

**CITY OF DANA POINT
AGENDA REPORT**

DATE: NOVEMBER 17, 2014

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: REVIEW OF ADMINISTRATIVE COASTAL DEVELOPMENT PERMIT CDP14-0026(A) TO PERMIT ADDITIONS TO AND A REMODEL OF AN EXISTING SINGLE STORY COMMERCIAL BUILDING, LOCATED AT 34094 PACIFIC COAST HIGHWAY, IN THE CITY'S TOWN CENTER.

RECOMMENDATION: That the Planning Commission review and affirm the Director of Community Development's approval of Administrative Coastal Development Permit CDP14-0026(A).

APPLICANT: Charles d'Arcy & Associates

OWNER: Steve Mellgren

REQUEST: Coastal Development Permit CDP14-0026(A) to permit the construction of additional floor area including a remodel of an existing 1,733 square foot, single story building.

LOCATION: 34094 Pacific Coast Highway (APN 682-243-07)

NOTICE: In November 2014, a Notice of Application for an Administrative Coastal Development Permit was posted at the project site. There are no persons known to be of interest (as defined in Section 9.69.110 (c) (2) of the Dana Point Municipal Code), and so no such notices have been mailed.

ENVIRONMENTAL:

Pursuant to the authority and criteria contained in the California Environmental Quality Act (CEQA), the Community Development Department has analyzed the subject project. Staff finds the project is Categorically Exempt per Section 15301 (a) (Class 1 – Existing Facilities).

ISSUES:

1. Does the project satisfy all the findings required pursuant to the City's Municipal Code for approval of an Administrative Coastal Development Permit?

BACKGROUND AND DISCUSSION:

The subject application proposes additions to and a remodel of an existing, 1,733 square foot single story building, originally constructed as a restaurant on land located within the Coastal Overlay District and Town Center Plan area. The proposed improvements to the structure would result in a change in the intensity of the use on the building site and, consequently, requires an administrative CDP.

The subject property itself is a rectangular lot, fronting Pacific Coast Highway (PCH) to the South and San Marino Place to the North. The subject site is within the Dana Point Town Center Plan and is designated as Town Center Mixed Use (TC-MU). The Town Center Plan is a certified Local Coastal Plan which delegates the authority to issue Coastal Development Permits (CDPs) to the City of Dana Point. The existing building comprises 1,733 square feet of gross floor area. The proposed scope-of-work would remove 164 square feet of floor area, while adding 659 square feet to the existing building in the form of a kitchen, office and lounge area. The total gross floor area proposed is 2,228 square feet, a 29 percent increase.

The applicant will also construct a 423 square foot raised patio with a cantilevered roof canopy along the PCH frontage for sidewalk dining purposes. The raised patio will be setback roughly 14 feet from PCH, as measured from the face of curb and two feet from the front yard property line. The sidewalk dining patio and canopy will require an encroachment permit from the City Engineer as it will be constructed in an area to be dedicated for future pedestrian sidewalk improvements. This raised patio's façade as well as portions of the north building façade will be designed with an eco-mesh, lattice material to accommodate plants which will mature to visually screen the walls. Additional site improvements include a new breezeway and raised planter, retaining walls, a trash enclosure, a metal tree sculpture, and ancillary ADA accessible ramps throughout.

The architectural styling is a variation of post-modern industrial, incorporating a mixture of reclaimed shiplap wood siding and trims, decorative wood and metal elements and exposed metal roofing. A metal edge sign cantilevered off of the canopy at the south elevation is proposed as well as a backlit, negative space lettering sign at the east elevation.

Coastal Development Permit CDP14-0026

Pursuant to Section 9.69.040 (Exemptions), improvements to any structure or change in occupancy which would result in a change in the intensity of the uses on the building

site are not exempt from the requirement to obtain a Coastal Development Permit. The subject application proposes additions which will result in a change in the intensity of the use on site, however, this scope-of-work meets all criteria for application for an Administrative Coastal Development Permit CDP (A) provided in Section 9.69.110 of the DPZC.

Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP, requiring that the project:

1. *Not encroach upon any public (coastal) accessway;*
2. *Not obstruct any existing public views to and along the coast;*
3. *Not adversely affect marine resources;*
4. *Not adversely affect recreational or visitor-serving facilities or coastal scenic resources;*
5. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources;*
6. *Minimize alterations of natural landforms;*
7. *Be visually compatible with the character of surrounding areas.*

Supportive findings can be made for the administrative CDP request, and are detailed in the attached permit.

CONCLUSION:

The Community Development Director finds that the subject project conforms to the development standards of the Municipal Code and Local Coastal Program. If one-third or more of the full membership of the Planning Commission so request, the issuance of an administrative coastal development permit shall not become effective, but shall, if the applicant wishes to pursue the application, be treated as a regular coastal development permit application subject to all provisions of Section 9.69.110 of the DPZC.



Danny Giometti
Assistant Planner



Ursula Luna-Reynosa, Director
Community Development Department

ACTION DOCUMENTS:

1. Administrative Coastal Development Permit CDP14-0026(A)

SUPPORTING DOCUMENTS:

2. Vicinity Map and Site Photo
3. Site Photos
4. Project Plans (architectural only)



November 17, 2014

Steve Mellgren
34094 Pacific Coast Highway
Dana Point, CA 92629

ADMINISTRATIVE COASTAL DEVELOPMENT PERMIT CDP14-0026(A)

APPLICANT: Charles d'Arcy & Associates

OWNER: Steve Mellgren

LOCATION: 34094 Pacific Coast Highway (APN 682-243-07)

REQUEST: Administrative Coastal Development Permit CDP14-0026(A) to permit the construction of additional floor area along with a remodel of an existing 1,733 square foot, single story, commercial building.

NOTICE: In November 2014, a Notice of Application for an Administrative Coastal Development Permit was posted at the project site. There are no persons known to be of interest (as defined in Section 9.69.110 (c) (2) of the Dana Point Municipal Code), and so no such notices have been mailed.

ENVIRONMENTAL:

The project is Categorically Exempt from the provisions set forth in the California Environmental Quality Act (CEQA) per Section 15301 (e) (Class 1 – Existing Facilities).

PROJECT DESCRIPTION:

The subject application proposes the additions to and a remodel of an existing, 1,733 square foot single story building, originally constructed as a restaurant on land located within the Coastal Overlay District (The CA Coastal Zone). The proposed improvements to the structure would result in a change in the intensity of the use on the building site and, consequently, requires an administrative CDP.

The subject property itself is a rectangular lot, fronting Pacific Coast Highway (PCH) to the South and San Marino Place to the North. The

Harboring the Good Life

subject site is within the Dana Point Town Center Plan and is designated as Town Center Mixed Use (TC-MU). The Town Center Plan is a certified Local Coastal Plan which delegates the authority to issue Coastal Development Permits (CDPs) to the City of Dana Point. The existing building comprises 1,733 square feet of gross floor area. The proposed scope-of-work would remove 164 square feet of floor area, while adding 659 square feet to the existing building in the form of a kitchen, office and lounge area. The total gross floor area proposed is 2,228 square feet, a 29 percent increase.

The applicant will also construct a temporary, 423 square foot raised patio with a cantilevered roof canopy along the PCH frontage for sidewalk dining purposes. The raised patio will be setback 14 feet from PCH, as measured from the face of curb and two feet from the front yard property line. The sidewalk dining patio and canopy will require an encroachment permit from the City Engineer as it will be constructed in an area to be dedicated for future pedestrian sidewalk improvements. This raised patio's façade as well as portions of the north building façade will be designed with an eco-mesh, lattice material to accommodate plants which will mature to visually screen the walls. Additional site improvements include a new breezeway and raised planter, retaining walls, a trash enclosure, a metal tree sculpture, and ancillary ADA accessible ramps throughout.

The architectural styling is a variation of post-modern industrial, incorporating a mixture of reclaimed shiplap wood siding and trims, decorative wood and metal elements and exposed metal roofing. A metal edge sign cantilevered off of the canopy at the south elevation is proposed as well as a backlit, negative space lettering sign at the east elevation.

DETERMINATION:

The Community Development Director finds that the subject project conforms to the development standards of the Municipal Code and Local Coastal Program and therefore (pursuant to supportive findings as stipulated in Section 9.69.070 of the DPMC), conditionally approves the subject project as proposed. Pursuant to DPMC Section 9.69.110 (e), this approval shall not become effective until such is reported to the Planning Commission (as a Consent Calendar item). If one-third or more of the appointed membership of the Commission so request, the application will be removed from the Consent Calendar and set for public hearing at a subsequent meeting of the Planning Commission.

This permit shall be reported to the Planning Commission on Monday, November 17, 2014 at 6:00 PM (or as soon thereafter as possible).

City of Dana Point City Council Chambers
33282 Golden Lantern
Dana Point, CA 92629



Ursula Luna-Reynosa
Director of Community Development, City of Dana Point

ADMINISTRATIVE COASTAL DEVELOPMENT PERMIT CDP14-0026(A)

FINDINGS:

1. That the proposed project is consistent with the Dana Point General Plan and Local Coastal Program **in that the site and structural design of the subject project have been reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department for conformance with the above documents and, subject to conditions of approval, been found consistent.**
2. That the proposed development is located within the Coastal Overlay District and is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that any proposed development would not alter existing public access or public recreation areas in the vicinity.**
3. That the proposed development conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that the subject project qualifies for a Class 1 Exemptions pursuant to Section 15301 (a) (Existing Facilities).**
4. That the proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in an adopted Local Coastal Program Land Use Plan, nor will it obstruct any existing public views to and along the coast from any public road or from a recreational area **in that the subject project proposes additions to and a remodel of an existing single story commercial building located where no public accessway exists, and so would not result in adverse impacts to public access, nor public views of and along the coast.**
5. That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat (ESHA) and accordingly, the proposed improvements will not result in adverse impacts.**
6. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property that will require minimal grading; and the proposed additions will be constructed in conformance with applicable regulations for flood and fire hazards.**
7. That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and/or enhance visual quality in

that the scale and architectural style of the proposed, new restaurant are consistent with other residential and commercial structures in the surrounding neighborhood and throughout the City.

8. That the proposed development will conform to the General Plan, Zoning Code, Local Coastal Program, applicable Specific Plan(s), or other, applicable adopted plans and programs **in that the proposed project has been reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department, for conformance with applicable documents and subject to conditions of approval, has been found to be consistent with all applicable standards and guidelines.**

CONDITIONS OF APPROVAL:

The City of Dana Point hereby grants approval of Coastal Development Permit SDP14-0026(A) for the referenced project. This permit is valid subject to the following conditions of approval:

A. General:

1. Approval of this application permits the addition and remodel of an existing 1,733 square foot single story building, originally constructed as a restaurant, located at 34094 PCH. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program, and Zoning Code.
2. This permit shall be copied in its entirety and placed directly onto a separate plan sheet behind the cover sheet of the development plans submitted to the City of Dana Point Building/Safety Division for plan check.
3. Approval of this application shall be valid for a period of 24 months from the date of determination. If the scope-of-work approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the

amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.

5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
6. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify and hold harmless the city shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions or proceedings against the City, its officers, employees, or agents arising out of or resulting from negligence of the applicant or the applicant's agents, employees or contractors. Applicant's duty to defend, indemnify and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

7. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. Should the valuation of the proposed improvements, as calculated based on the most recent building valuation data from the Uniform Building Code (UBC), exceed one million dollars (\$1,000,000.00), the development shall participate in the "Art in Public Places" Program (Zoning Code Chapter 9.05.240).
10. The project shall meet all current NPDES Permit water quality requirements including Low Impact Development (LID) implementation. If the project creates, adds on, or replaces at least 5000 square feet of impervious surfaces, it shall be deemed a "Priority Project."

11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television services and possible conflicts.
12. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
13. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
14. Any proposed improvements proposed improvements within the City of Dana Point public right-of-way will require a separate encroachment permit. The applicant shall submit a separate encroachment permit application in accordance with the latest City standards, subject to review and approval by the City Engineer.
15. The application for a Building Permit for the retaining walls shall include a drainage plan including the outlet of both surface and subsurface drainage.
16. Building materials, unlicensed vehicles, portable toilets, and similar items shall not be placed in the public right-of-way.
17. The construction site shall be posted with signage indicating that construction not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday. No construction activities shall be permitted on Sundays or Federal holidays.
18. Separate review, approval, and permits are required for separate structures, retaining walls, fire sprinklers, demolition of structures, signs, and site walls over three feet.
19. Applicant shall execute and record an Irrevocable Easement Dedication to the City of Dana Point of the 10 foot set-back from the existing northerly PCH right-of-way for street, drainage, utility, traffic signal, pedestrian and sidewalk purposes.
20. Applicant shall enter into a Removal and Maintenance Agreement for all improvements constructed in the 10-foot set-back area (Easement area). The reason for this condition is that the City will eventually require street improvements to meet the penultimate right of way improvement plan and this

setback will be required for public use. In the interim, it may be utilized best by the applicant.

21. All improvements in the 10-foot set-back area (Easement area) shall be temporary in nature, subject to approval by the Director of Public Works, e.g. wood decking.
22. Applicant shall provide approval to the City of Dana Point to install traffic signal loop sensors on private property in the drive isle of the parking lot. Applicant shall reimburse the City for the installation of the loop sensors, and this work must be completed prior to Certificate of Occupancy.

B. At Submittal for Grading Plan Check:

23. An accessible route of travel shall be provided from public streets or sidewalks, accessible parking and bus stops to the accessible building entrances. An accessible route of travel shall also be provided between accessible buildings and elements on the same site. All entrances and exits shall be accessible.
24. Grading plan approval is required at the discretion of the City Engineer. Submit grading plan check documents to the Engineering Department for review.

C. Prior to Issuance of the Grading Permit (As Required by the City Engineer):

25. The applicant shall submit an application for a grading permit. The grading permit application, in compliance with City standards, submitted for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
26. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
27. The applicant shall apply for all required shoring and/or retaining wall permits required for the establishment of the building pad concurrently with the grading permit. The applications shall be made in accordance with all current building department requirements.
28. A security will be required for the performance of the grading and the retaining walls. A separate security may be required for the shoring/site retaining wall protecting existing improvements.
29. If the project is a Priority Project in accordance with the City's MS4 permit, the applicant shall provide a WQMP for review and approval. The WQMP shall be in

conformance with all current standards of the San Diego Regional Water Quality Control Board. The implementation of the WQMP may require additional site plan and parking revisions that will be updated by the applicant during the plan check process.

30. The applicant shall provide written approval from South Coast Water District (SCWD) for the improvement around the existing manhole structures in San Mareno. Any site plan and parking revisions required by SCWD will be made by the applicant during the plan check process.
31. The existing historical concrete curb stamp along San Mareno Place, next to 34094 Pacific Coast Hwy shall be shown on all notes and plan to protect stamp in-place from any damages.
32. All improvements within the City right-of-way along PCH and the City's 10ft easement area will require a separate encroachment permit and separate submittal to the Public Works department. A separate application, plan, and fees will be required as a part of the encroachment permit application.

D. Prior to Building Plan Check Submittal:

33. Building plan check submittal shall include two (2) sets of the following construction documents:
 - Building Plans (3 sets)
 - Structural Calculations
 - Energy Calculations
 - Soils/Geology Report

All documents prepared by a professional shall be wet-stamped and signed.

34. Applicant shall prepare, submit a Site and Building Accessibility Report prepared by Certified Access Specialist licensed in the State of California, and obtain approval from the Building Department.
35. Applicant shall prepare and submit a Site and Building Accessibility Report prepared by Certified Access Specialist licensed in the State of California, and obtain approval from the Building Department.
36. Project "Condition of Approval" shall appear on the submitted drawings.
37. Fire Department review is required. Submit three separate sets of building plans directly to the Orange County Fire Authority for review and approval.

38. Fire sprinkler system is required or waiver from the Fire Chief (All new residential; all new commercial groups A, I, E, & H and groups B, F, M & S exceeding 1,000 s.f. and U-1 exceeding 6,000 s.f.; Additions that increase the total floor area by 50% or 750 s.f. in a two year period or a second story addition regardless of s.f. or an alteration of 50% or greater in a two year period or any building that has fire sprinklers already installed).
39. Building(s) shall comply with 2013 California Codes of Regulations Parts 1-12 and any local amendments thereto. Building(s) shall comply with 2014 T-24 Energy Conservation Regulations.
40. Minimum roofing classification is A.
41. Undergrounding of all onsite utilities is required. An Approved SDG&E Work Order and Undergrounding Plan is required prior to permit issuance.
42. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w.c. ratio of 0.45, F'c of 4500 psi.
43. Building shall conform to State amendments for disabled accessibility, CBC, Chapter 11A or B. Existing building shall provide for disabled access. Show how path of travel; parking; restrooms; entrance will comply. Provide an Accessibility and Exit Analysis for the Building/Development.

E. Prior to Issuance of a Building Permit or release on certain related inspections:

44. The applicant shall schedule a pre-demolition/construction site meeting with the City planner and building inspector.
45. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
46. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
47. The applicant shall submit a rough grade certification from the Civil Engineer of Record and the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of

Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project. The rough grade certification by the geotechnical engineer (along with the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.

48. An as graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
49. All required shoring and/or retaining wall improvements for the establishment of the building pad are completed, inspected and approved by the building department and Engineering department.
50. The applicant shall provide Public Works with the AutoCAD files of the proposed site plan, utilities, and improvements.
51. A Landscape Plan shall be submitted for review and approval by the Community Development and Public Works departments. The Landscape Plan shall provide all improvements within the PCH frontage.
52. All plans shall show the required fire sprinkler structures required, i.e. FDC, PIV, and DCDA for fire protection. These structures will require screening and are not to be installed on PCH unless otherwise approved by the Director of Public Works.
53. The existing traffic signal, fire hydrant, and other improvements in the parkway on PCH shall be labeled on all plans and call outs to be protected in place. Any damage to existing improvements during the construction shall be repaired and/or replaced by the applicant to the satisfaction of the City Engineer.

F. Prior to the Issuance of a Certificate of Occupancy

54. Planning final shall be required to verify that structure is provided with a landscaped strip along its base for wall screening.

55. Verification of all conditions of approval is required by all City departments.
56. As required by the City Engineer; A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
57. As required by the City Engineer; A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
58. As required by the City Engineer; A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.
59. As required by the City Engineer; An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
60. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
61. The applicant shall complete all of the landscaping, irrigation and tree installation work per the approved Landscape Plans, including work on both public and private property.
62. As required by the City Engineer; The applicant shall provide a full WQMP which:
 - a. Demonstrate that all structural best management practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
 - b. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
 - c. Demonstrate that an adequate number of copies of the approved Project WQMP are available onsite.
 - d. Submit for review, and receive approval by the City for an Operations and Maintenance (O&M) Plan for all BMPs.
 - e. Certification from the project Civil Engineer or Landscape Architect of Record that all BMPs and WQMP elements have been constructed and installed as designed with the approved plans and WQMP.



City of Dana Point
Preliminary Review (CDP14-0026(A))
Danny Giometti, Assistant Planner
Community Development Department
33282 Golden Lantern (Danny Giometti, City Planner)
Dana Point, CA 92629-1805

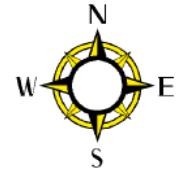
VICINITY MAP



Project : CDP14-0026(A)

Applicants/Owner: Charles d'Arcy Architecture/Steve Mellgren

Location: 34094 PCH (APN 682-243-07)



CRAFT HOUSE

RESTAURANT & LOUNGE

34094 PACIFIC COAST HIGHWAY
DANA POINT, CA 92629

SHEET INDEX

SHEET #	DESCRIPTION
GENERAL	
A000	TITLE SHEET
A010	GENERAL NOTES & ABBREVIATIONS
A020	GENERAL NOTES & ABBREVIATIONS
A030	GENERAL NOTES & ABBREVIATIONS
A040	GENERAL NOTES & ABBREVIATIONS
A050	GENERAL NOTES & ABBREVIATIONS
A060	GENERAL NOTES & ABBREVIATIONS
CIVIL	
C01	NOTES, SHEET INDEX, QUANTITIES & VICINITY MAP
C02	GRADING & DRAINING PLAN
C03	CITY STANDARD DETAILS
C04	CITY STANDARD DETAILS
C05	SURVEY
C06	EROSION CONTROL BMP PLAN
LANDSCAPE	
L-1	PLANNING PLAN
L-2	LIGHTING PLAN
L-3	IRRIGATION PLAN
ARCHITECTURAL	
A100	ARCHITECTURAL SITE PLAN
A110	CODE ANALYSIS & EGRESS PLAN
A120	ACCESSIBILITY SITE PLAN
A150	DEMOLITION SLAB PLAN
A160	DEMOLITION FLOOR PLAN
A170	DEMOLITION ROOF PLAN
A200	SLAB PROFILE PLAN
A210	FLOOR PLAN
A220	FURNITURE PLAN
A230	REFLECTED CEILING PLAN
A240	ROOF PLAN
A300	EXTERIOR ELEVATION—SOUTH
A310	EXTERIOR ELEVATION—WEST
A320	EXTERIOR ELEVATION—NORTH
A330	EXTERIOR ELEVATION—EAST
A400	BUILDING SECTIONS
A410	SITE STAIRS/TRASH ENCLOSURE
A700	INTERIOR ELEVATIONS
A710	INTERIOR ELEVATIONS
A720	INTERIOR ELEVATIONS
A800	DOOR/WINDOW/FINISH SCHEDULES
A900	ACCESSIBILITY DETAILS
A910	ROOF DETAILS
A911	ROOF DETAILS
A920	WINDOW DETAILS
A930	DOOR DETAILS
A940	EXTERIOR DETAILS
A941	EXTERIOR DETAILS



Craft House
 Restaurant & Lounge
 34094 Pacific Coast Highway
 Dana Point, CA 92629

PROJECT DESCRIPTION

1-STORY RESTAURANT REMODEL & ADDITION. REMODEL/REDUCTION OF EXISTING STRUCTURE, ADDITION OF CLERESTORY WINDOWS/ROOF MONITOR WITH NEW ROOF, DEMOLITION OF EXISTING PORTE-COCHERE AND REMODEL OF EXISTING ENTRY FOR ACCESSIBILITY. ADDITION OF KITCHEN/BACK OF HOUSE AREA AND FRONT PATIO SPACE WITH OVERHEAD CANOPY. CONSTRUCTION NEW SIDE AND REAR PROPERTY LINE RETAINING WALLS, PLANTING AREAS, & STAIRS TO SAN MARIANO PL. ADDITION OF TRASH ENCLOSURE OFF OF SAN MARIANO PL.

ITEMS UNDER SEPARATE PERMITS/APPROVAL:

- DEMOLITION
- SIGNAGE
- HEALTH DEPARTMENT
- ORANGE COUNTY FIRE AUTHORITY

LIST OF DEFERRED SUBMITTALS:

- FIRE SPRINKLERS
- FIRE ALARM

PROJECT DATA

EXISTING COMMERCIAL INFORMATION	
PROJECT ADDRESS:	34094 PACIFIC COAST HIGHWAY DANA POINT, CA 92629
LOT NUMBER:	LOTS 42-43, TRACT NO. 768
LOT AREA:	27.5 ACRE (APPROX)
EXISTING BUILDING:	1,733 SF
REVISED AREAS	
EXISTING STRUCTURE REDUCTION (1,733 SF)	1,569 SF
NEW ADDITION	659 SF
NEW TOTAL GROSS FLOOR AREA:	2,228 SF
NEW PATIO	428 SF
NEW PATIO CANOPY	394 SF
SPACE CLASSIFICATIONS/OCC. LOAD	
INTERIOR DINING (GROUP A-2) (1 OCC. PER 15 SF NET)	918 SF NET 61 OCC.
COMMERCIAL KITCHEN (GROUP B) (1 OCC. PER 200 SF GROSS)	907 SF GROSS 4 OCC.
BUILDING SUPPORT (GROUP B) (1 OCC. PER 100 SF GROSS)	349 SF GROSS 3 OCC.
PATIO DINING (GROUP A-2) (1 OCC. PER 15 SF NET)	381 SF NET 25 OCC.
TOTAL BUILDING OCCUPANT LOAD	93 OCC.

PROJECT LOG

DATE	DESCRIPTION
07-22-2014	BUILDINGS DEPARTMENT SUBMITTAL
10-08-2014	PLANNING REVISIONS
11-12-2014	DANA POINT COASTAL DEVELOPMENT PERMIT

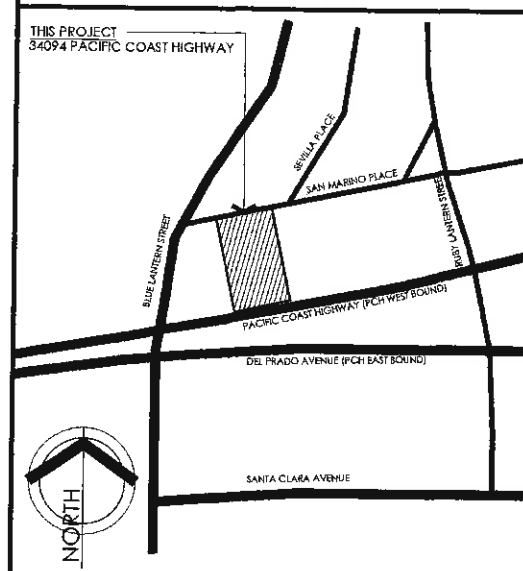
PROJECT TEAM

OWNER	ARCHITECT
STEVEN MELLGREN HANDMADE INVESTMENTS BP1, LLC 34094 PACIFIC COAST HIGHWAY DANA POINT, CA 92629 PH: 714.396.3374 steve@dim2.com	CHARLES d'ARCY d'ARCY & ASSOC., ARCHITECTURE, INC. 18 TECHNOLOGY DRIVE IRVINE, CA 92618 PH: 949.407.7760 charles@darcyarchitecture.com
CIVIL ENGINEER	LANDSCAPE ARCHITECT
ROBIN HAMMERS ROBIN B HAMMERS & ASSOCIATES INC 234 E 17TH STREET # 205 COSTA MESA, CA 92627 PH: 949.548.1192 rbhnc@pacbell.net	RICHARD KING DITERIOS INC. LANDSCAPE DESIGN 303 SHIPYARD WAY NEWPORT BEACH, CA 92663 PH: 949.732.1612 rick@exteriorinc.net
STRUCTURAL ENGINEER	MECHANICAL ENGINEER
FADY HAKIM FMH ENGINEERING 7545 IRVINE CENTER DR. SUITE 200 IRVINE, CA 92618 PH: 949.245.8000 fady.hakim@fmhengineering.com	MIKE HOUSHMAND GOLVIS ENGINEERING CONSULTING 4100 CAMPUS DRIVE NEWPORT BEACH, CA 92660 PH: 949.732.1612 mhoushmand@golvisgroup.com
ELECTRICAL ENGINEER	KITCHEN DESIGNER
MIKE HOUSHMAND GOLVIS ENGINEERING CONSULTING 4100 CAMPUS DRIVE NEWPORT BEACH, CA 92660 PH: 949.732.1612 mhoushmand@golvisgroup.com	MICHAEL BALDWIN KITCHEN PROFESSIONALS 16742 GOTHARD STREET, SUITE 103 HUNTINGTON BEACH, CA, 92647 PH: 714.841.0531 michaelb@thekitchenpros.com
INTERIOR DESIGNER	GENERAL CONTRACTOR
STEPHEN RIVERA GREY DOG DISPLAYS 15672 CHEMICAL LANE HUNTINGTON BEACH, CA 92649 PH: 714.893.0999 stephen@greydogdisplays.com	JOSH SHIELDS SHIELDS CONSTRUCTION 386 CANYON ACRES DRIVE LAGUNA BEACH, CA 92651 PH: 949.376.2063 josh_shields@mruc.com

CODE ANALYSIS OVERVIEW

PROJECT TYPE:	COMMERCIAL RESTAURANT
CONSTRUCTION TYPE:	TYPE V6
OCCUPANCY:	A-2 RESTAURANT, S-1 BAR STORAGE
FIRE SPRINKLER:	YES (DEFERRED SUBMITTAL)
APPLICABLE CODES:	2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA ENERGY CODE 2013 CALIFORNIA TILE 24 ALL LOCAL ORDINANCES AND REQUIREMENTS

LOCATION MAP



DRAWING SYMBOLS

	REVISION DESIGNATION
	KEYNOTE REFERENCE
	DETAIL REFERENCE DETAIL NUMBER OVER SHEET NUMBER
	BUILDING SECTION REFERENCE SECTION NUMBER OVER SHEET NUMBER
	EXTERIOR ELEVATION REFERENCE ELEVATION NUMBER OVER SHEET NUMBER
	INTERIOR ELEVATION REFERENCE INTERIOR ELEVATION NUMBER OVER SHEET NUMBER ELEVATION NUMBER OUTER
	ENLARGED AREA REFERENCE PLAN NUMBER OVER SHEET NUMBER

CITY NOTES

1. VALET PARKING PROVIDED 2% TO MEET PARKING REQUIREMENTS UNDER MINOR COASTAL DEVELOPMENT PERMIT

2. PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS, MUST BE SUBMITTED TO THE BUILDING DIVISION AND APPROVED BY THE FIRE DEPARTMENT BEFORE THIS EQUIPMENT IS INSTALLED.

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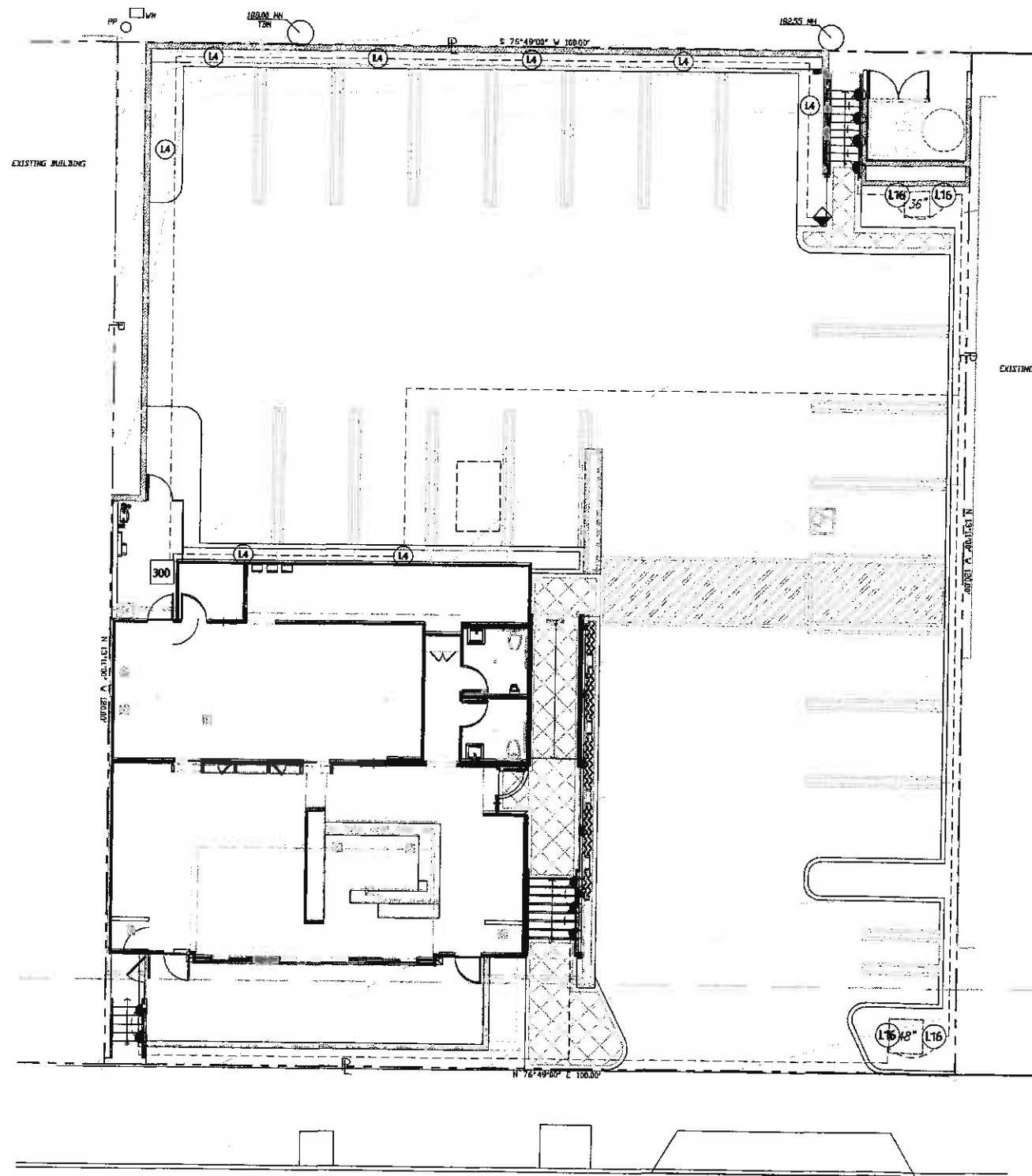
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

REVISIONS
10.08.2014 PLANNING REVISIONS
11.12.2014 COASTAL DEV. PERMIT

TITLE SHEET

Drawn By:	CP
Date:	11.12.14
Job No.:	1409
Scale:	1/4" = 1'-0"
Sheet:	

A000



LIGHTING LEGEND
LOW VOLTAGE LIGHTING

SYMBOL	MANUF.	QTY.	WATTS	
(L4)	AURORA	8	12	WALL WASHER - L&L 61KA BRONZE FIXTURE W/ TELESCOPIC STAKEMOUNT LED FIXTURE WITH 80 DEGREE WIDE ANGLE FLOOD
(L16)	AURORA	8	10	UPLIGHT - H&L 16 TELLURIDE COPPER FIXTURE W/ TELESCOPIC STAKEMOUNT. LED FIXTURE WITH 26 DEGREE MEDIUM FLOOD & HEX BAFFLE
●	AURORA	9	4	STEP LIGHT - VERTEX L&R 6-L BRASS FIXTURE LED
◆	AURORA	1	4	PATH LIGHT - COMPASS LDM BRASS FIXTURE - LED 3/4 DIRECTIONAL
300	FX	1	300	TRANSFORMER/TIMER - STAINLESS STEEL

LIGHTING NOTES

1. ALL 12V WIRE TO BE DIRECT BURIAL CABLE RUN IN SCHEDULE 40 PVC SLEEVING.
2. ALL CONNECTIONS TO BE MADE WITH WIRE NUTS ENCASED IN EPOXY PRIOR TO BURIAL.
3. TRANSFORMER LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED BY CONTRACTOR.
4. ALL 120V WIRING TO BE IN RIGID CONDUIT & INSTALLED PER ALL APPLICABLE CODES, TYPICAL.

Project Name

CRAFTHOUSE RESTAURANT
34094 Pacific Coast Hwy
Dana Point, Ca.
92629

Sheet Title

LIGHTING PLAN



Project No.

Scale: 1/8" = 1'-0"

Date: November 11, 2014

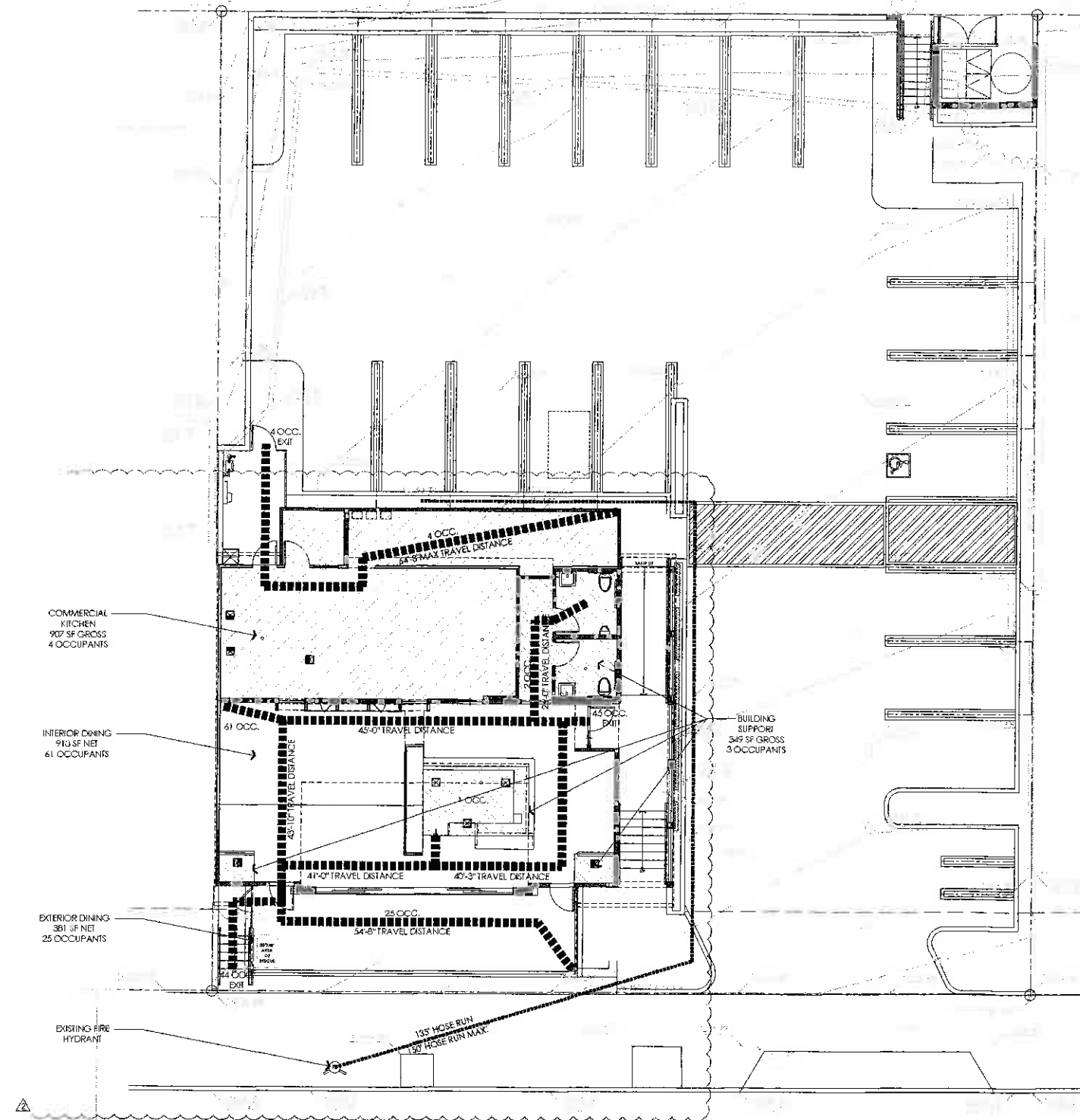
Revision No. Description

Revision No.	Description

Sheet No.

L-2

SAN MARENO PL



PACIFIC COAST HIGHWAY

EGRESS PLAN

1



CODE ANALYSIS

PROJECT TYPE: COMMERCIAL RESTAURANT	REVISED AREAS	FIXTURE COUNT TABLE
CONSTRUCTION TYPE: TYPE VB	EXISTING STRUCTURE REDUCTION (1,733 SF)	REFER TO CPC 422.1 FOR MORE INFO:
ALLOWABLE HEIGHT & AREAS: 1 STORY/6,000 SF	NEW ADDITION 659 SF	INTERIOR DINING (GROUP A-2) (1 OCC. PER 30 SF) 916 SF 30 OCC.
OCCUPANCY: A-2 RESTAURANT, S-1 BAR STORAGE	NEW TOTAL GROSS FLOOR AREA: 2,229 SF	COMMERCIAL KITCHEN (GROUP B) (1 OCC. PER 200 SF) 907 SF 4 OCC.
FIRE SPRINKLER/SUPPRESSION: YES (DEFERRED SUBMITAL)	NEW PATIO 423 SF	BUILDING SUPPORT (GROUP B) (1 OCC. PER 200 SF) 349 SF 1 OCC.
APPLICABLE CODES: 2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA ENERGY CODE 2013 CALIFORNIA TITLE 24 ALL LOCAL ORDINANCES AND REQUIREMENTS	SPACE CLASSIFICATIONS/OCC. LOAD	PATIO DINING (GROUP A-2) (1 OCC. PER 30 SF) 381 SF 12 OCC.
EXISTING COMMERCIAL INFORMATION	COMMERCIAL KITCHEN (GROUP B) (1 OCC. PER 200 SF GROSS) 907 SF GROSS 4 OCC.	TOTAL FIXTURE COUNT LOAD 47 OCC.
PROJECT ADDRESS: 34094 PACIFIC COAST HIGHWAY DANA POINT, CA 92629	BUILDING SUPPORT (GROUP B) (1 OCC. PER 100 SF GROSS) 349 SF GROSS 3 OCC.	MALE WATER CLOSET: 1 FEMALE WATER CLOSET: 1 MALE URINALS: 0 FEMALE LAVATORIES: 1 DRINKING FOUNTAIN: 0 SERVICE SINK: 1
LOT NUMBER: LOTS 42-43, TRACT NO. 768	PATIO DINING (GROUP A-2) (1 OCC. PER 15 SF NET) 381 SF NET 25 OCC.	REQUIRED PROVIDED
LOT AREA: 27.5 ACRE (APPROX)	TOTAL BUILDING OCCUPANT LOAD 93 OCC.	
EXISTING BUILDING: 1,733 SF	MAX TRAVEL DISTANCE ALLOWED: 75'-0" MAX TRAVEL DISTANCE PROVIDED: 64'-8"	* REFER TO CPC TABLE 422.1 NOTE #3 REFER TO CPC 415.2

STANDARD OCFA ARCHITECTURAL NOTES

- INSPECTIONS**
- OCFA final inspection required. Please schedule all field inspections at least 48 hours in advance. Inspections canceled after 1 p.m. on the day before the scheduled date will be subject to a rescheduling fee. Phasing of inspections may require additional fees, also. Call OCFA Inspection Scheduling at 714-573-6150.
 - Buildings under construction or demolition shall conform to CFC Chapter 14. No smoking or cooking is allowed in structures where combustible materials are exposed or within 25' of combustible materials storage areas. Cutting, welding, or other hot work shall be in conformance with CFC Chapter 35.
 - In buildings four or more stories in height, standpipes shall be provided during construction when the height reaches 40 feet above the lowest point of fire department access. A fire department connection shall be no more than 100 feet from available fire department vehicle access roadways. A hydrant shall be located along the access roadway within 100 feet of the location(s) that the FDC can be accessed from. CFC 3310, 3313.
 - Address numbers shall be provided for all new and existing buildings, be a minimum of four inches high for individual dwelling units and six inches high for all other installations and structures, contrast with their background, and be plainly visible from the roadway the building is addressed on. Temporary address numbers shall be provided on construction fencing or the building until permanent numbers can be provided. CBC 501.2, CFC 305.1
 - Locations and classifications of extinguishers shall be in accordance with CFC 906 and CFC Title 19. At least one extinguisher shall be provided during construction on each floor at each stairway, in each storage and collection shed, in locations where flammable or combustible liquids are stored or used, or where similar hazards are present per CFC 391.6.1. Before final occupancy, at least one 2A:10B:C extinguisher shall be provided so that no point is more than 75' travel distance from the extinguisher. Extinguishers shall be located along the path of egress travel and in a readily visible and accessible location, with the bottom of the extinguisher at least 4" above the floor. Additional extinguishers may be required by OCFA inspectors depending on project or site conditions and final placement is subject to their approval.
 - Wall, floor and ceiling finishes and materials shall not exceed the flame spread classifications in CBC Table 803.9. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the OCFA. Such items shall be approved and inspected by the OCFA prior to installation.
 - Knox boxes/key cabinets shall be provided for all high-rise buildings, pool enclosures, gates in the path of firefighter travel to structures, secured parking levels, doors giving access to alarm panels and/or annunciators, and any other structures or areas where immediate access is required or is unduly difficult. An OCFA inspector can assist with existing gate keys in Knox boxes, contact your local fire station to arrange an appointment to secure master building keys in the Knox box.
 - Approval of these plans shall not permit the violation of any code or law. Requirements or features not identified on the plan may apply, and OCFA inspectors may require additional information or items from those shown on the plan depending on actual or anticipated field conditions. Such changes may necessitate submittal of revised or as-built plans to the OCFA and the City/County where the project is located.
- GENERAL REQUIREMENTS**
- The project shall comply with 2013 California Building Code, 2013 California Fire Code, and other currently adopted codes, standards, regulations and requirements as enforced by the OCFA.
 - Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or II structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible material or similarly protected or separated. CFC 304.3
 - Exit, exit signs, fire alarm panels, hose cabinets, fire extinguisher locations, and standpipe connections shall not be concealed by curtains, mirrors, or other decorative material.
 - The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in aisles.
 - Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort. Doors shall not be provided with thumb-turn locks or deadbolts that do not unlatch in tandem with the normal operating lever. The opening force for interior doors without closets shall not exceed 5 pounds. The unlatching and opening force for other doors, including fire doors, shall not exceed 15 pounds. CBC 1008
 - The exit path shall be clearly identified with exit signs conforming to CBC 1011. Illuminated exit signs must have 90-minute emergency power back-up.
 - Tactile signs shall be provided in commercial buildings, public buildings, accommodations, and publicly funded housing subject to CBC Chapters 11A and 8 and conform to 11A33 or 11B-703.1, 703.2, 703.3, and 703.5, be mounted with the bottom of the lowest five of Braille characters at least 4 feet above the floor but the bottom of the highest line of raised text characters no more than 5 feet above the floor and, whenever possible, on the strike side of the door. Lettering shall be between 5/8" and 2" high. CBC 1011.4
 - Stairs serving 4+ stories shall have stairwell signs conforming to CBC 1022.9 and OCFA Guideline E-02
- OTHER REQUIREMENTS**
- At least one emergency escape and rescue window shall be provided for every sleeping room below the fourth story in R-2 occupancies without 2 exits and in R-3 occupancies. CBC 1029
 - The make control system shall comply with CBC/CFC 909 and CFC regulations. Review and approval of a national analysis report is required prior to commencing construction. Acceptance testing shall be performed by a qualified third party and verified by an OCFA inspector prior to occupancy.
 - Projects located within a D.O.G.G.R. field boundary, near an oil/gas well or seep, or other locations with a potential for combustible soil gas shall undergo evaluation and possible mitigation as described in OCFA Guideline C-03
- EXTINGUISHING SYSTEMS**
- An automatic fire sprinkler system shall be provided throughout the building in compliance with 2013 NFPA 13 (1-3R) and CFC 903. Review and approval of a sprinkler plan is required prior to installation or modification.
 - An automatic extinguishing system shall be provided to protect commercial-type food heating equipment that produces grease-laden vapors and shall comply with 2013 CFC and CMC and 2009 NFPA 17A. Review and approval of a hood and duct extinguishing system plan is required prior to installation or use of cooking equipment.
- ALARM AND MONITORING SYSTEMS**
- A fire alarm system shall be provided in compliance with CBC/CFC 907 and 2013 NFPA 72. A separate plan submittal is required for approval prior to installation or modification.
 - Automatic fire sprinkler system(s) and all control valves, with the exception of those listed in CFC 903.4, shall be monitored by a UL listed central alarm station.
- HAZARDOUS MATERIALS, EQUIPMENT, and PROCESSES**
- Storage, dispensing, or use of any hazardous materials shall comply with CBC 414 and 415 and CFC regulations. The storage and use of hazardous materials shall be reviewed and approved by the OCFA prior to such materials being brought on site. Appropriate hazardous materials warning signs shall be prominently placed in the vicinity/entrances to areas where hazardous materials are stored in quantities sufficient to require a CFC permit.
 - Hazardous processes and equipment (e.g., storage tanks, refrigeration, vapor recovery, spray booths and drying rooms, dip tanks, industrial ovens, dust collection systems, medical/industrial gas systems, etc.) shall be reviewed and approved by the OCFA prior to installation. Such equipment and processes may require specific building features and protection beyond what is identified on this plan.
- ASSEMBLY OCCUPANCIES**
- Occupant load sign, with minimum one-inch letters and numbers contrasting with their background, shall be posted in a conspicuous location near the main exit per CBC 1004.3 and Title 19 3.30. Where multiple seating configurations of uses are anticipated, seating diagrams and their respective occupant loads may also be required to be posted.
 - Panic hardware shall be provided for all exit and exit access doors in assembly occupancies. Such doors shall swing in the direction of exit travel. Doors equipped with panic hardware shall have no other lock or latch except panic hardware. If panic hardware is omitted on the main door when permitted by CBC 1008.1 P.2, a sign stating "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" in minimum 1-inch letters contrasting with their background shall be posted in a conspicuous location on or adjacent to the door and the door shall be equipped only with a key-operated lock that visually indicates whether it is open or locked.
 - Tables shall be spaced at least 50 inches apart where seating is back to back and aisle accessways serve more than 4 occupants or are longer than six feet. Aisle widths shall be a minimum of 36 inches where seating is only on one side of the aisle or 42 inches for seating on both sides. Where seats back up into aisles, seat backs shall be located at 19 inches from the table edge and the clear aisle width shall be measured from the back of the seat. CBC 1028.10
- PROJECT-SPECIFIC REQUIREMENTS:**
- The exit path shall be illuminated at all times in accordance with CBC 1006. Emergency lighting shall be provided with 90-minute back-up.
 - Rated assemblies shall conform to approved methods and materials of construction. Penetrations through rated walls, ceilings, or floors shall be protected in an approved manner complying with CBC/CFC Chapter 7.
 - Rated doors shall be self-closing and latching; such doors shall not be equipped with door stops or otherwise propped open. Rated doors shall be equipped with rated hardware. CFC 703



Craft House
Restaurant & Lounge
34094 Pacific Coast Highway
Dana Point, CA 92629

- REVISIONS
- 10.08.2014 PLANNING REVISIONS
 - 11.12.2014 COASTAL DEV. PERMIT

CODE ANALYSIS & EGRESS PLAN

Drawn By: CP
Date: 11.12.14
Job No.: 1409
Scale: 1/8" = 1'-0"
Sheet:

A110

DEMOLITION NOTES

- A. VERIFY LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION.
- B. REMOVE ALL WALL FINISHES & MILLWORK IN AREAS BEING DEMOLISHED.

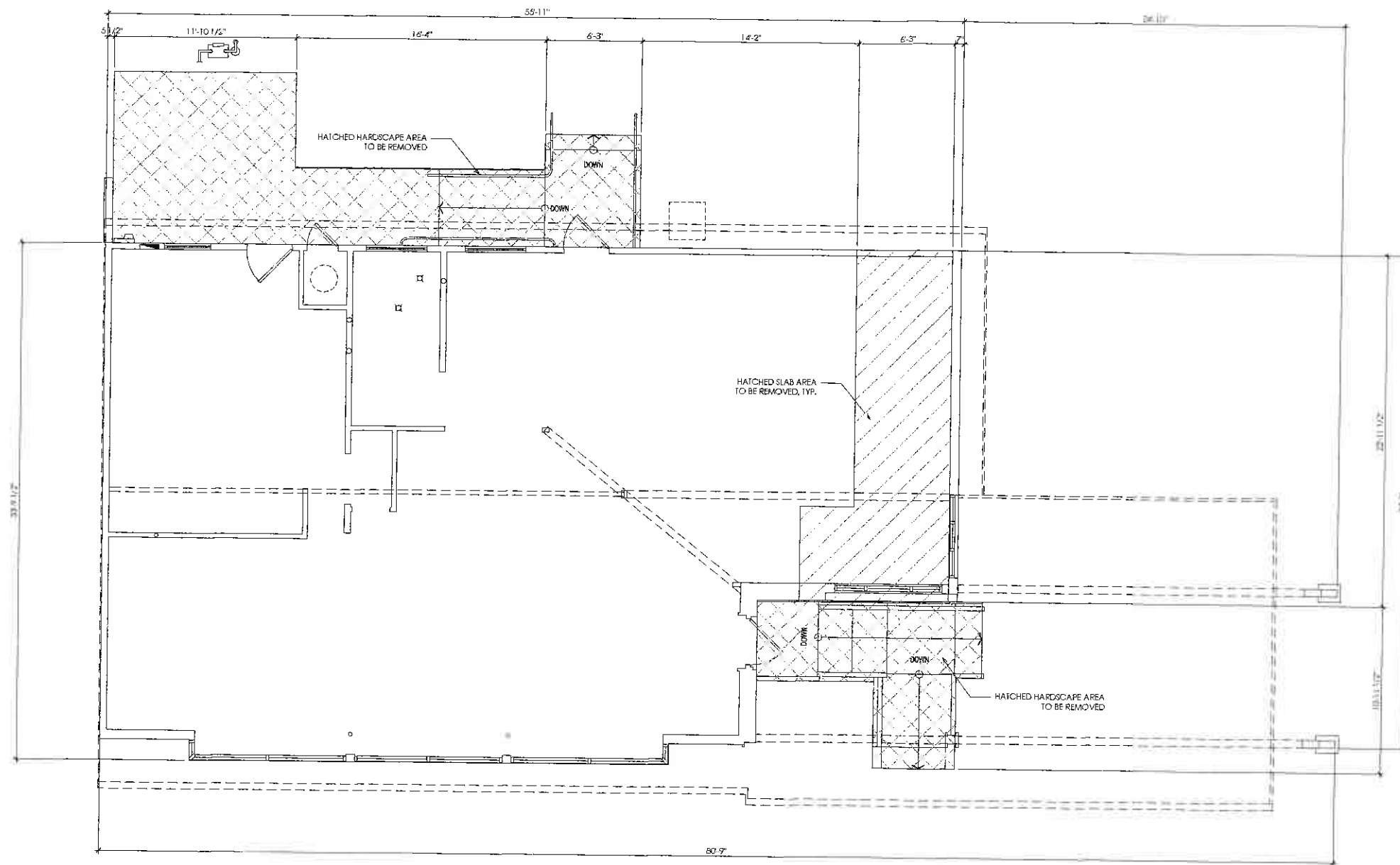
DEMOLITION LEGEND

- EXISTING SLAB TO REMAIN (SAW CUT AS NEEDED)
- EXISTING SLAB TO BE REMOVED
- EXISTING HARDSCAPE TO BE REMOVED

DEMOLITION CALCULATIONS

EXISTING BUILDING SLAB	= 1734.0 SF
EXISTING BUILDING SLAB TO REMAIN/REPAIR	= 1569.0 SF 90.5%
EXISTING BUILDING SLAB TO BE DEMOLISHED	= 165.0 SF 9.5%

NOTE: LESS THAN 50% OF THE EXISTING BUILDING SLAB IS BEING DEMOLISHED



Craft House
 Restaurant & Lounge
 34094 Pacific Coast Highway
 Dana Point, CA 92629

REVISIONS

- 10 . 08 . 2014 PLANNING REVISIONS
- 11 . 12 . 2014 COASTAL DEV. PERMIT

DEMOLITION SLAB PLAN

Drawn By:
 CP
 Date:
 11 . 12 . 14
 Job No.:
 1409
 Scale:
 1/4" = 1'-0"
 Sheet:



DEMOLITION SLAB PLAN



1

A150

DEMOLITION NOTES

- A. VERIFY LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION.
- B. REMOVE ALL WALL FINISHES & MILLWORK IN AREAS BEING DEMOLISHED.

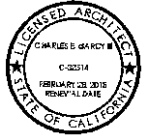
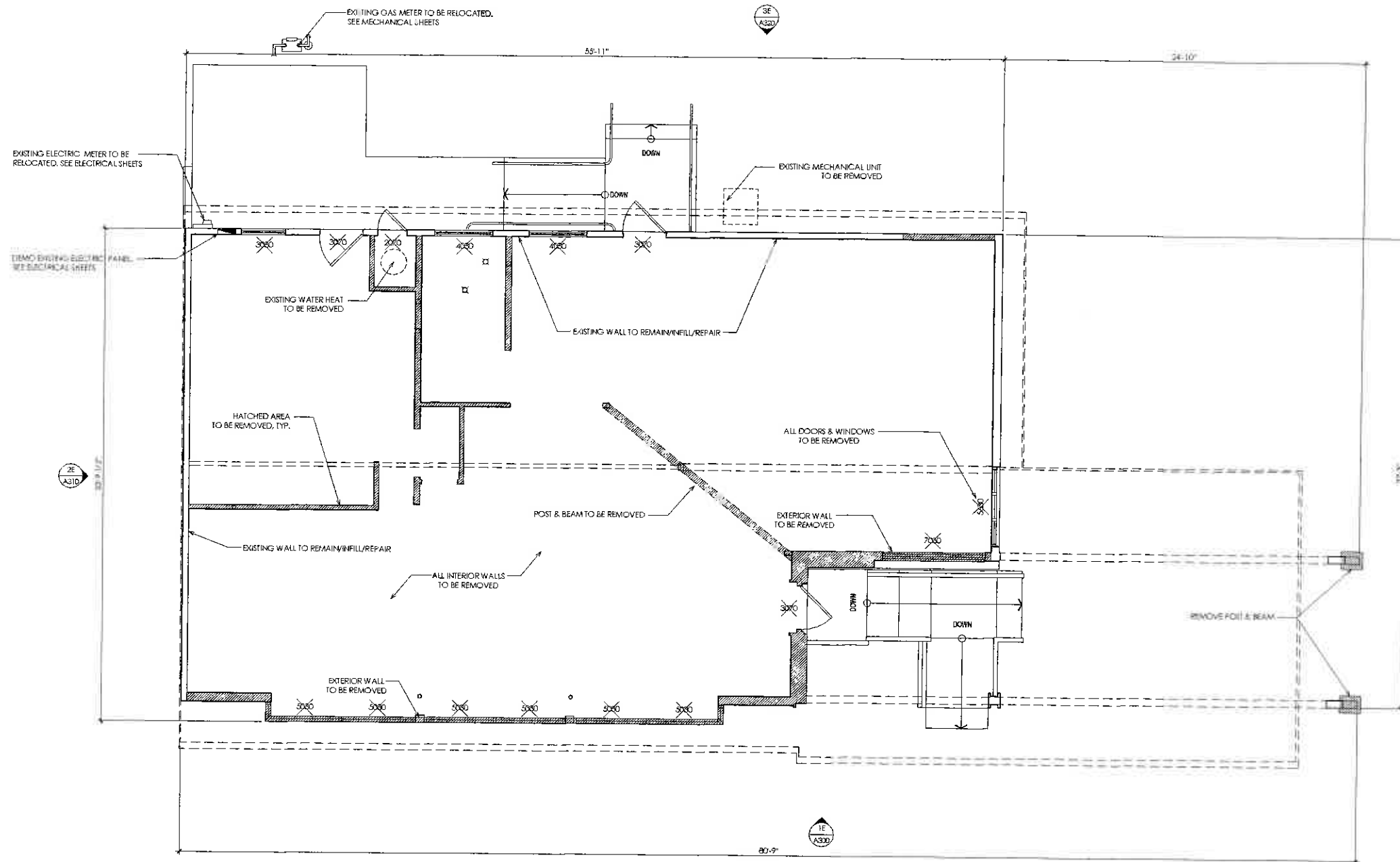
DEMOLITION LEGEND

-  EXISTING WALL TO REMAIN/FILL/REPAIR
-  EXISTING WALL TO BE REMOVED

DEMOLITION CALCULATIONS

EXISTING EXTERIOR WALLS	= 160.0 LF
EXISTING EXTERIOR WALLS TO REMAIN/FILL/REPAIR	= 106.0 LF 66.2%
EXISTING EXTERIOR WALLS TO BE REMOVED	= 74.0 LF 46.1%

NOTE: LESS THAN 50% OF THE EXISTING EXTERIOR WALLS ARE BEING DEMOLISHED.



Craft House
 Restaurant & Lounge
 34094 Pacific Coast Highway
 Dana Point, CA 92629

REVISIONS

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DEMOLITION FLOOR PLAN

Drawn By:

CP

Date:

11.12.14

Job No.:

1409

Scale:

1/4" = 1'-0"

Sheet



DEMOLITION FLOOR PLAN

1

A160

ELEVATION KEYNOTES

- 1 1/2" MIN. EXTERIOR CEMENT PLASTER SMOOTH TROWEL FINISH
- 2 STANDING SEAM METAL ROOF BY CUSTOM-BILT (ICC ESR-2048)
- 3 RECLAIMED VERTICAL SHIPLAP WOOD SIDING, VARIOUS EXPOSURE (4"-6")
- 4 NOT USED
- 5 WOOD & METAL GUARDRAIL. SEE DETAIL 9/A940
- 6 WOOD FASCIA BOARD
- 7 5" HALF ROUND METAL GUTTER
- 8 WOOD TRIM
- 9 CABLE STAY, CR
- 10 WINDOW GLAZINGS. SEE WINDOW SCHEDULE SHEET A800
- 11 CR METAL CANOPY WITH PANEL, INRILL & INTEGRAL DRAIN. SEE DETAIL 1/A941
- 12 DOOR. SEE DOOR SCHEDULE SHEET A800
- 13 MGNICHOLS ECO-MESH MODULAR FACADE SYSTEM, ATTACH WITH STANDOFF HARDWARE PER MANUFACTURER
- 14 METAL TREE SCULPTURE SUPPLIED BY OWNER.
- 15 METAL DOWNSPOUT
- 16 ACCESS DOOR TO BENEATH RAISED DECK. SEE SHEET A800
- 17 MECHANICAL EQUIPMENT. SEE M SHEETS.
- 18 RAISED PLANTER. SEE LANDSCAPE SHEETS.
- 19 HANDRAIL. SEE DETAIL 12/A900
- 20 ACCESSIBLE RAMP. MAX SLOPE 1:12
- 21 DECORATIVE BRICK CAP. SEE DETAIL 10/A940
- 22 CONCRETE STAIRS. SEE DETAIL 4/A940
- 23 84" X 84" UTILITY ENCLOSURE GATE BY "LONGFENCE" OR EQUAL
- 24 BACKLIT FREE STANDING METAL SIGNAGE W/ FINISH TO MATCH CANOPY. (CANTILEVERED FROM BASE). APPROX. 30 SQFT
- 25 BACKLIT SIGNAGE W/ LASER CUT NEGATIVE SPACE LETTERING OUT OF CORTEN STEEL SHEET. MOUNTED WITH STANDOFF HARDWARE. APPROX. 12 SQFT



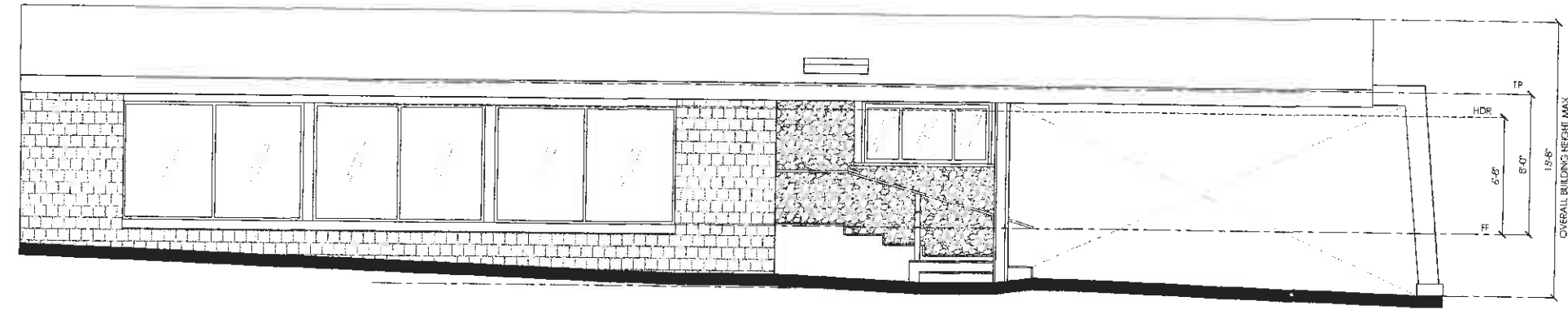
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REVISIONS	
10.08.2014	PLANNING REVISIONS
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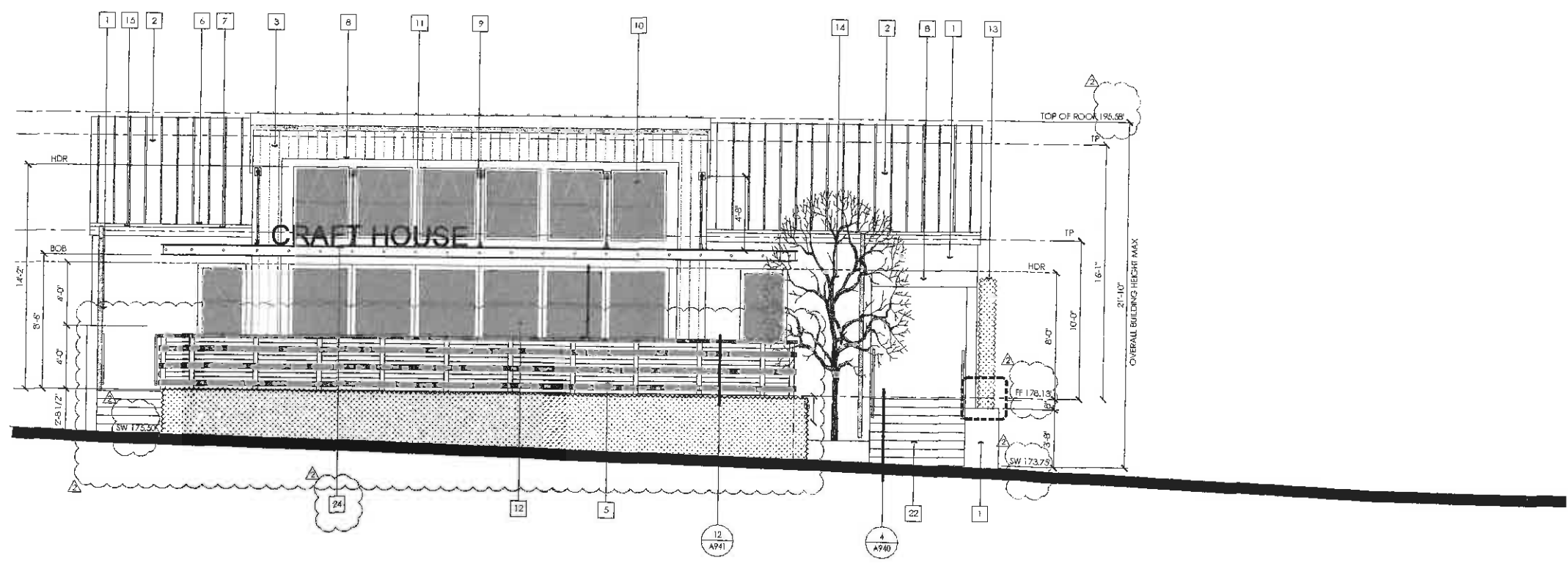
**EXTERIOR
 ELEVATION
 SOUTH**

Drawn By: CP
 Date: 11.12.14
 Job No.: 1409
 Scale: 1/4" = 1'-0"
 Sheet:

A300



EXISTING FRONT ELEVATION 1E



PROPOSED FRONT ELEVATION 1



FRONT ELEVATION OF SITE



PHOTOGRAPHS
CRAFT HOUSE REMODEL

34094 PACIFIC COAST HIGHWAY
DANA POINT, CA 92629

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CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



FRONT ELEVATION OF ADJACENT SITE TO WEST



PHOTOGRAPHS
CRAFT HOUSE REMODEL

34094 PACIFIC COAST HIGHWAY
DANA POINT, CA 92629

JOB NO. 1409

10 . 08 . 14



FRONT ELEVATION OF ADJACENT SITE TO EAST



PHOTOGRAPHS
CRAFT HOUSE REMODEL

34094 PACIFIC COAST HIGHWAY
DANA POINT, CA 92629

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FRONT ELEVATIONS DIRECTLY ACROSS FROM SITE

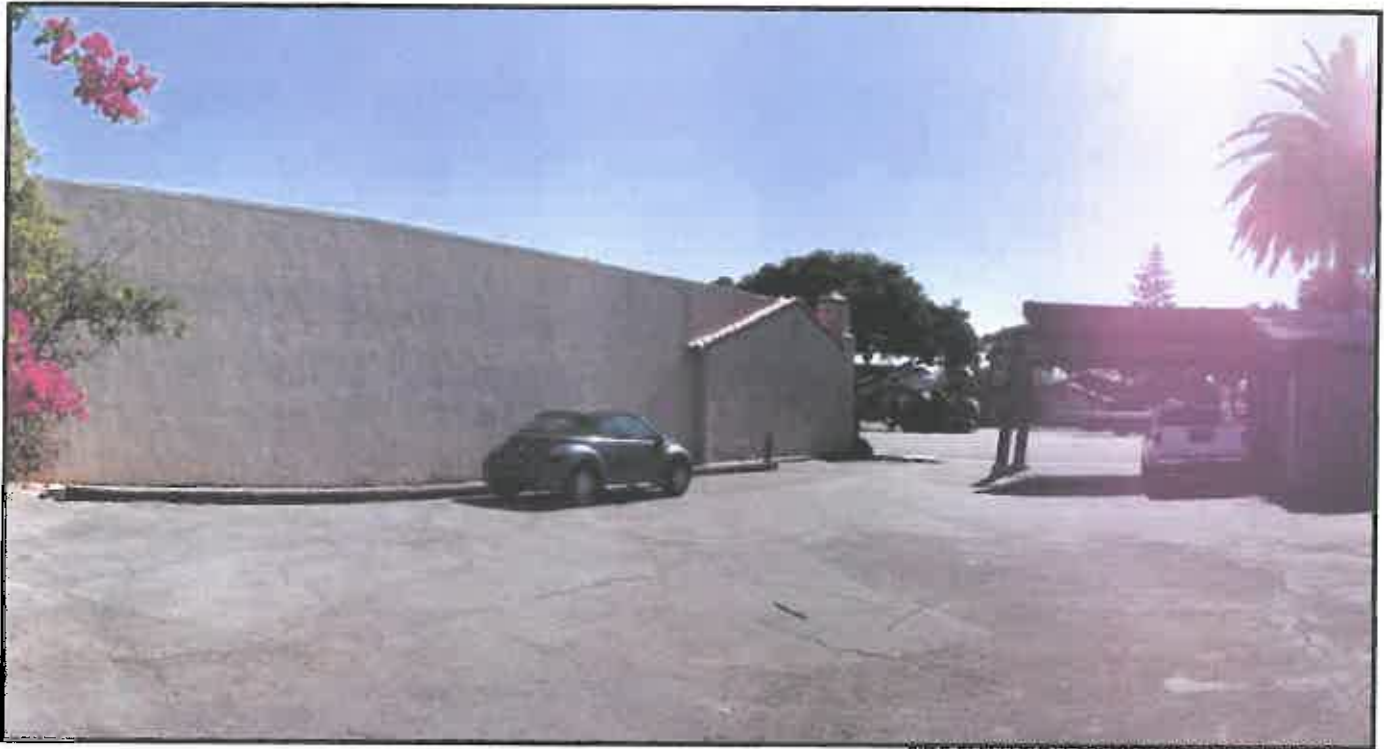


PHOTOGRAPHS
CRAFT HOUSE REMODEL

34094 PACIFIC COAST HIGHWAY
DANA POINT, CA 92629

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10 . 08 . 14



SIDE ELEVATION OF PROPERTY TO THE EAST



PHOTOGRAPHS
CRAFT HOUSE REMODEL

34094 PACIFIC COAST HIGHWAY
DANA POINT, CA 92629

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10 . 08 . 14



SIDE ELEVATION OF PROPERTY TO THE WEST



PHOTOGRAPHS
CRAFT HOUSE REMODEL

34094 PACIFIC COAST HIGHWAY
DANA POINT, CA 92629

JOB NO. 1409

10 . 08 . 14



REAR ELEVATION OF SITE



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