08		.05
Particleboard	.09		
Medium Density Fiberboard	.11		
Thin med. density fiberboard	.11	.13	

14. Documentation for the items listed above must be made available to your inspector upon request.
- Interior Moisture Control - CGESC 4.204**
- A capillary break shall be installed and shall consist of the following: a 4-inch thick base of 3/4 inch or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute ACI 302.2R-06. An equivalent slab design by a design professional is acceptable.
- Moisture Content of Building Materials - CGESC 4.205**
- Building materials with visible signs of water damage shall not be installed.
  - Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content.
  - Moisture content shall be verified in compliance with the following:
    - Moisture content shall be determined with either a probe-type or contact-type moisture meter.
    - Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified.
    - At least three random moisture readings shall be performed on wall and floor framing with documentation provided immediately prior to enclosure of the wall and floor framing.
  - Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.
  - Wet-applied insulation products shall follow the manufacturer's drying recommendations prior to enclosure.
- Indoor Air Quality and Exhaust - CGESC 4.206**
- For bathrooms containing a bathtub, shower, or tub/shower combination, a mechanical exhaust fan which exhausts directly from the bathroom must be installed.
  - Fans must be ENERGY STAR compliant and be designed to terminate outside the building.
  - Functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible.
  - Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
- Environmental Controls - CGESC 4.207**
- Whole house exhaust fans shall have insulated louvers or covers which close when the fan is off.
  - Covers or louvers shall have a minimum insulation value of R-4.
  - Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following options:
    - The heat loss and heat gain is established according to ACCA Manual J, ASHRAE handbooks or other equivalent design software methods.
    - The heat loss and heat gain is established according to ACCA Manual S or other equivalent design software or methods.
    - Select heating and cooling equipment according to ACCA 36-S Manual S or other equivalent design software or methods.
    - Use of alternate design temperatures necessary to ensure the systems function are acceptable.

- Indoor Water Use - CGESC 4.203**
- Indoor water fixtures must incorporate the flow rate of table 4.203.2
- | Fixture Type           | Flow Rate         |
|------------------------|-------------------|
| Lavatory faucets       | 1.5 gpm @ 80 psi  |
| Kitchen faucets        | 1.8 gpm @ 80 psi  |
| Water Closes (toilets) | 1.28 gpm @ 80 psi |
| Showersheds            | 2 gpm @ 80 psi    |
- Outdoor Water Use - CGESC 4.204.1**
- Irrigation controllers must be weather (rain sensor) or soil moisture based controllers.
- Construction Waste Reduction - CGESC 4.208**
- A construction waste management plan shall be submitted at plan check and comply with the Orange County Mandatory Construction and Demolition Recycling Policy and Program.
- Building Maintenance and Operation - CGESC 4.210**
- As final inspection documentation on building maintenance and operation must be provided.
    - Operator and maintenance instructions for all equipment and appliances.
    - Roof and yard drainage including gutters and downspouts.
    - Space conditioning systems including condensers and air filters.
    - Landscaping and irrigation systems.
    - Water reuse systems.
    - Recycle programs and locations.
    - Pesticide transportation and disposal options.
    - Educational material on the positive impacts of maintaining indoor relative humidity between 30 and 60 percent.
    - Information about water conserving landscape and irrigation design.
    - Information on routine maintenance such as caulking, painting, grading, etc.
    - Information about state solar energy and incentive programs.
    - A copy of all special inspection verifications received by the enforcing agency.
- Fireplaces - CGESC 4.245**
- Fireplaces must be of the direct-vent sealed-combustion chamber type.
- Pollutants Control - CGESC 4.246**
- All duct and related distribution component openings must be covered with tape or other approved means to prevent dust accumulation.
  - Adhesives, sealants, and caulks must meet minimum VOC limits (see VOC Limits Handout).
  - Paints and coatings must meet minimum VOC limits (see VOC Limits Handout).
  - Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for VOC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(a)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94920.
  - All carpet installed in the building interior shall meet the testing and product requirements of one of the following:
    - Carpet and Rug Institute's Green Label Plus Program.
    - California Department of Public Health Standards Practice for the testing of VOCs (Specification 0135).
    - ISO/ANSI 140 as the Gold Level.
    - Scientific Certifications Systems Indoor Advantage Gold.
  - All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.
  - All carpet adhesive shall meet minimum VOC limits (see VOC Limits Handout).
  - Where resilient flooring is installed, at least 50 percent of floor area receiving resilient flooring shall comply with the VOC emission limits defined in Collaborative for High Performance Schools (CHPS) Low-emitting Materials List or certified under the Resilient Floor Covering Institute (RFCI) Floor Score program.
  - Handwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.) or by or before the dates specified in those sections, as shown in Table 4.204.5.

18. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, DESCRIBED OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.
19. ANY ELECTRICAL, MECHANICAL OR PLUMBING WORK MAY REQUIRE A SEPARATE PLAN CHECK AND PERMIT.
20. ALL CONSTRUCTION MATERIALS SHALL BE STORED PROPERLY WITHIN THE DESIGNATED AREAS AS AUTHORIZED BY THE BUILDING OWNER, TENANT OR ARCHITECT/ENGINEER. THE LOSS OF ALL NEW MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR.
21. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS. THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND THAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REPAIRED BY ALL.
22. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR TO FINISH FACE OF CEILING. TYPICAL INTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD UNLESS OTHERWISE NOTED.
23. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES OF NON-STANDARD FINISHES TO THE ARCHITECT/ENGINEER COVERING CABINETRY/HOLLOWWARE AND ALL PREFABRICATED ASSEMBLIES PRIOR TO FABRICATION AND INSTALLATION.
24. THE ACT OF STARTING ANY SPECIFIC OPERATION SHALL BE DEEMED AS EVIDENCE OF ACCEPTANCE BY THE CONTRACTOR OF ALL RELATED EXISTING CONDITIONS AS BEING SATISFACTORY FOR SUCH WORK.
25. THE ARCHITECT/ENGINEER MAKES NO GUARANTEE FOR PRODUCTS IDENTIFIED BY TRADE NAMES OR MANUFACTURER.
26. POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER PRE-EXISTING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
27. USE 2X6 MIN. STUDS FOR PLUMBING WALLS.
28. CONTROL VALVES FOR SHOWER AND TUB SHOWER SHOULD BE OF THE PRESSURE OR THERMOSTATIC MIXING VALVE TYPE, SEAT 40.0 TYP.
29. MAX. FLOOR IN RATE STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION. LOW-FLOOR TOILETS (1.6 GALL FLOOR), SHOWERSHEADS (2.5 GPM) AND FAUCETS (2.2 GPM). (CPC 402)
30. ACCESS PANEL (24" X 24") REQUIRED FOR TUB TRAP SLP. JOINT OR USE NON-SLIP (EVALUATED) JOINT.
31. SILECO LATH AND DRYWALL SHALL BE TAPED TO ALL STUDS AND TOP AND BOTTOM PLATES.
32. MESH SILECO IS APPLIED OVER PLYWOOD, ETC. SEC. 2006.4.
33. SPECIAL INSPECTION REQUIRED FOR EPOXY.
34. EXISTING SEWER LATERAL TO BE CHANGED AND A CLEAN-OUT INSTALLED TO COMPLY WITH CITY STANDARDS IF ANY OF THE FOLLOWING OCCUR. THIS SHALL BE DETERMINED BY THE BUILDING INSPECTOR. A. ALTERATIONS TO THE BUILDING SEWER IS DONE. B. ADDITIONAL PLUMBING FIXTURES REQUIRE INCREASE IN THE BUILDING SEWER LINE. C. WHEN 4 OR MORE FIXTURES ARE ADDED TO AN EXISTING HORIZONTAL PLUMBING SYSTEM. D. WHEN IT IS FOUND THAT THE BUILDING SEWER LINE IS INSTALLED IN AN ILLEGAL OR UNSANITARY MANNER. E. IF THE AREA OF THE STRUCTURAL REMOVAL + ADDITION IS GREATER THAN 50% OF THE EXISTING AREA.
35. PROVIDE SHOCK DETECTORS IN EACH HALLWAY LEADING TO SLEEP ROOMS, EACH SLEEPING ROOM OF NEW AND EXISTING CONSTRUCTION ON TOP OF STAIRWAY, AND IN EACH STORY. IN NEW CONSTRUCTION DETECTORS TO BE HAND HELD WITH BATTERY BACK-UP PER IBC 504. DETECTORS ARE NOT TO BE LOCATED IN KITCHEN, GARAGE OR WITHIN 5 FEET FROM DOOR TO KITCHEN OR BATHROOM OR SUPPLY AIR REGISTERS.

SCOPE OF WORK

ADDITION OF 42 S.F. TO MASTER BATH AND REMOVAL OF BATHROOMS AND LAUNDRY. ADDITION OF EXTERIOR SHOWER AND SCREEN FENCE. EXIST'G. RES. AREA = 3214 S.F. NEW TOTAL 3256 S.F.

SHEET INDEX

- SITE PLAN, VICINITY MAP, SHEET INDEX
- LEGAL DESCRIPTION, NOTES
- FLOOR PLAN, DEMO PLAN, EXT. ELEVATIONS
- INTERIOR ELEVATIONS
- ELECT. PLAN, FOUNDATION / FRAM'G. PLAN, DETAILS & NOTES

LEGAL DESCRIPTION

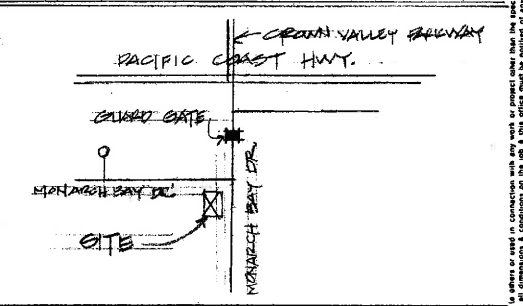
LOT 27, TRACT 3039, BK. 344 COUNTY OF ORANGE, CA

OWNER / ARCHITECT

OWNER: JOE & KATHY COLEMAN  
4 Monarch Bay Dr.  
DANA POINT, CA. 92629

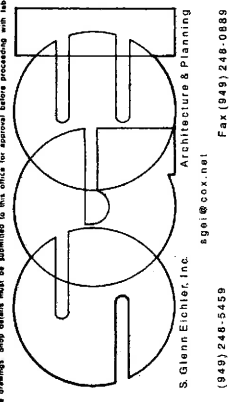
ARCHITECT: S. GLENN EICHLER, AIA.  
23892 SCOTTSDALE DR.  
MISSION VIEJO, CA 92691  
949/246-5459 SEE@COX.NET

VICINITY MAP



NOTES

- PROJECT SCOPE: MINOR ADDITION & MAINTENANCE.
- THE CODES IN EFFECT ARE: 2010 CALIFORNIA BUILDING CODE (CBC), 2010 CALIFORNIA PLUMBING CODE (CPC), 2010 CALIFORNIA MECHANICAL CODE (CMC), 2008 CALIFORNIA ELECTRICAL CODE (CEC), AND 2010 CALIFORNIA ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL AS ADOPTED BY CALIFORNIA CODES ARE AMENDED AND REVISED MODEL CODES.
- ALL CONSTRUCTION SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF APPLICABLE CITY, COUNTY, STATE OR OTHER BUILDING CODE.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES AND LICENSES REQUIRED FOR PROPER COMPLETION OF THE WORK. THE CONTRACTOR SHALL REQUEST ALL INSPECTIONS REQUIRED BY LOCAL GOVERNMENT AGENCIES AND COORDINATE HIS WORK ACCORDINGLY.
- THE CONTRACTOR SHALL MAINTAIN THE PUBLIC RIGHT OF WAY, SIDEWALKS, CORRIDORS, ETC. ESTABLISHED BY THE CONSTRUCTION. FREE OF SOIL, DEBRIS, TRASH, ETC. ON A DAILY BASIS. CLEAR EGRESS SHALL BE MAINTAINED AT ALL TIMES FOR ALL BUILDING TENANTS, THEIR EMPLOYEES AND GUESTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT/ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY BEFORE STARTING WORK. (THIS NOTE ALSO PERTAINS TO ALL SUBCONTRACTORS). ALL WORK SHALL BE COORDINATED WITH RELATED ADJACENT WORK.
- CONTRACTOR SHALL VERIFY AT THE SITE OR STRUCTURE, ALL NECESSARY DIMENSIONS AND CONDITIONS PERTAINING TO HIS WORK AND SHALL BE RESPONSIBLE FOR ALL WORK UNDER HIS CONTRACT INCLUDING ALL WORK BY APPROVED SUBCONTRACTORS. THE CONTRACTOR MAY REQUIRE IN THE PROGRESS OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DELAYS CAUSED BY NEGLECT OF HIMSELF OF THOSE UNDER HIM BY CONTRACT OR OTHERWISE.
- ANY ERRORS, OMISSIONS AND OMBIGNS IN THESE DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPAIRED TO THE ARCHITECT/ENGINEER FOR CLARIFICATION OR CORRECTION BEFORE ANY PART OF THE WORK IS STARTED. UNLESS EXPRESSLY STIPULATED, NO ADDITIONAL ALLOWANCE WILL BE MADE IN THE CONTRACTORS FAVOR BY VIRTUE OF ERRORS, AMBIGUITIES, AND/OR OMISSIONS WHICH SHOULD HAVE BEEN DISCOVERED DURING PREPARATION OF THE BID ESTIMATE AND DIRECTED TO THE ARCHITECT/ENGINEERS ATTENTION IN A TIE-BEET HANDED.
- NO HAZARDOUS MATERIALS, LIQUIDS, OR CHEMICALS SHALL BE STORED OR USED WITHIN THE SUBJECT BUILDING AS TO REQUIRE A HAZARDOUS CLASSIFICATION PER THE CPC BUILDING CODE.
- ALL INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST ALL LOADS INCLUDING BUT NOT LIMITED TO A FORCE OF 5 POUNDS PER SQUARE FOOT APPLIED PERPENDICULAR TO THE WALLS.
- LIGHT, VENTILATION AND SANITATION SHALL COMPLY WITH MOST RECENT BUILDING CODE.
- APPROVED ADDRESSES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY, E.G.
- ALL DAMAGED WORK SHALL BE PATCHED OR REPAIRED BY THE CONTRACTOR. ALL REPAIRED SURFACES SHALL BE EQUAL TO NEW.
- ALL WORK SHALL BE DONE IN A QUALITY MANNER LIKE HANDED WITH UNLESS OTHERWISE NOTED. ONLY NEW HIGH QUALITY MATERIALS COHERENT WITH EX CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE BUILDING CODE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETRY, FURNITURE, ETC.
- SUBSTITUTIONS OF ANY ITEM SPECIFIED WITHIN THE CONTRACT STANDARD ITEMS, WILL REQUIRE WRITTEN APPROVAL BY THE ARCHITECT/ENGINEER.
- THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY FROM THE WORK. THE CONTRACT SUM BEING ADJUSTED ACCORDI



PROJECT

Addition & Remodel for  
COLEMAN RESIDENCE  
4 Monarch Bay Dr.  
Dana Point, CA

JOB NUMBER

REVISIONS:

DATE: 11/4/14

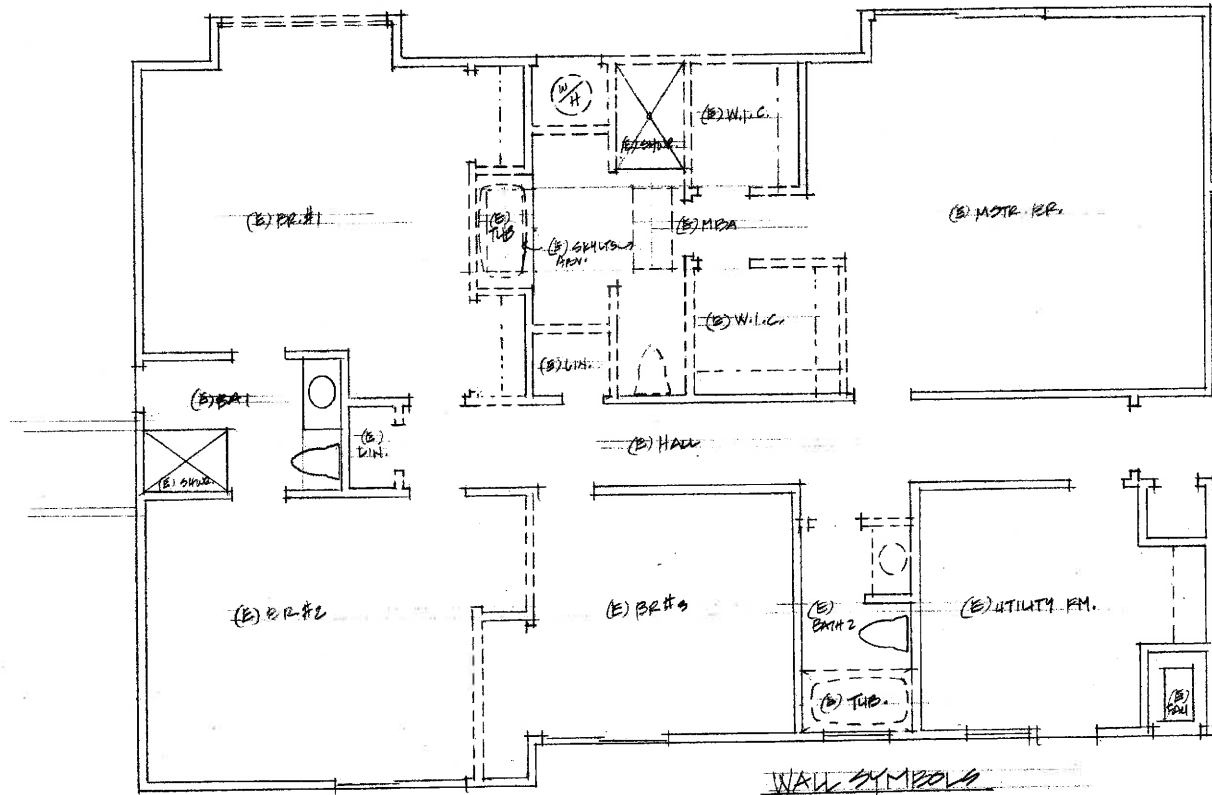
SHEET TITLE:

SHEET NUMBER

57

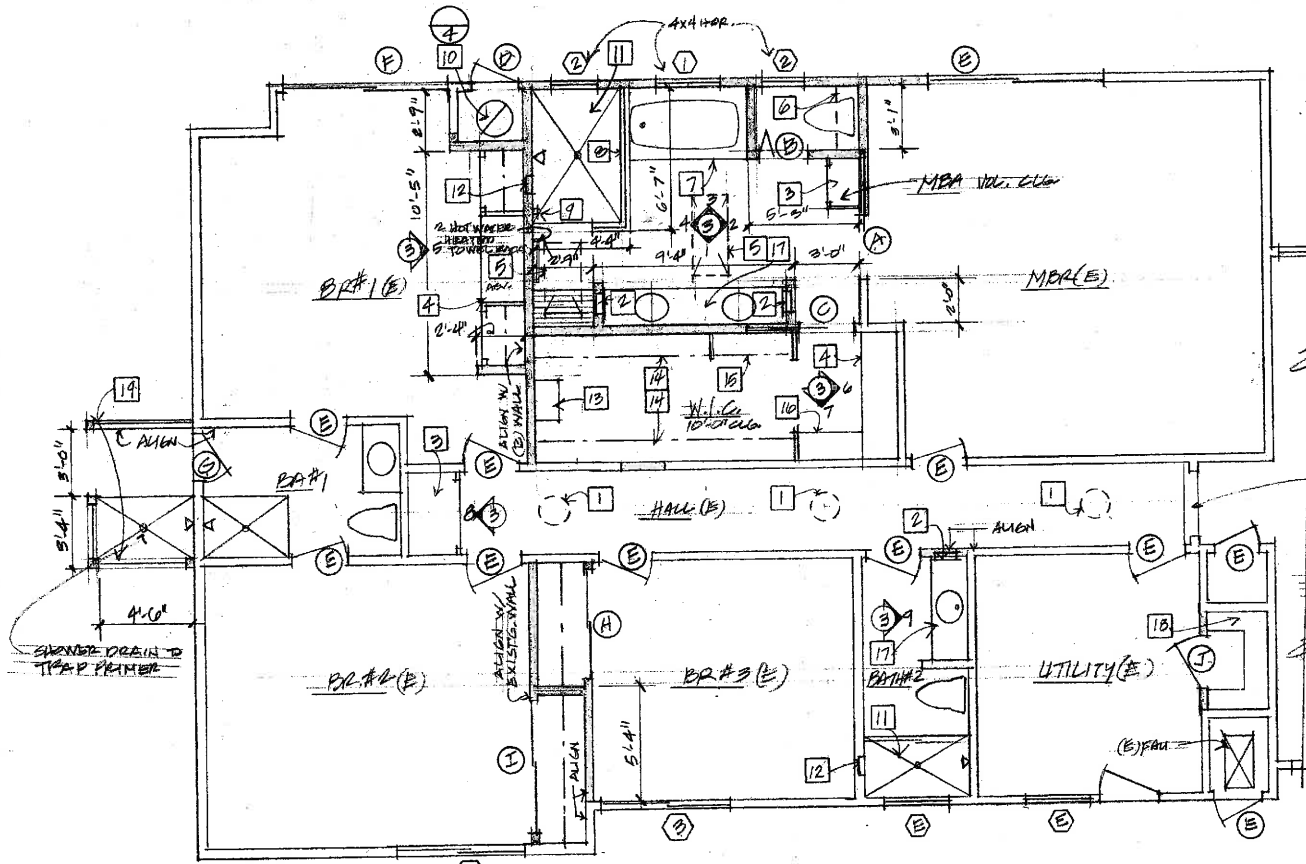
Supporting Document 4  
02/09/15 — Item 2  
CDP14-0029  
4 Monarch Bay Drive





DEMO. PLAN  
5/21/14 @ 1/4" = 1'-0"

WALL SYMBOLS  
 - - - - - ITEM TO REMAIN  
 - - - - - ITEM TO BE REMOVED



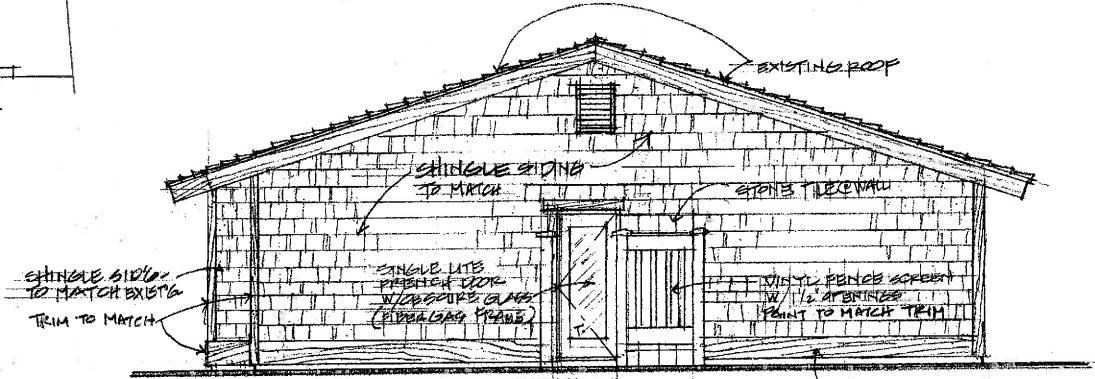
FLOOR PLAN  
5/21/14 @ 1/4" = 1'-0"

DOOR SCHEDULE							
ALL GLASS TO BE FULL GLAZED							
SYMBOL	SIZE(WxH)	TYPE	FINISH	FRAME	FRAME FIN.	GLASS	COMMENTS
(A)	2'-0" x 6'-8"	1 1/2" SLIP	PAINT	W.D.	PAINT	-	W/VA TO BE MAINTAIN TO MATCH EXIST'G. - U.S.O.
(B)	2'-4" x 6'-8"	"	"	"	"	"	BIFOLD
(C)	2'-4" x 6'-8"	"	"	"	"	"	POCKET
(D)	2'-4" x 6'-8"	"	"	"	"	"	FIBERGLAS LAMBER
(E)	EXIST'G.	REPLACE INT. CAS.	AS DIRECTED BY OWNER				
(F)	MATCH EXIST'G.	SLIP	CLAD	WOOD	B.L.	B.	T. SUBSTITUTED TO MATCH M.B.C.
(G)	2'-4" x 6'-8"	1 1/2" SLIP	PAINT	"	"	"	"
(H)	5'-0" x 5'-0"	L.	PAINT	"	"	"	B.P.O.S.S.
(I)	2'-8" x 6'-8"	"	"	"	"	"	"
(J)	2'-8" x 6'-8"	"	"	"	"	"	LOUVER
(K)							
(L)							
(M)							

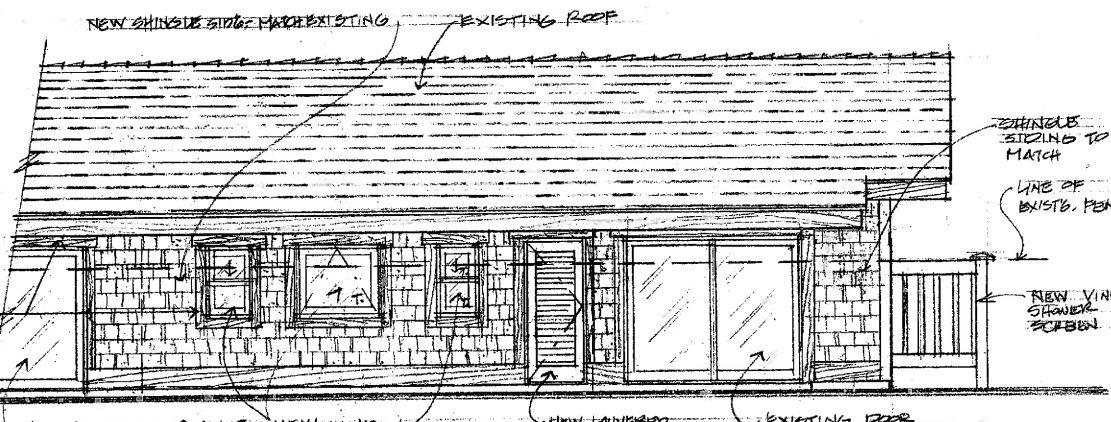
WINDOW SCHEDULE					
ALL WINDOWS TO BE FULL GLAZED					
SYMBOL	SIZE (WxH)	TYPE	MATERIAL	GLASS	COMMENTS
(1)	4'-0" x 3'-0"	AWNING	CLAD WOOD	T.	O.B.S.C. GL.
(2)	2'-4" x 3'-0"	SINGLE HUNG	"	"	" VINYL W/VA @ SHOWER
(3)	MATCH EXIST'G.	SLIP	"	"	"
(4)					
(5)					
(6)	MATCH EXIST'G.	"	"	"	"
(7)					
(8)					

PLAN NOTES

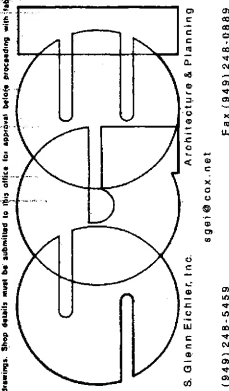
1. 1 1/2" SOLUBLE TO ROOF - ROOF LINE TO BE BEYOND RIDGES TO CONCEAL FROM VIEW
2. OVERSIZED MEDICINE CABINET
3. BREAK FRONT LINEN - SEE INTERIOR ELEV.
4. BUILT IN DRESSER - SEE INT. ELEV.
5. NEW VELUX OPERABLE SKYLIT - SEE TO MATCH EXIST'G.
6. LINEN CABINET 12" DEEP, 36" TALL
7. STONE APRON, DECK & MAINSLOT AT B.G. TUB
8. 30" H. WALL WITH FRAMELESS TEMP. GL. TO CEILING
9. REMOTE SHOWER VALVES
10. NEW 50 GAL. GAS FIRED WATER HEATER
11. SHOWER WITH STONE TILED WALLS TO CEILING
12. SHAMPOO RECESS 14" W x 14" H
13. FIXED SHELVING - 2 BR. SPACES 6'-0" H.
14. SHELF & 2 POLES - VERTICALLY W/ CARRIER
15. SHELF & POLE - VERTICALLY W/ CARRIER
16. SEAT AT 18" H. WITH STORAGE BELOW
17. 40" DEEP x 30" H. VANITY WITH STONE TOP & SPLASH
18. LINEN STORAGE - 6 BR. SPACE SHELVES
19. VINYL PENCING - 6" H. TO ACT AS SCREEN



SIDE ELEVATION  
5/21/14 @ 1/4" = 1'-0"



FRONT ELEVATION (PARTIAL)  
5/21/14 @ 1/4" = 1'-0"



PROJECT

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 4 Monarch Bay Dr.  
 Dana Point, CA

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REVISIONS

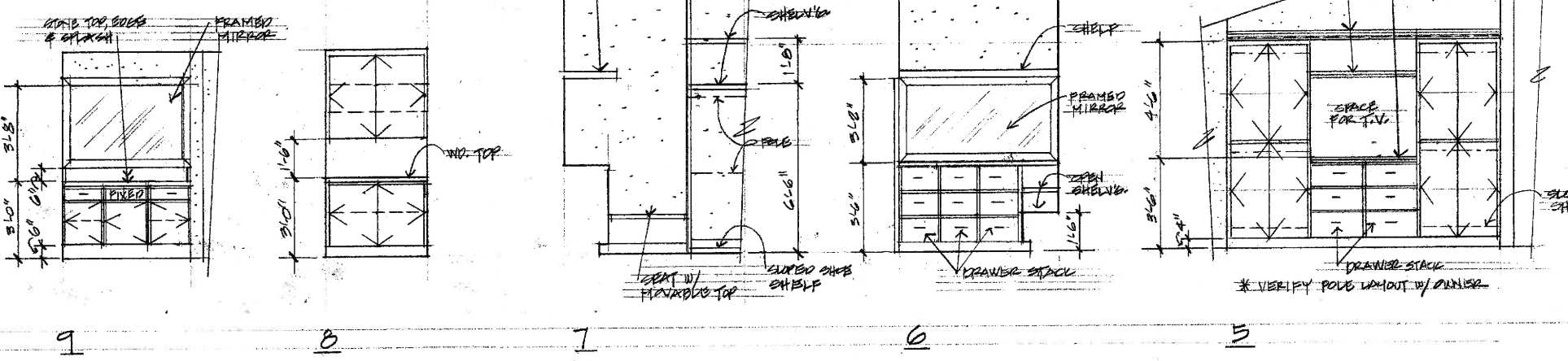
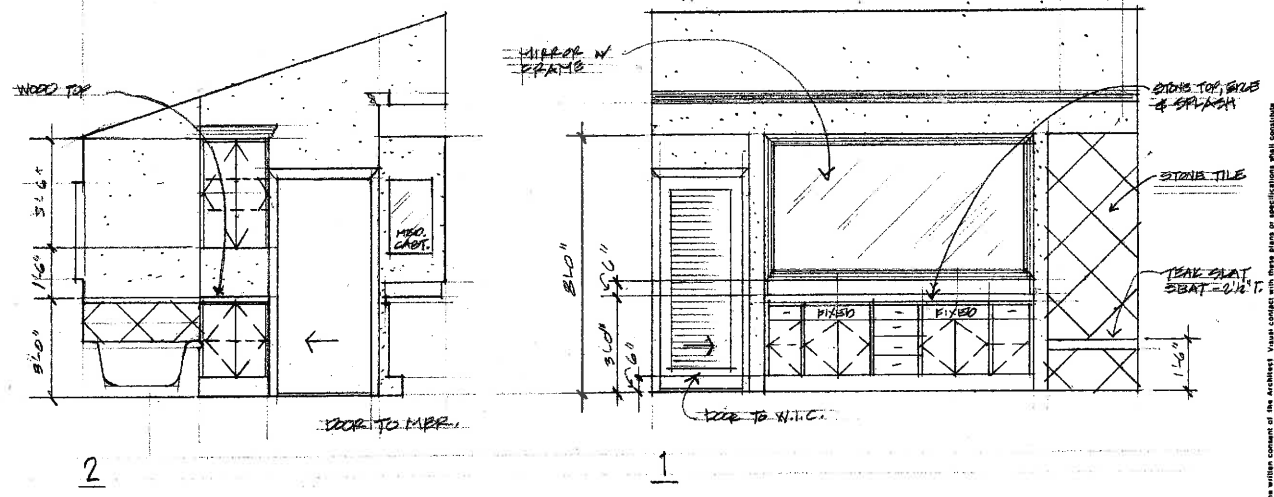
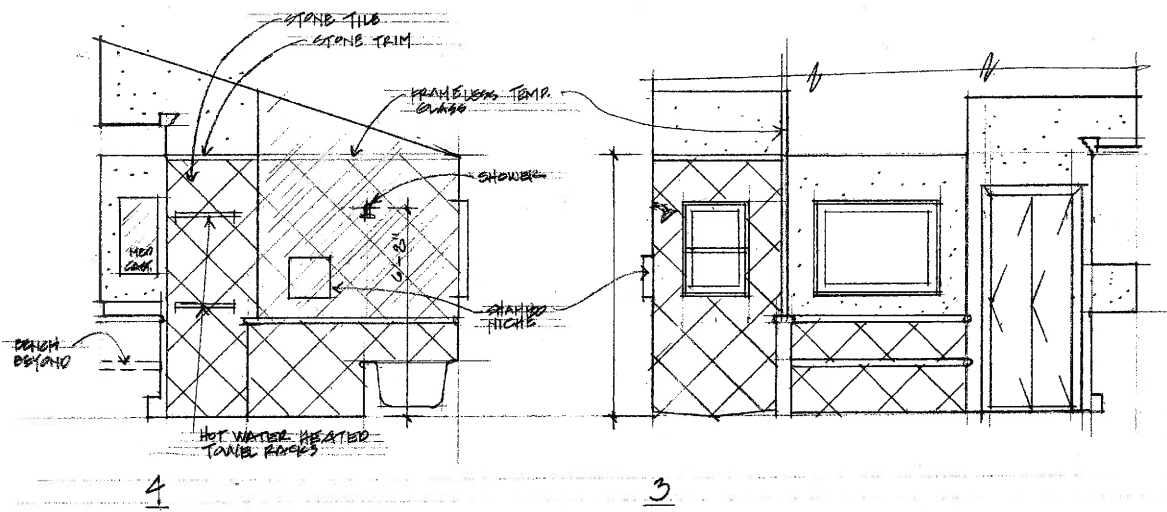
DATE

SHEET TITLE

SHEET NUMBER

2

The owner warrants that the information, drawings, specifications, and schedules are true and correct to the best of his knowledge and belief. The architect shall not be responsible for the accuracy of the information provided by the owner. The architect shall not be responsible for the accuracy of the information provided by the owner. The architect shall not be responsible for the accuracy of the information provided by the owner.



S. Glenn Eichler, Inc. Architecture & Planning  
 8660 COX RD. NE  
 (949) 248-5459  
 Fax (949) 248-0889

PROJECT

Addition & Remodel for  
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 4 Monarch Bay Dr.  
 Dana Point, CA

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DATE:

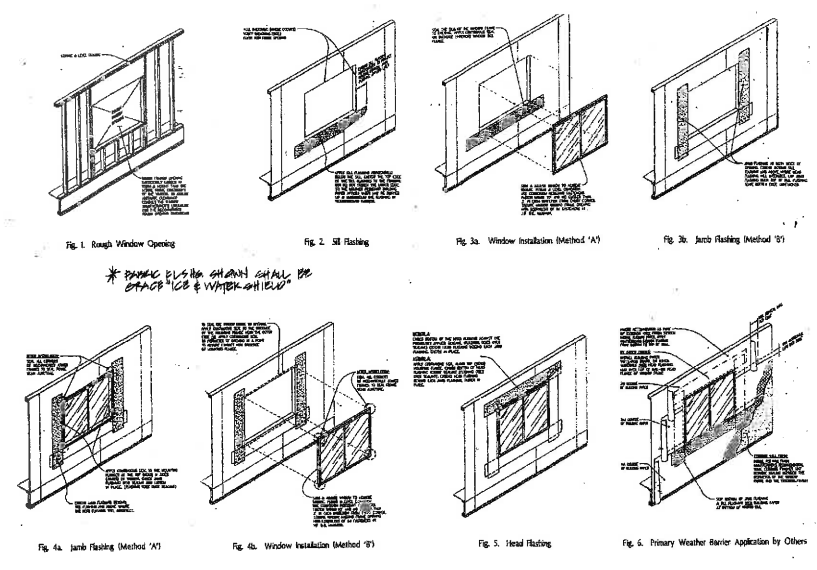
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SHEET NUMBER:

3

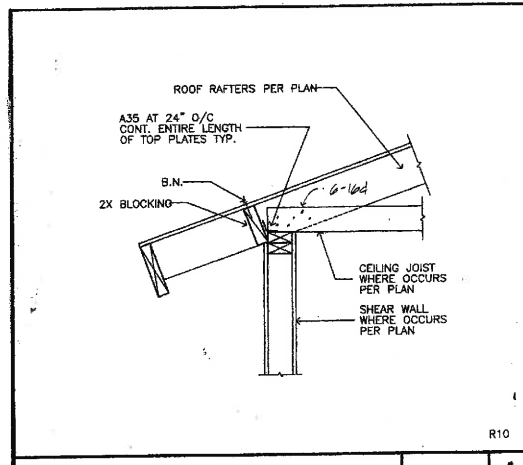
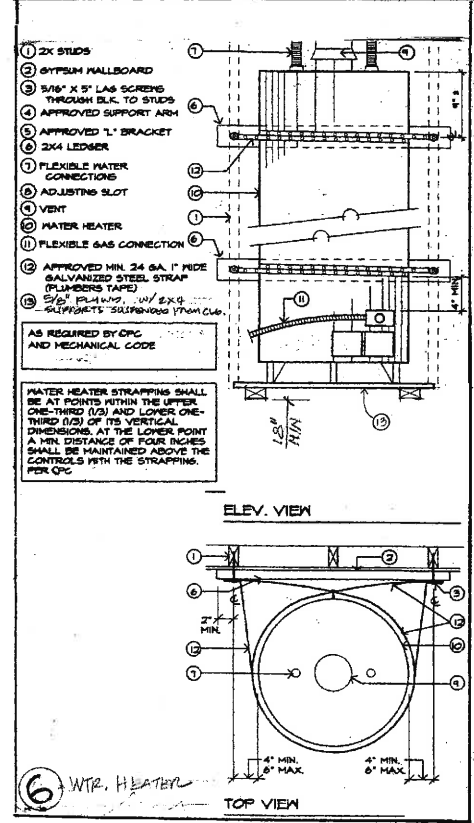
SCALE: 3/8" = 1'-0"

The above drawings, specifications, schedules, notes, conditions of contract, and any other documents incorporated by reference into this contract shall constitute the entire contract. No part of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. The Architect shall not be responsible for any errors or omissions in these drawings, specifications, schedules, notes, conditions of contract, or any other documents incorporated by reference into this contract. It is the responsibility of the client to verify the accuracy of the information provided by the client to the Architect. The Architect shall not be responsible for any errors or omissions in these drawings, specifications, schedules, notes, conditions of contract, or any other documents incorporated by reference into this contract. It is the responsibility of the client to verify the accuracy of the information provided by the client to the Architect.

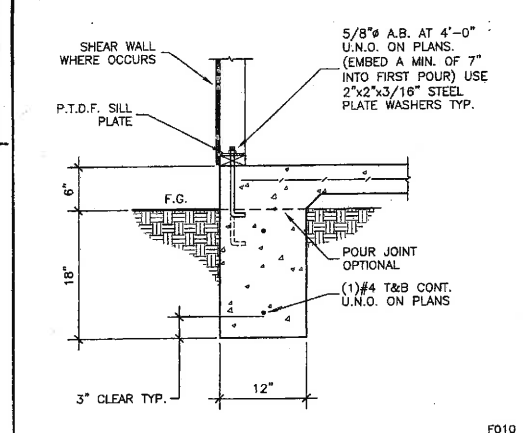


\* FABRIC PLATE SHALL BE STAFF 1/2" & WATER-RESISTANT

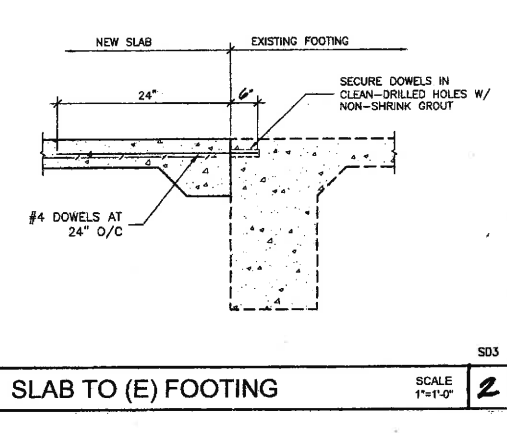
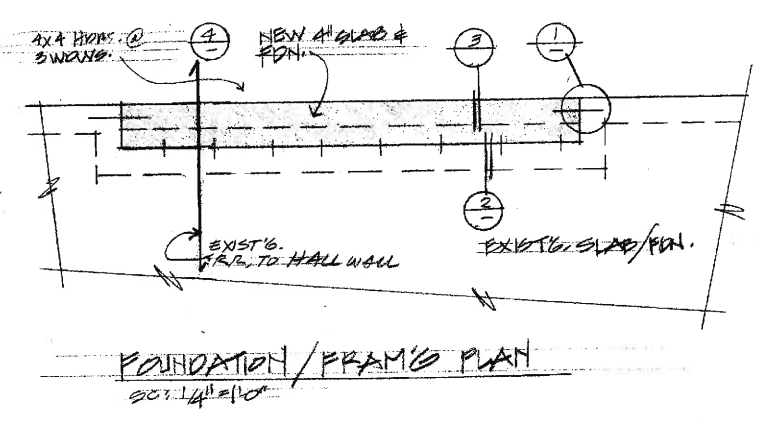
5 WINDOW FABRIC PLATE (2024 414) NO DOUBLE



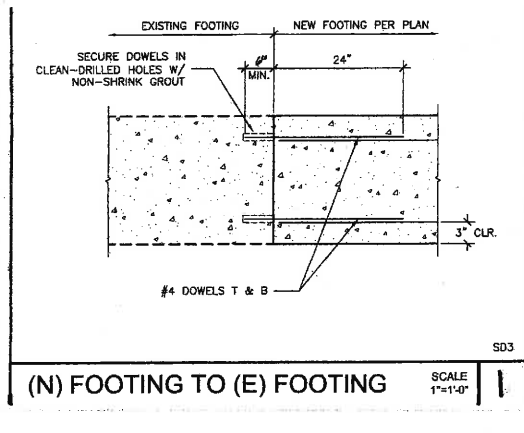
EAVE SCALE: 1"=1'-0" 4



EXTERIOR CONT. FOOTING SCALE: 1"=1'-0" 3



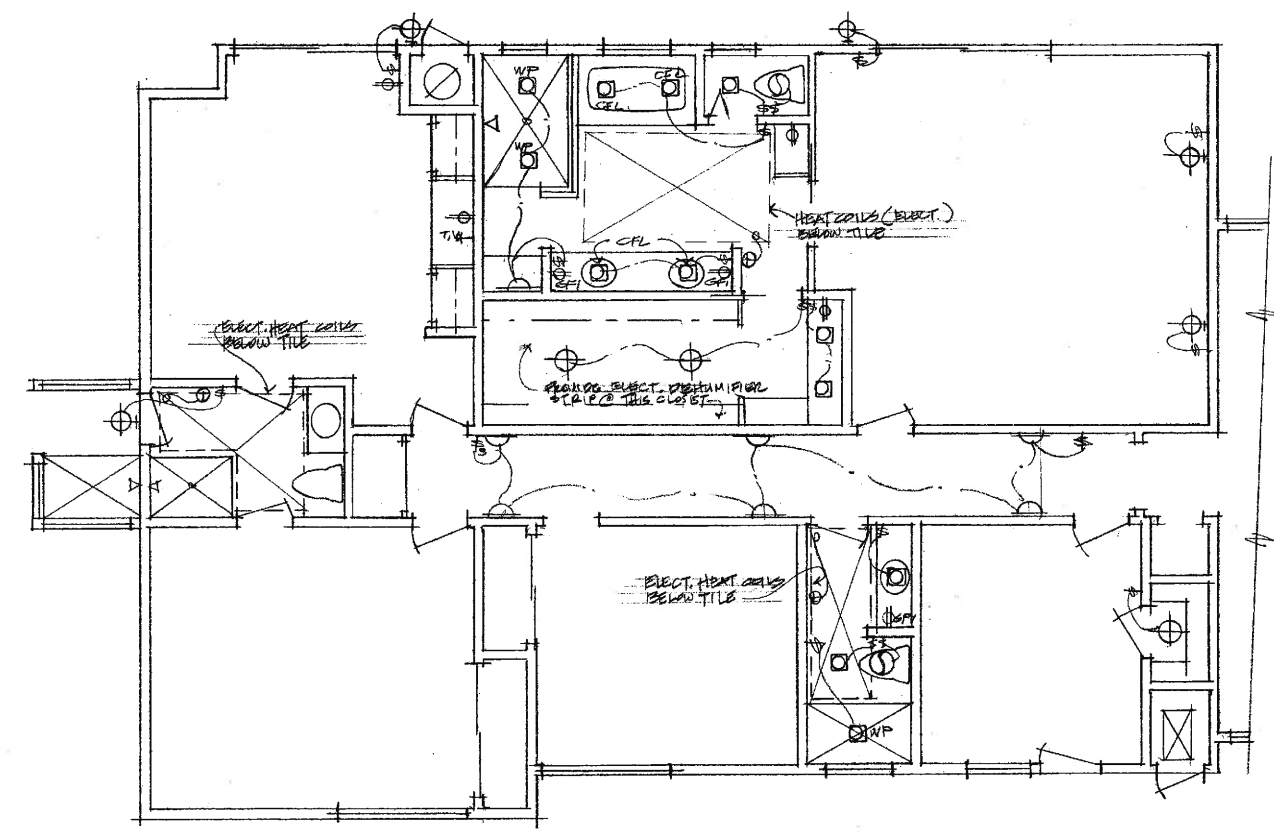
SLAB TO (E) FOOTING SCALE: 1"=1'-0" 2



(N) FOOTING TO (E) FOOTING SCALE: 1"=1'-0" 1

ELECTRICAL NOTES & SYMBOLS

1. OUTLETS AT BATHS AND POWDER ROOM COUNTERTOPS TO BE G.F.I.
  2. PROVIDE A 20A DUPLEX OUTLET 18" A.F.F. AT KITCHEN SINK WALL FOR DISHWASHER AND GARBAGE DISPOSAL.
  3. OUTLETS AT BATHS AND POWDER ROOM COUNTERTOPS TO BE 42" ABOVE FINISH FLOOR. TYPICAL, PROTECTED BY G.F.I. CIRCUIT.
  4. OUTLETS AT KITCHEN COUNTERTOPS TO BE 45" ABOVE FINISH FLOOR TYPICAL. UNLESS NOTED OTHERWISE.
  5. EXTERIOR WALL LIGHTS TO BE MOUNTED 84" ABOVE FINISH FLOOR TYPICAL. UNLESS NOTED OTHERWISE.
  6. EXTERIOR ENTRY WALL LIGHT TO BE MOUNTED 66" ABOVE FINISH FLOOR TYPICAL. UNLESS NOTED OTHERWISE.
- WATERPROOF OUTLET WITH G.F.I. PROTECTION
- 2 WAY SWITCH
  - 3 WAY SWITCH
  - DUPLEX OUTLET (AFCI) @ EXTERIORS
  - 220 VOLT OUTLET
  - HOT OUTLET
  - OUTLET BELOW COUNTER OR IN CABINET ABOVE
  - RANGING LIGHT FIXTURE
  - CEILING MOUNTED JUNCTION BOX
  - CEILING MOUNTED LIGHT FIXTURE
  - WALL MOUNTED LIGHT FIXTURE
  - RECESSED ROOM LIGHT FIXTURE (W.P. - JENSEN LENS) (FL = COMPACT FLUORESCENT)
  - FLUORESCENT LIGHT FIXTURE ON L.E.D. STRIPS
  - CEILING MOUNTED FAN (PROVIDE 1 AIR CHANGE EVERY 5 MINUTES)
  - ELECTRICAL SUB-PANEL
  - THERMOSTAT
  - TELEVISION JACK
  - TELEPHONE JACK
  - SMOKE DETECTOR (PER G.B.C. REQUIREMENTS WITH ALARM SYSTEM, CEILING MOUNTED, RECESSED AT TURRED DOWN CEILING) COMBINED WITH GARDET.
  - GARBAGE DISPOSAL
  - LANDSCAPE UPLIGHT VERIFY EXACT LOCATION
  - CONCRETE - WEATHERPROOF @ EXTERIOR
  - COMPUTER CABLE OUTLET



The above drawings & specifications, notes, design & arrangements, represented thereby are & shall remain the property of the Architect. No part thereof shall be copied, reprinted, reproduced, or otherwise used in connection with any work or project other than the project for which they were prepared & developed without the written consent of the Architect. Visual contact with these plans or specifications shall constitute acceptance of these conditions. Where dimensions on these drawings shall have precedence over verbal dimensions or conditions shown by these drawings. Shop details must be submitted to the office for approval before proceeding with fabrication.

S. Glenn Eichner, Inc. Architecture & Planning  
 sge@cox.net (949) 248-5458  
 (949) 248-9889

Addition & Remodel for  
 COLEMAN RESIDENCE  
 4 Monarch Bay Dr.  
 Dana Point, CA

JOB NUMBER: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

DATE: 11/4/14

SHEET TITLE: \_\_\_\_\_

SHEET NUMBER: 4



# Monarch Bay Association

September 26, 2014

Joe and Kathi Coleman  
4 Monarch Bay Drive  
Monarch Beach, CA 92629

RECEIVED

DEC 18 2014

CITY OF DANA POINT  
COMMUNITY DEVELOPMENT  
DEPARTMENT

**RE: MONARCH BAY ASSOCIATION  
SUBMITTAL FOR MASTER BATHROOM REMODEL**

*Dear Mr. & Mrs. Coleman:*

*Thank you for your submittal to the Monarch Bay Association Architectural Control Committee for the master bathroom remodel plan as prepared by S. Glenn Eichler dated May 8, 2014.*

*Both requested Neighbor Awareness forms have now been received with no concerns being expressed; therefore, your plans have been approved as submitted.*

*We are also in receipt of your review fee retainer of \$1,500 which we will transfer the unused portions over to your construction deposit, which will be refunded minus road use fees upon the successful completion of your project.*

*Enclosed is a set of construction rules to share with your contractor so they know what to expect while working in the community.*

*Thank you for your cooperation throughout this process. Should you have any questions or concerns please contact our office at (949) 582-7770.*

*Sincerely,*

**THE MONARCH BAY ASSOCIATION  
ARCHITECTURAL CONTROL COMMITTEE**

**CC: Board of Directors  
Architectural Control Committee  
MB/004/arch/master bathroom remodel approval/09.26.**

**ATTACHMENT #5**

310000



**TO: CALIFORNIA COASTAL COMMISSION**  
South Coast Area  
200 Oceangate, 10th Floor  
Long Beach, California 90802  
(562) 590-5071

**FROM: COMMUNITY DEVELOPMENT**  
City of Dana Point  
33282 Golden Lantern  
Dana Point, California 92629  
(949) 248-3568

**CITY OF DANA POINT**

**NOTICE OF EXEMPTION FROM A COASTAL DEVELOPMENT PERMIT**

On August 9 2004 the property owner for 4 Monarch Bay Drive inquired about discretionary permits required for the following project:

Proposed 30 square foot addition to the property located at 4 Monarch Bay Drive. The existing square feet of the house is 3,184 sq ft. The total square feet will be 3,214 sq ft.

This proposed development is located within the City of Dana Point's Coastal Zone. The Community Development Director has determined this application exempt from the Coastal Development Permit requirements pursuant to the City of Dana Point Local Coastal Program and section 9.69.040 (b) (2) of the Dana Point Municipal Code, in that the proposed addition is less than the allowable 10-percent one-time exemption. Furthermore, it was determined that no other discretionary approval from the Community Development Department was required for the proposed project.

Signature:  on   
Kyle Butterwick  
Community Development Director  
Date

**ATTACHMENT #6**