

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

ITEM #3

DATE: NOVEMBER 10, 2014

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
DANNY GIOMETTI, ASSISTANT PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP14-0013 AND MINOR SITE DEVELOPMENT PERMIT SDP14-0023(M) FOR ADDITIONS OF 524 SQUARE FEET AND LANDSCAPING IMPROVEMENTS, INCLUDING A SEVEN FOOT HIGH, SIDE YARD BLOCK WALL AT AN EXISTING, TWO-STORY, SINGLE-FAMILY DWELLING LOCATED AT 24622 SANTA CLARA AVENUE.

RECOMMENDATION: That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP14-0013 and Minor Site Development Permit SDP14-0023(M)

APPLICANTS: Andrade Architects

OWNERS: Bruce and Melissa Beck

REQUEST: Approval of a Coastal Development Permit and Minor Site Development permit for additions to a single-family dwelling that will exceed 10 percent of existing square footage as well as a seven foot high, side yard, freestanding wall, on land located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 24622 Santa Clara Avenue (APN 683-202-01)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on October 29, 2014, published within a newspaper of general circulation on October 30, 2014, and posted on October 31, 2014 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (e)

(Class 1 – Existing Facilities) in that it proposes a nominal increase in square footage to an existing residential dwelling.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Specific Plan (DPSP), Orange County Zoning Code (OCCZ) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP, DPSP and OCZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject site is an 8,715 square foot lot with a previously developed 2,434 square foot, two (2) story single-family residence and attached 1,596 square foot garage. The City previously approved a Coastal Development Permit in 2002 allowing an addition which exceeded 10% of the floor area to the original home. The lot is rectangular in shape and is bordered by similar single-family development to the north across Santa Clara Avenue, to the east, and across the alley to the south. Multiple-family residential development is located across Violet Lantern to the west. The subject site is designated within the DPSP as Coastal Residential Medium Density C-RMD and is located within the City's Coastal Overlay District (the California Coastal Zone) as well as the Appeals Jurisdiction of the California Coastal Commission.

DISCUSSION: The proposed scope-of-work would add 524 square feet to the dwelling in the form of an expanded living area, a new guest room and bath and expanded master bedroom in conjunction with an interior remodel. The applicant has also proposed the conversion of 230 square feet of existing garage space into living area. With this conversion, the minimum required garage dimensions for parking will be maintained.

The applicant also proposes an attached 480 square foot loggia, a 228 square foot covered porch, and an exterior side yard block wall. Because the lot backs to an alley and has no rear yard, the applicant would like to utilize their side yard, abutting Violet Lantern, by constructing a seven foot high site wall to create a private courtyard. A two foot landscaped strip along the base of the wall will accommodate plants which will mature to visually screen the wall. Additional site improvements include a 6'6" chiminea, spa, barbeque, and garden walls. New hardscape, decorative outdoor elements and landscaping are proposed in all yards.

The height of the building itself will remain unchanged at roughly 27 feet, below the maximum allowed height of 28 feet and all improvements will be maintained within the buildable footprint of the lot. All aspects of the project comply with the C-RMD development standards of the DPSP and the OCZC.

Coastal Development Permit CDP14-0013

Additions to structures located within the City's Coastal Overlay District resulting in a square footage expansion of 10 percent or more shall require application for a CDP. The subject application proposes the addition of 524 square feet to a 4,030 square foot dwelling - an increase of 13 percent - and so requires a CDP.

Pursuant to requirements stipulated within the Coastal Development District Regulations section of the Dana Point Specific Plan, a Coastal Development Permit application may be approved only after the approving authority has made the following findings:

- a. Local Coastal Program That the development project proposed by the application conforms with the certified Local Coastal Program.
- b. Zoning or District Regulations That the application is consistent with the purpose and intent as well as the other provisions of the Orange County Zoning Code or district regulations of this Specific Plan applicable to the property.
- c. California Coastal Act That the project conforms with the public access and public recreation policies of the California Coastal Act.

The recommended findings for approval of the CDP are outlined in the draft Resolution NO. 14-11-10-XX, attached to this report as Action Document 1.

Minor Site Development Permit SDP14-0023(M)

Pursuant to Section 7.9.137.5 of the Orange County Zoning Code, walls within any side yard setback area may be a maximum of six feet in height. Exceptions and modifications to the fence and wall height provisions may be granted subject to the approval of a Site Development Permit.

The subject application proposes a seven foot high site wall along the side yard, adjacent to Violet Lantern Avenue. The wall shall be provided with a two foot landscaped strip along its base to accommodate plants which will mature to visually screen the wall.

In addition to the findings required for Discretionary Permits by section 7.9.150 of the OCZC, the following findings shall also be made prior to the approval of a fence or wall height Site Development Permit application:

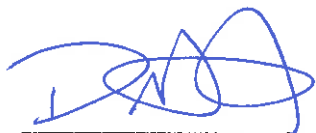
- a. The height and location of the fence or wall as proposed will not result in or create a traffic hazard.

- b. The location, size, design and other characteristics of the fence or wall will not create conditions or situations that may be objection-able, detrimental or incompatible with other permitted uses in the vicinity.

The recommended findings for approval of the SDP are outlined in the draft Resolution NO. 14-11-10-XX, attached to this report as Action Document 1.

CORRESPONDENCE: To date, correspondence for this project has not been received.

CONCLUSION: Staff finds that the subject project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Specific Plan, Orange County Zoning Code and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached resolution, approving CDP14-0013 and SDP14-0023(M) subject to findings and conditions of approval.



Danny Giometti
Assistant Planner



Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 14-11-10-XX

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)

RESOLUTION NO. 14-11-10-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP14-0013 AND MINOR SITE DEVELOPMENT PERMIT SDP14-0023(M) FOR ADDITIONS OF 524 SQUARE FEET AND LANDSCAPING IMPROVEMENTS, INCLUDING A SEVEN FOOT HIGH, SIDE YARD BLOCK WALL AT AN EXISTING, TWO-STORY, SINGLE-FAMILY DWELLING LOCATED AT 24622 SANTA CLARA AVENUE.

Applicants and Property Owners: Bruce and Melissa Beck

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, the applicant filed a verified application for a Coastal Development Permit and Minor Site Development Permit to allow for additions to an existing single-family dwelling at 24622 Santa Clara Avenue (APN 683-202-01), and;

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code, and;

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 - Existing Facilities) and per Section 15303 (Class 3 – New Construction or Conversion of Small Structures) and;

WHEREAS, the Planning Commission did, on the 10th day of November, 2014, hold a duly noticed public hearing as prescribed by law to consider said request, and;

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP14-0013 and Minor Site Development Permit SDP14-0023(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP14-0013 and SDP14-0023(M) subject to conditions:

Findings:

Coastal Development Permit CDP14-0013

1. That the development project proposed by the application conforms with the certified Local Coastal Program **in that the site and architectural**

DRAFT

DRAFT

design of proposed improvements further Urban Design Element Goal No. 2 which states stating that development should “preserve the individual positive character and identity of the City’s communities” by fostering new, aesthetically pleasing residential development of the subject property that is both wholly compatible and complimentary to surrounding structures.

2. That the application is consistent with the purpose and intent as well as the other provisions of the Orange County Zoning Code or district regulations of this Specific Plan applicable to the property **in that the proposed project has been reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department for conformance with applicable documents and, subject to conditions of approval, has been found consistent.**
3. That the project conforms with the public access and public recreation policies of the California Coastal Act **in that the proposed development would not alter existing public access or public recreation in the vicinity.**

Minor Site Development Permit SDP14-0023(M)

4. That the project is in compliance with all elements of the General Plan and all applicable provision of the Urban Design Guidelines **in that the proposed site wall has been found to comply with all standards of development and, would not be in conflict with any recommendations of the City’s Urban Design Guidelines.**
5. That the site design is in compliance with the development standards of the Dana Point Specific Plan **in that, pursuant to Section 7.9.137.5 of the Orange County Zoning Code, the overall design of the wall will complement proposed landscaping improvements and be architecturally compatible with the home. Surface material for the wall comprises of stucco to match the existing dwelling on-site. The wall shall be provided with mature plants for visual screening and a decorative stone entry walkway and turf area to compliment the partially enclosed courtyard.**

Subject to the approval of this SDP(M), all improvements proposed are permitted development in the property’s Coastal Residential Medium Density (C-RMD) Zoning District, and have been found to conform to applicable standards of development.

6. That the requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 3 (Section 15303 - New Construction or Conversion of Small Structures) exemption pursuant

DRAFT

to the applicable provisions of the California Environmental Quality Act (CEQA) **in that the project involves the construction of a new site wall.**

7. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style **in that the new wall has been designed utilizing materials and colors that are compatible with the architecture and site design of the property's primary dwelling and, as stated, would allow better and more enjoyable use of the property. Proposed landscaping would serve to beautify the overall lot, while simultaneously providing screening for the proposed wall.**
8. The location, size, design and other characteristics of the fence or wall will not create conditions or situations that may be objection-able, detrimental or incompatible with other permitted uses **in the subject property's Coastal Residential Medium Density (C-RMD) Zoning District in that the project is compatible with and complementary to existing, surrounding development, while allowing greater enjoyment of the property as well as privacy for the owner.**
9. The height and location of the fence or wall as proposed will not result in or create a traffic hazard **in that the wall will be setback two feet from the exterior side yard property line and 23 feet back from the face of curb along Violet Lantern. The wall is outside of the required line of sight and no additional improvements shall be placed in the sight visibility area.**

Conditions:

A. General:

1. Approval of this application permits additions to an existing single-family dwelling located at 24622 Santa Clara Avenue. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the

uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
6. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The applicant and owner, and their successors in interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
9. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
10. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
11. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling. Said plan shall be reviewed and approved by the City's C&D Compliance Official prior to issuance of any permits.

B. At Submittal for Grading Plan Check:

12. Grading plan approval is required. Submit grading plan check documents to the Engineering Department for review, approval and grading permit.

C. Prior to Building Plan Check Submittal and/or prior to Issuance of a Building Permit or release on certain related inspections:

13. Provide a complete scope of work including renovation work.
14. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval. The review of the submitted geotechnical report shall be done on a time and materials basis.
15. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.

16. The applicant shall submit a landscape plan in accordance with the City of Dana Point standards. The landscape plan and all proposed exterior improvements shall be shown and in accordance with the approved drainage plan.
17. A separate erosion control plan shall be included in the project plans. The erosion control plan shall address the potential erosion and sediment loss for the proposed hillside development.
18. The applicant shall apply for an encroachment permit for all improvements and construction activities in the right-of-way. The application shall be submitted for review and approval by the Public Works Department.
19. Building plan check submittal shall include three sets of the following construction documents (as applicable):
 - a. *Building Plans*
 - b. *Energy Calculations*
 - c. *Structural Calculations*
 - d. *Soils/Geology Report*

All documents prepared by a profession shall be wet-stamped and signed.

20. Project "Condition of Approval" shall appear on the submitted drawings.
21. Review of the project by the Orange County Fire Authority (OCFA) shall be required. The applicant shall submit three separate sets of plans directly to the OCFA for review and approval.
22. Fire sprinkler system is required or waiver from the Fire Chief (All new residential; all new commercial groups A, I, E, & H and groups B, F, M & S exceeding 1,000 s.f. and U-1 exceeding 6,000 s.f.; Additions that increase the total floor area by 50% or 750 s.f. in a two year period or a second story addition regardless of s.f. or an alteration of 50% or greater in a two year period or any building that has fire sprinklers already installed).
23. Building(s) shall comply with 2013 California Codes of Regulations Parts 1-12 and any local amendments thereto. Building(s) shall comply with 2013 T-24 Energy Conservation Regulations.
24. Minimum roofing classification is A.

25. Undergrounding of all onsite utilities is required. An **Approved SDG&E Work Order and Undergrounding Plan** is required prior to permit issuance.
26. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w.c. ration of 0.45, F'c pf 4500 psi.

D. Prior to Issuance of a Certificate of Occupancy ("C-of-O") and/or Final Inspection by City Staff:

27. Verification of all conditions of approval is required by all City Departments.
28. All approvals from outside Departments and Agencies are required
29. "Rough Grad/Pad Certification" or "Grading Release Form" is required from City Engineer.
30. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
31. Separate review, approval, and permits are required for fire sprinklers and demolition of structures.
32. Public Works final approval will be required for all permits.
33. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
34. A written approval by the Geotechnical Engineer of Record approving the grading and wall construction as being in conformance with the approved plan from a geotechnical standpoint.
35. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
36. The applicant shall contact the Planning Divison for a final inspection of the project and property prior to contacting the Building/Safety Division for a final inspection and project sign-off. All landscaping approved via the project's final landscaping plan shall be installed within the property's front yard prior to final inspection by the Planning Division.

DRAFT

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 10th day of November, 2014 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Liz Claus, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department

DRAFT



City of Dana Point
Preliminary Review (CDP14-0013/ SDP14-0023)
Danny Giometti, Assistant Planner
Community Development Department
33282 Golden Lantern (Danny Giometti, City Planner)
Dana Point, CA 92629-1805

VICINITY MAP



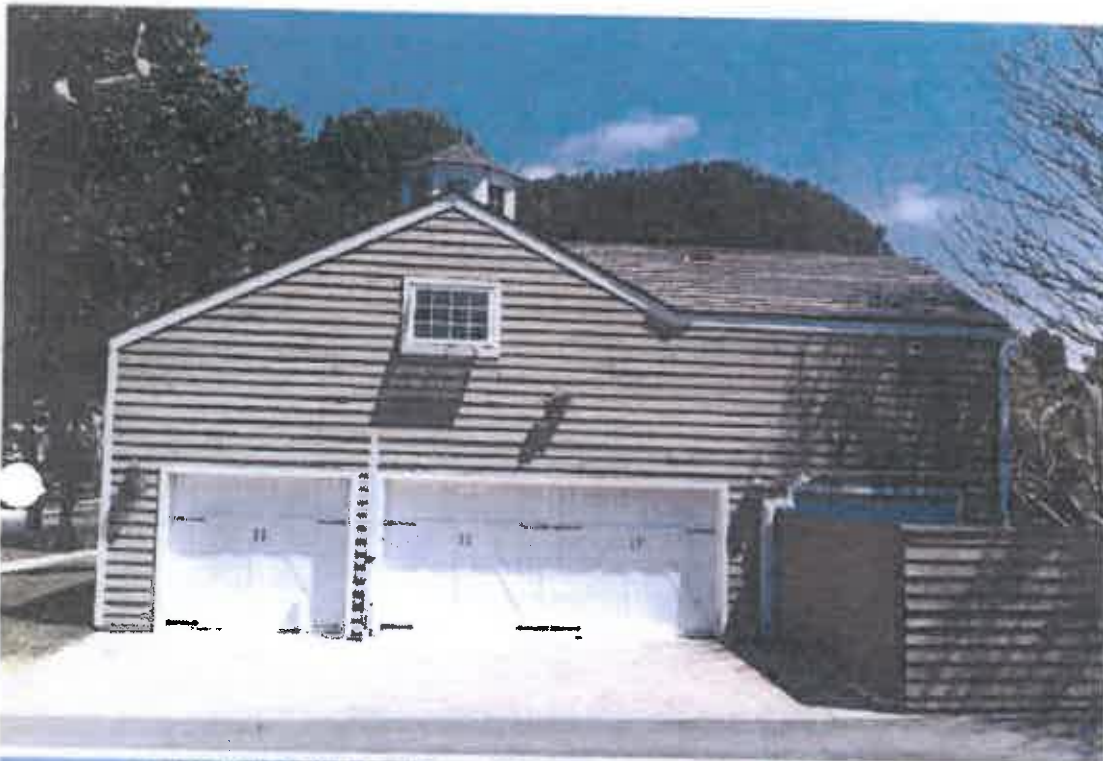
Project : *CDP14-0013/ SDP14-0023 (M)*

Applicants/Owner: *Andrade Architects/ Bruce and Melissa Beck*

Location: *24622 Santa Clara Avenue (APN 683-202-01)*



ATTACHMENT #2



ATTACHMENT #3

RECEIVED

MAY 23 2014



Project site



RECEIVED

MAY 23 2014

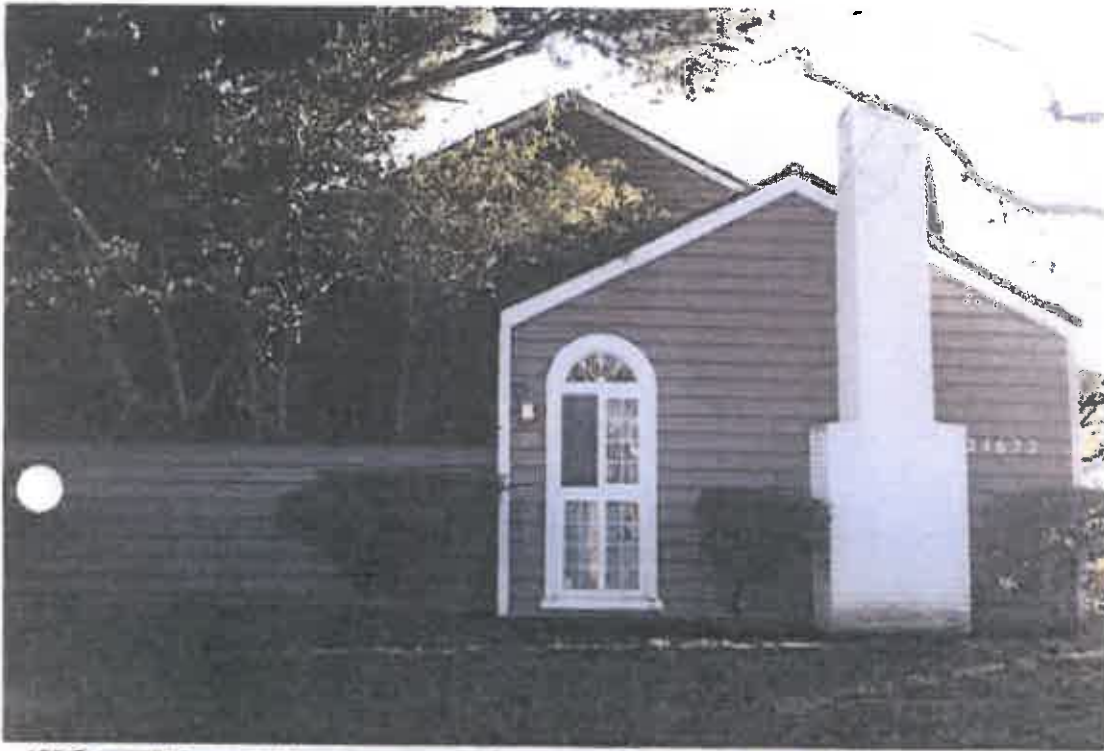
CITY OF ORLANDO
COMMUNITY DEVELOPMENT DEPARTMENT



Project site



Project Site



Project Site



RECEIVED



Project Site

RECEIVED

MAY 23 2014

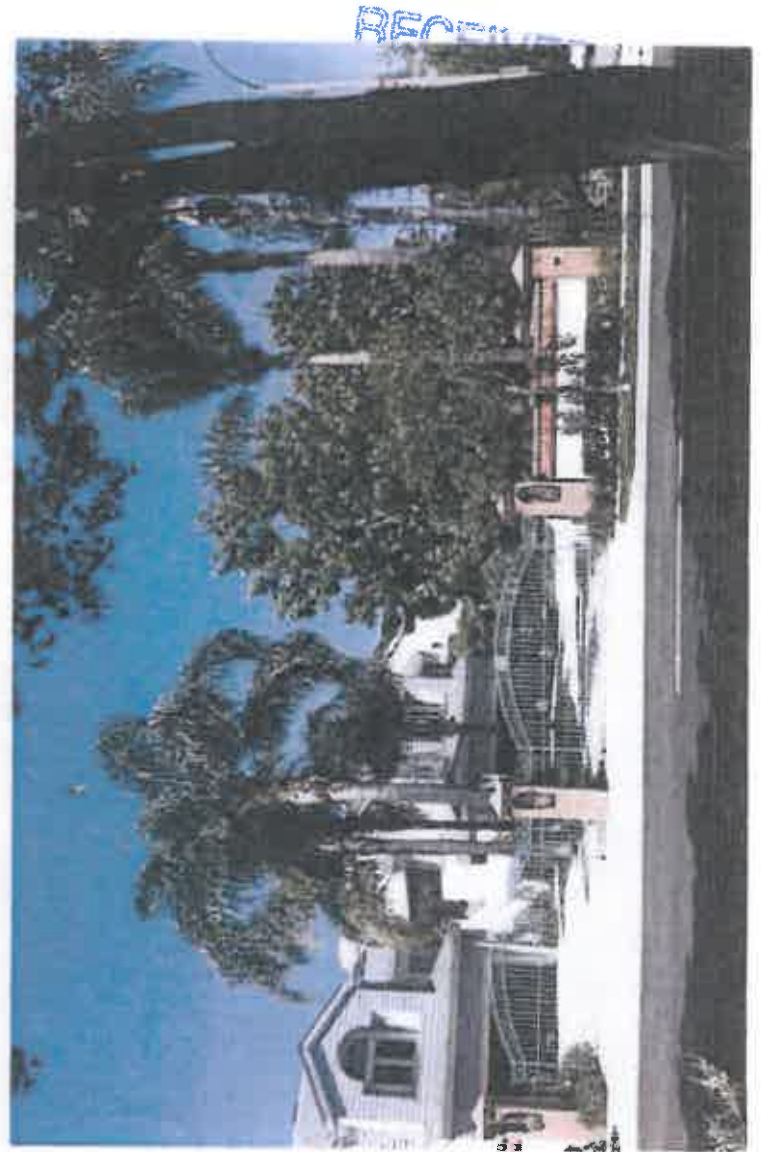
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



Project site



Project site



Neighboring Sites



Neighboring Sites

BECK RESIDENCE

DANA POINT, CALIFORNIA

DEFERRED SUBMITTALS

RECEIVED

AUG 20 2014

**CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT**

PROJECT DIRECTORY

PROPERTY OWNER:
BRUCE & MELISSA BECK
24622 SANTA CLARA AVE.
DANA POINT, CA. 92619

ARCHITECT:
ANDRADE ARCHITECTS, INC.
2880 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: (949) 715-7474
FAX: (949) 715-7475

GENERAL NOTES

- SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDINGS, LANDSCAPE, PATIO COVERS, FENCE, SWIMMING POOL, RETAINING WALLS, DEMOLITION, ETC.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- CONTRACTOR TO VERIFY EXISTING FIELD CONDITIONS BEFORE COMMENCING ANY WORK.
- ALL DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.
- DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.
- DEPUTY INSPECTORS ARE REQUIRED TO BE LISTED BY THE BUILDING DEPARTMENT.
- FINISH GRADE AROUND THE NEW STRUCTURE/ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
- HOUSE NUMBER SHALL BE VISIBLE AND LEGIBLE FROM THE STREET.

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE 2013 CBC, CMC, CPC, CRC AND CEC AS AMENDED BY CITY ORDINANCE AND THE 2013 TITLE 24 ENERGY COMPLIANCE.

THIS BUILDING SHALL COMPLY WITH CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIREMENTS THROUGHOUT THE PRESCRIBED METHOD.

PROJECT DIRECTORY

- AREA OF PROPOSED 1ST FLOOR LIVING ADDITION (310 S.F.)
- AREA OF PROPOSED 1ST FLOOR LOGGIA ADDITION (480 S.F.)
- AREA OF PROPOSED 1ST FLOOR COVERED WALK (228 S.F.)
- AREA OF PROPOSED 1ST FLOOR LIVING ADDITION AT EXISTING GARAGE (230 S.F.) (NOT AN ADDITION TO INTERNAL FLOOR AREA)
- AREA OF PROPOSED 2ND FLOOR LIVING ADDITION OVER EXISTING DECK (214 S.F.)

PROJECT DESCRIPTION

- 1ST FLOOR:**
- REMODEL EXISTING KITCHEN INCLUDING NEW PLUMBING FIXTURES, APPLIANCES, ELECTRICAL, CABINETRY AND COUNTERTOPS AND FINISHES
 - NEW BEDROOM, BATH, AND CLOSET ADDITION
 - NEW GUEST ROOM, BATH AND CLOSET ADDITION
 - NEW LOGGIA AND COVERED WALK ADDITION
 - NEW DOORS AND WINDOWS
 - NEW TILE ROOFING TO MATCH EXISTING
 - NEW BUILT-UP ROOFING AT FLAT ROOF OVER NEW LOGGIA AND WALK WAY
 - NEW HORIZONTAL EXTERIOR SIDING TO MATCH EXISTING
- 2ND FLOOR:**
- REMODEL EXISTING MASTER CLOSET
 - NEW MASTER BATH, CLOSET ADDITION
 - NEW DOORS AND WINDOWS

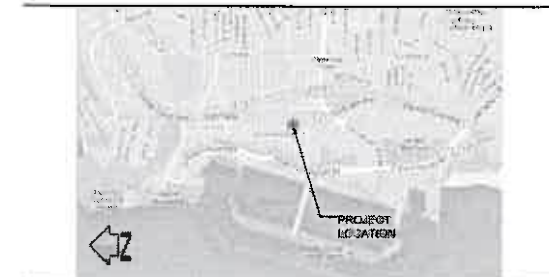
PROJECT DATA

LOT NO:	1
TRACT NO:	573
APN NO:	682-202-01
ZONE:	DPSR,C-RMD
OCCUPANCY:	R-3
CONSTRUCTION TYPE:	VB NON SPRINKLED
NUMBER OF STORIES:	2

SQUARE FOOTAGES

	EXISTING 1,456 S.F.	PROPOSED 271+39+230 S.F. (INCLUDES CONVERSION OF EXISTING 200 S.F. GARAGE SPACE)	TOTAL 1,956 S.F.
1ST FLOOR LIVING:			
2ND FLOOR LIVING:	978 S.F.	214 S.F.	1,192 S.F.
TOTAL LIVING:	2,434 S.F.	754 S.F.	3,188 S.F.
GARAGE NON LIVING:	1,596 S.F.	-230 S.F.	1,366 S.F.
TOTAL STRUCTURE (INTERNAL FLR AREA):	4,030 S.F.	524 S.F.	4,554 S.F.
LOGGIA/COVERED WALK:	0 S.F.	708 S.F.	708 S.F.
BALCONY:	693 S.F.	-214 S.F.	479 S.F.
LOT AREA:			8,715 S.F.
BUILDING AREA:			3,362 S.F.
LOT COVERAGE:	3,052 S.F. =35%	3,362 S.F. =38%	3,362 S.F. =38%
LANDSCAPE COVERAGE:	4,563 S.F. =54 %	4,058 S.F. =47 %	4,058 S.F. 47 %
# OF BEDROOMS	1 BEDROOMS	1 BEDROOM	5 BEDROOMS

VICINITY MAP



SHEET INDEX

ARCHITECTURAL:
G.001 SITE PLAN

PROJECT DATA
No. C-018971
DATE: 3-21-2015

A.001	EXISTING FLOOR PLANS
A.002	EXISTING EXTERIOR ELEVATIONS
A.003	1ST FLOOR DEMOLITION PLAN
A.101	2ND FLOOR DEMOLITION PLAN
A.101	1ST FLOOR PLAN
A.102	2ND FLOOR PLAN
A.103	ROOF PLAN
A.201	EXTERIOR ELEVATIONS
A.202	EXTERIOR ELEVATIONS
1 OF 1	TOPOGRAPHIC SURVEY
P.101	SUGGESTED PLANT PALETTE

ANDRADE ARCHITECTS, INC.
2880 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: (949) 715-7474
FAX: (949) 715-7475
ANDRADEARCHITECTS.COM

BECK RESIDENCE
24622 SANTA CLARA AVE.
DANA POINT, CA. 92619

**SITE PLAN
PROJECT DATA**

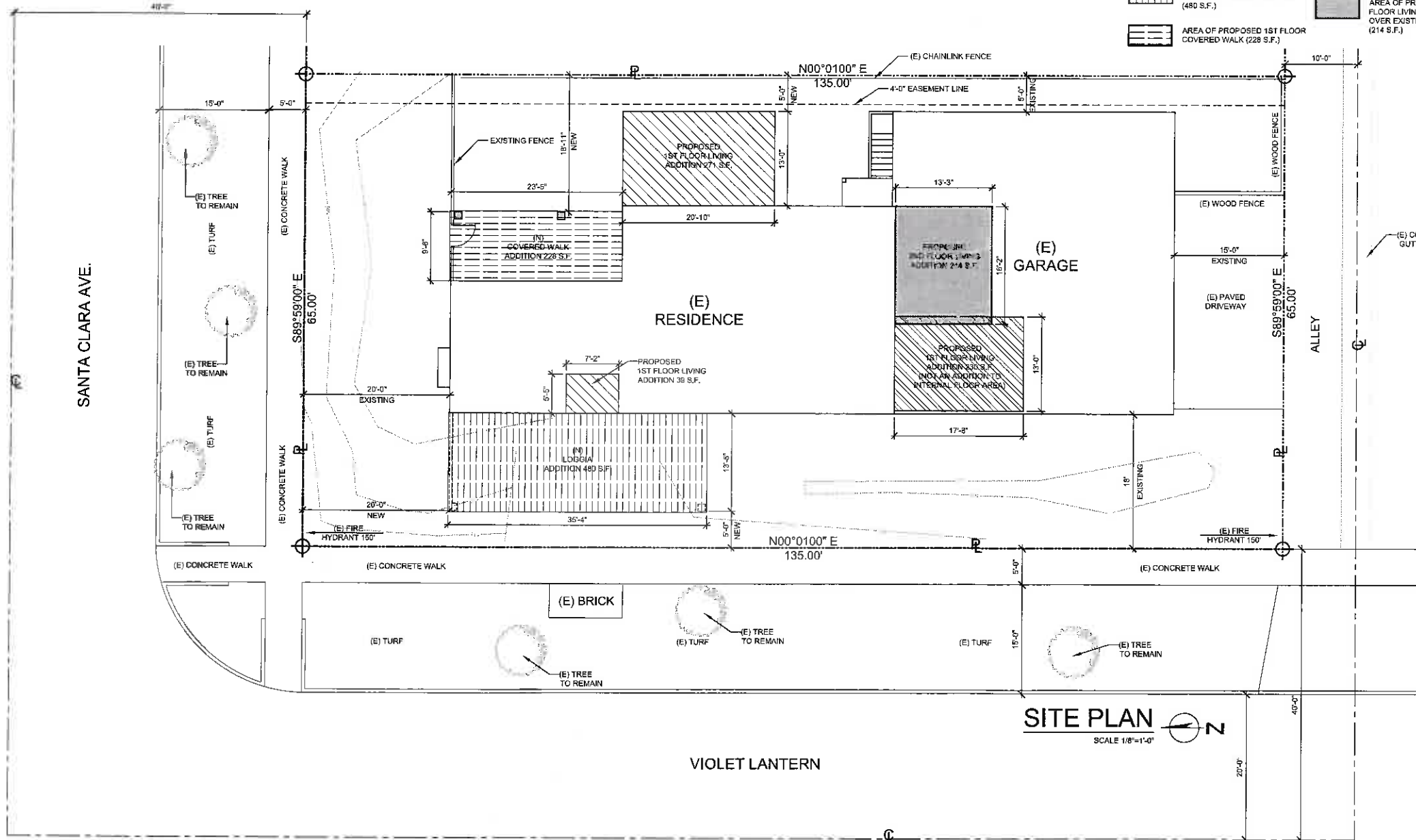
REVISIONS

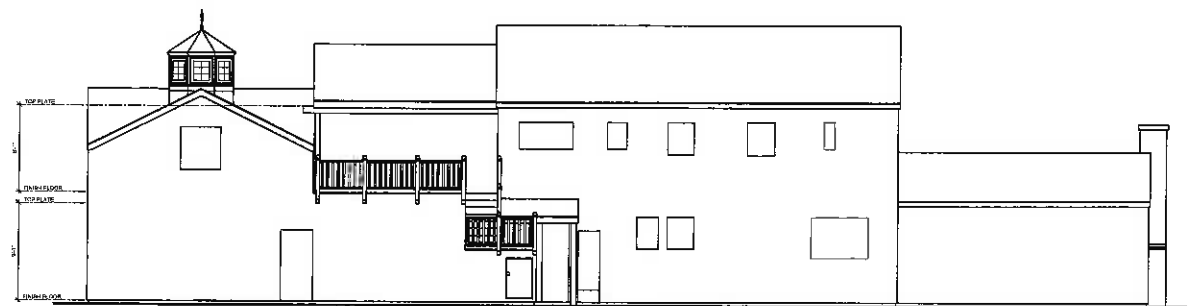
△	
△	
△	
△	



DRAWN BY: MB
CHECKED BY: SA
DATE: 7/29/14
JOB #: 1305
SHEET:

G.001

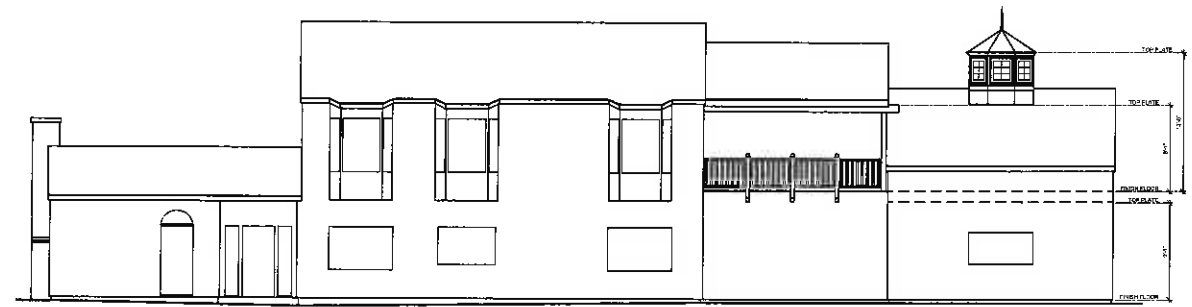




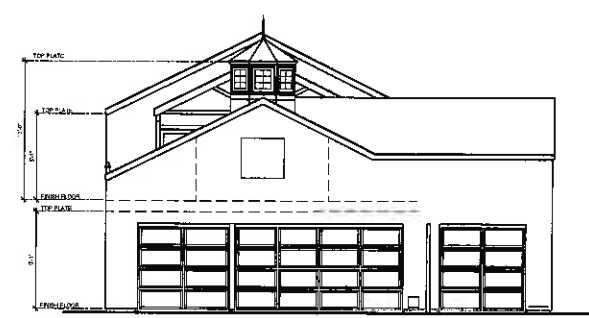
EAST ELEVATION
SCALE: 1/8" = 1'-0"



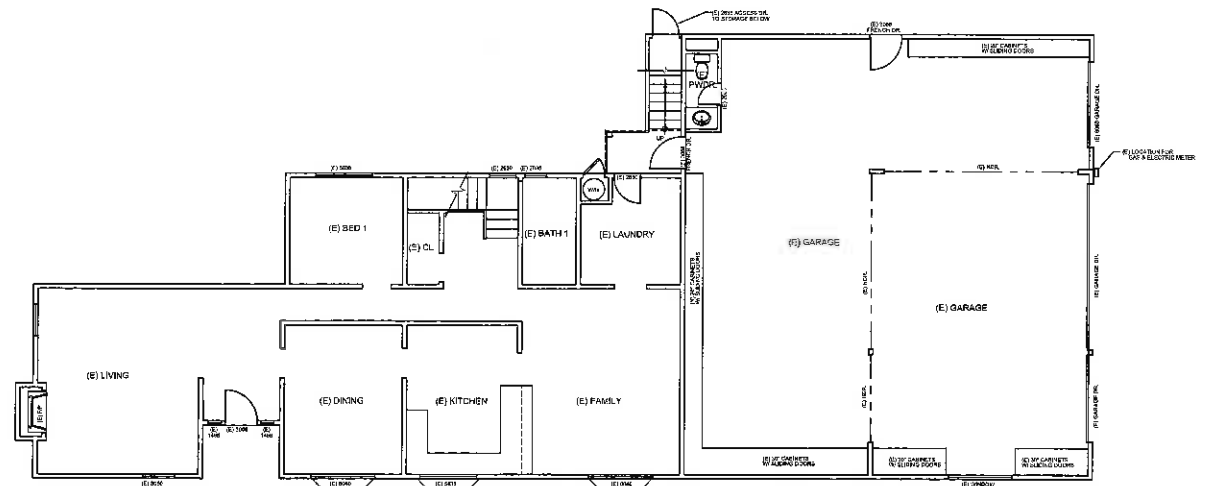
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



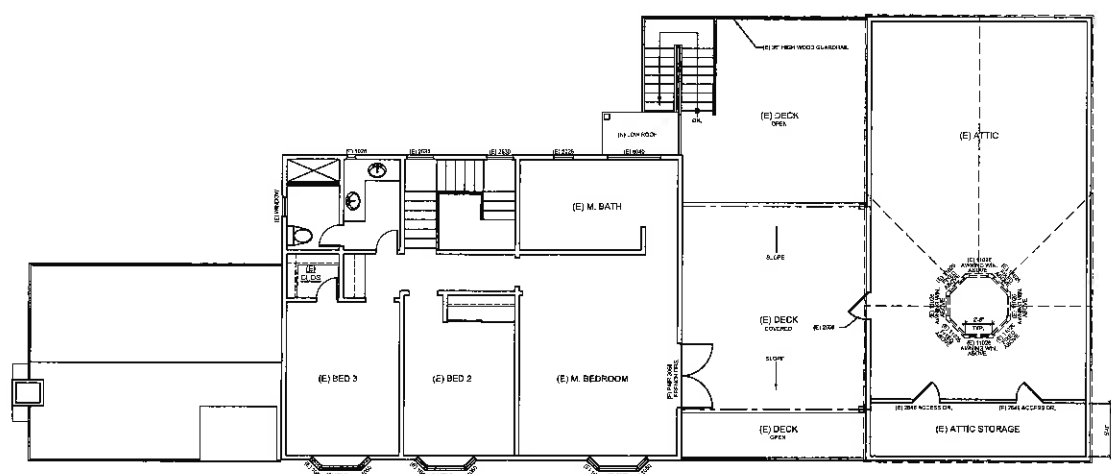
WEST ELEVATION
SCALE: 1/8" = 1'-0"



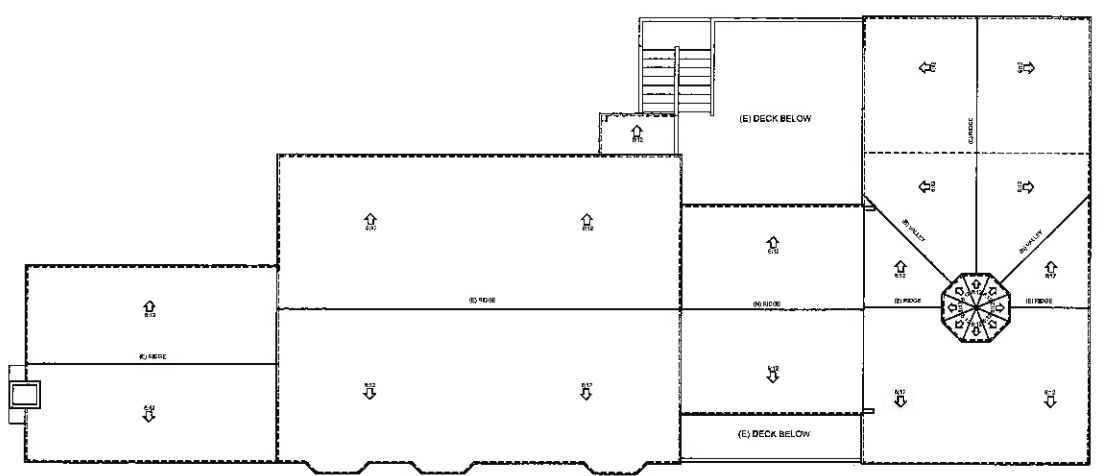
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



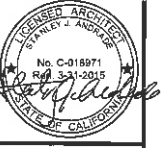
ROOF PLAN
SCALE: 1/8" = 1'-0"

ANDRADE ARCHITECTS, INC.
2880 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.761.7474
FAX: 949.761.7475
ANDRADEARCHITECTS.COM
ANDRADEARCHITECTS, INC.
ANDRADE ARCHITECTS, INC.

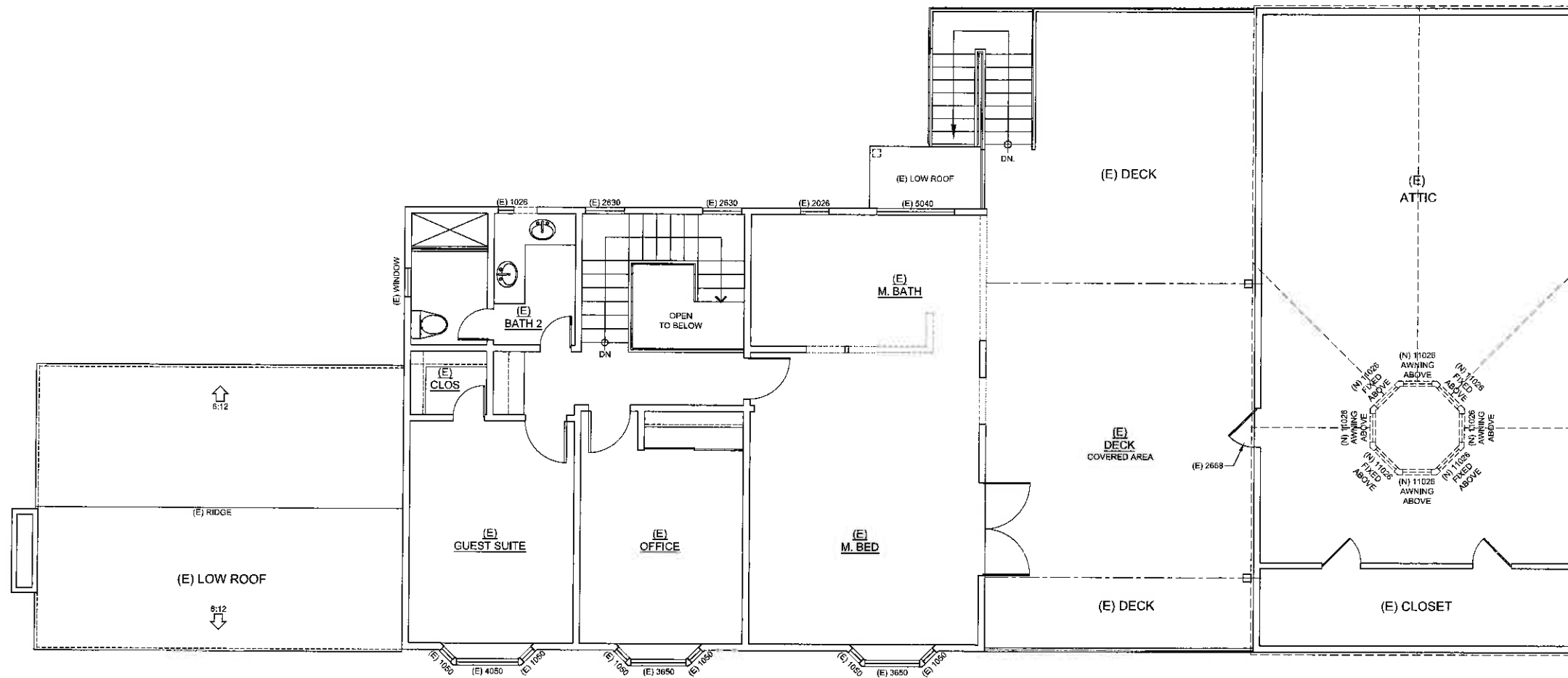
BECK RESIDENCE
24622 SANTA CLARA AVE.
DANA POINT, CA. 92619

EXISTING 1ST FLOOR PLANS
EXISTING EXTERIOR ELEVATIONS

REVISIONS



DRAWN BY: MB
CHECKED BY: SA
DATE: 7/08/14
JOB #: 1308
SHEET: A.001



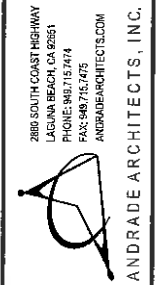
2ND FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO BE DEMOLISHED
- _____ EXISTING WALL TO REMAIN

ANDRADE ARCHITECTS, INC.
 2880 SOUTH COAST HIGHWAY
 LAGUNA BEACH, CA 92651
 PHONE: 949.715.7174
 FAX: 949.715.7475
 ANDRADEARCHITECTS.COM



BECK RESIDENCE
 24622 SANTA CLARA AVE.
 DANA POINT, CA. 92619

2ND FLOOR DEMOLITION PLAN

REVISIONS

△	
△	
△	
△	



DRAWN BY: MB
 CHECKED BY: SA
 DATE: 7/09/14
 JOB #: 1308
 SHEET: A.003

REVISIONS

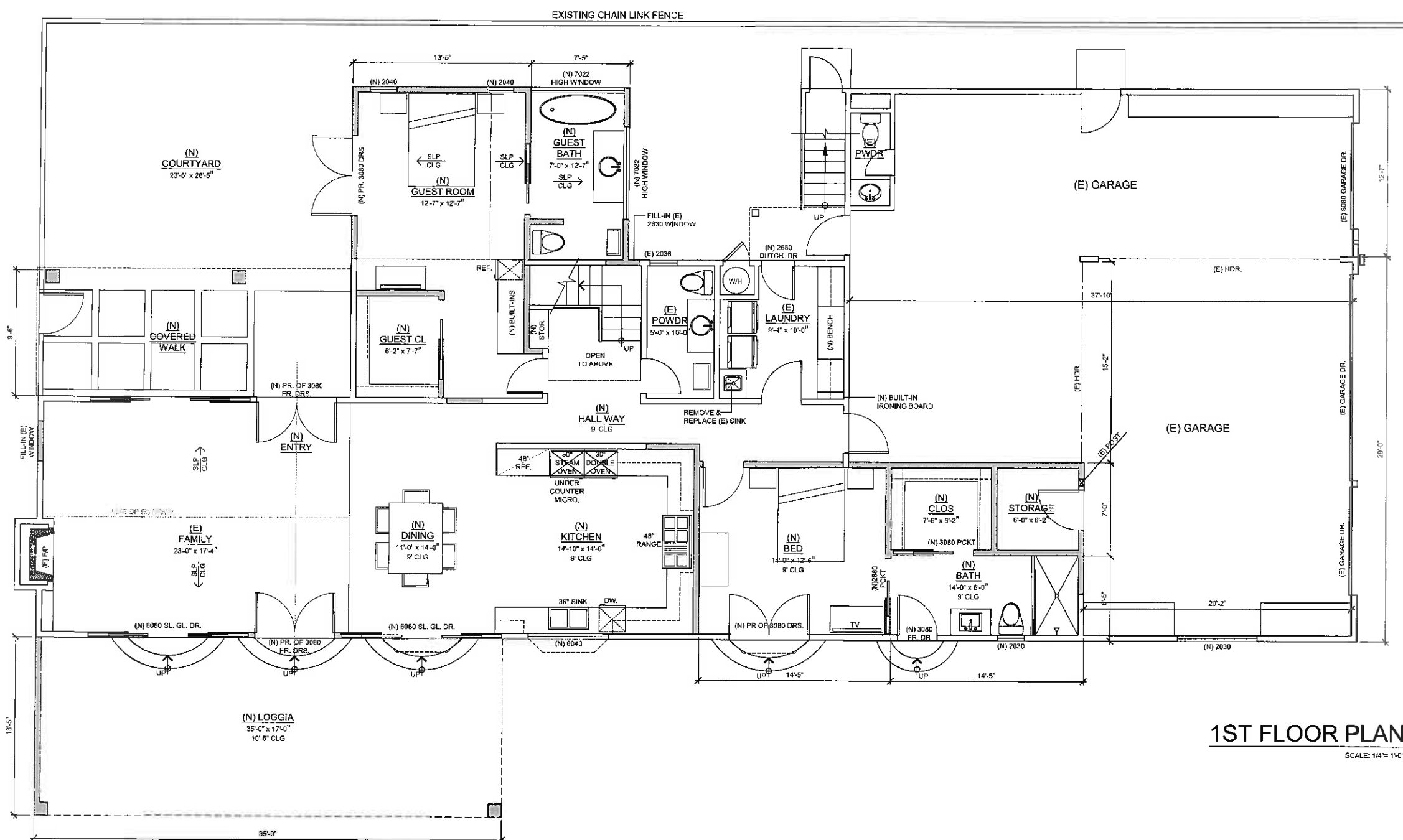
△	
△	
△	
△	



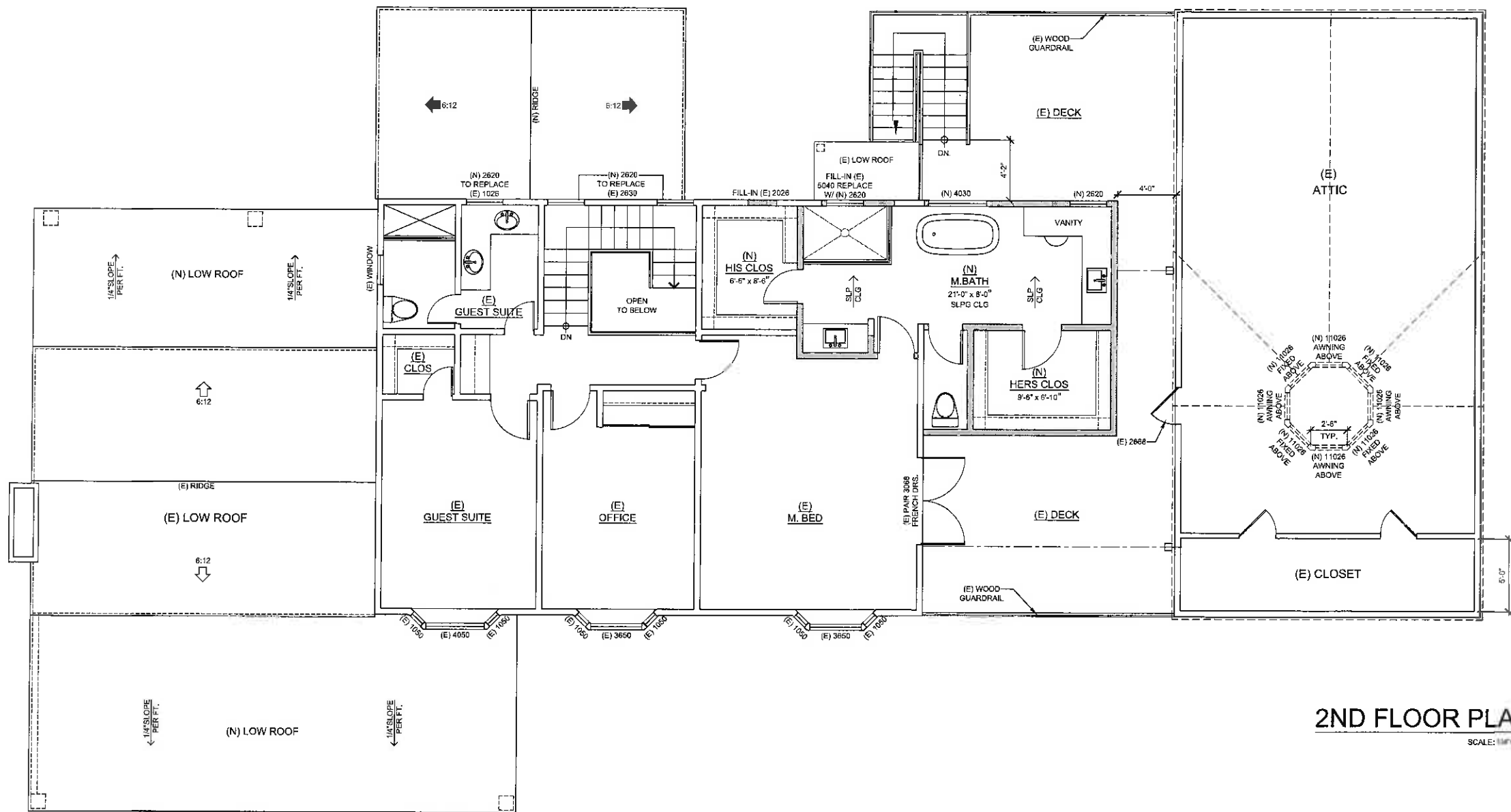
DRAWN BY: MIB
 CHECKED BY: SA
 DATE: 7/09/14
 JOB #: 1306
 SHEET: A.101

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW 2x WOOD STUD WALL



1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL LEGEND

	EXISTING WALL TO REMAIN
	NEW 2x WOOD STUD WALL

ANDRADE ARCHITECTS, INC.
2881 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.767.1474
FAX: 949.767.1475
ANDRADEARCHITECTS.COM

BECK RESIDENCE
24622 SANTA CLARA AVE.
DANA POINT, CA. 92619

2ND FLOOR PLAN

REVISIONS

△	
△	
△	
△	



DRAWN BY: MB
CHECKED BY: SA
DATE: 7/09/14
JOB #: 1308
SHEET: A.102



ROOF PLAN
SCALE 1/4" = 1'-0"

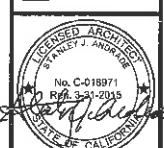
ANDRADE ARCHITECTS, INC.
2880 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.715.7474
FAX: 949.715.7475
ANDRADEARCHITECTS.COM

BECK RESIDENCE
24622 SANTA CLARA AVE.
DANA POINT, CA. 92619

ROOF PLAN

REVISIONS

△	
△	
△	
△	



DRAWN BY: MB
CHECKED BY: SA
DATE: 7/09/14
JOB #: 1306
SHEET:



SOUTH ELEVATION

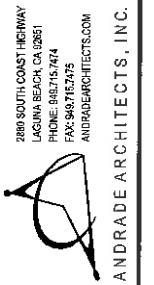
SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

ANDRADE ARCHITECTS, INC.
 2888 SOUTH COAST HIGHWAY
 LAGUNA BEACH, CA 92651
 PHONE: 949.761.7474
 FAX: 949.761.7475
 ANDRADEARCHITECTS.COM

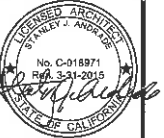


BECK RESIDENCE
 24622 SANTA CLARA AVE.
 DANA POINT, CA. 92619

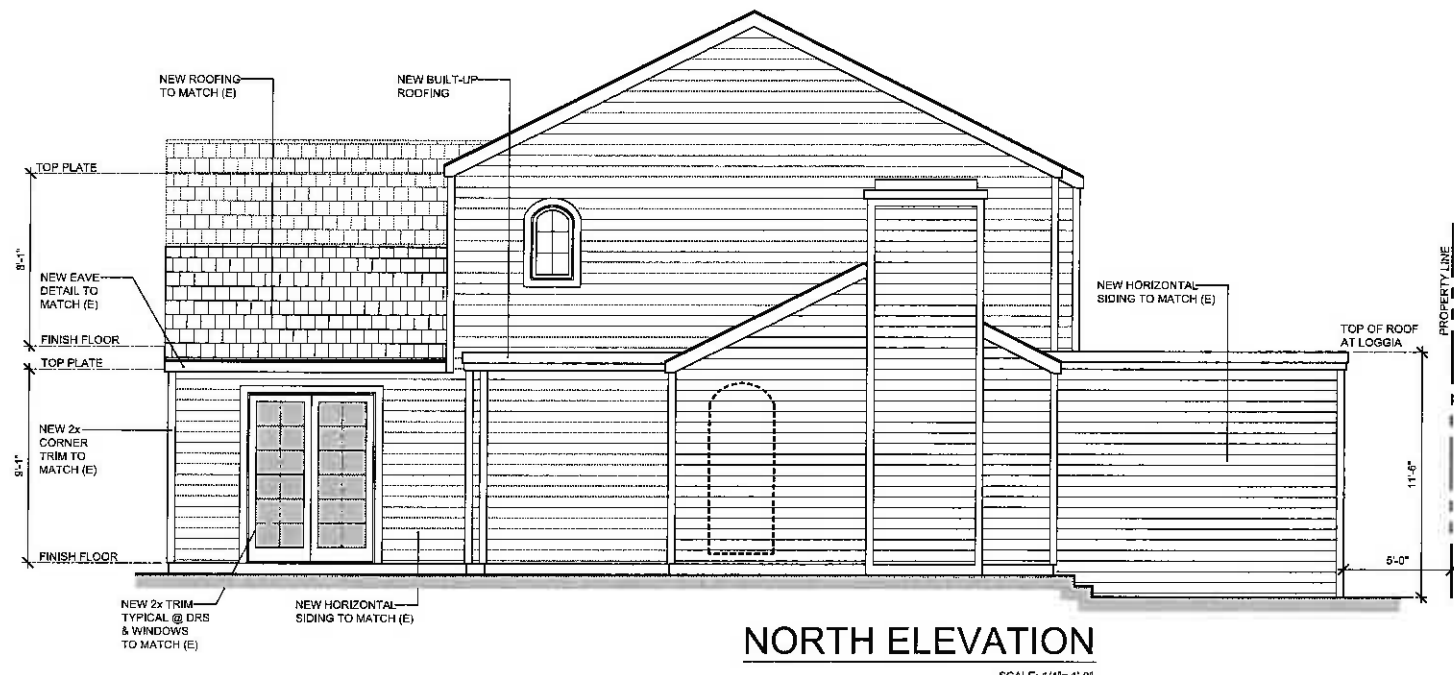
EXTERIOR ELEVATIONS

REVISIONS

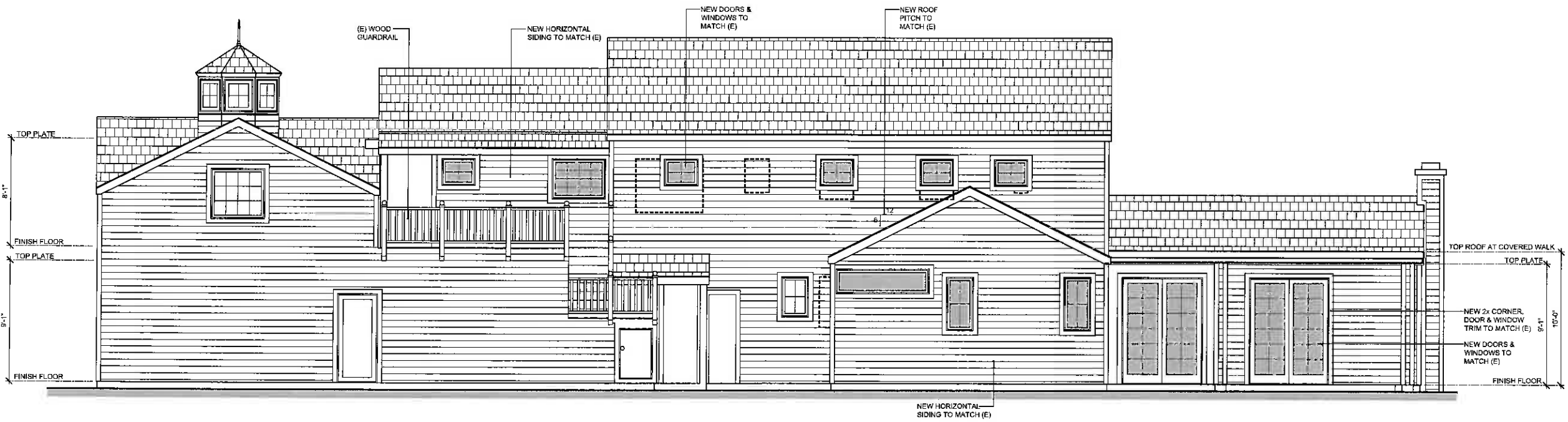
- △
- △
- △
- △



DRAWN BY: MB
 CHECKED BY: SA
 DATE: 7/09/14
 JOB #: 1306
 SHEET:



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

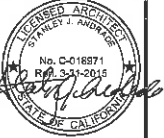
ANDRADE ARCHITECTS, INC.
 2880 SOUTH COAST HIGHWAY
 LAGUNA BEACH, CA 92651
 PHONE: 949.715.7474
 FAX: 949.715.7475
 ANDRADEARCHITECTS.COM
 ANDRADE ARCHITECTS, INC.

BECK RESIDENCE
 24622 SANTA CLARA AVE.
 DANA POINT, CA. 92619

EXTERIOR ELEVATIONS

REVISIONS

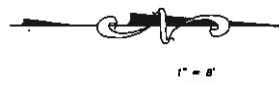
△	
△	
△	
△	



DRAWN BY: MB
 CHECKED BY: SA
 DATE: 7/09/14
 JOB #: 1308
 SHEET:
A.202

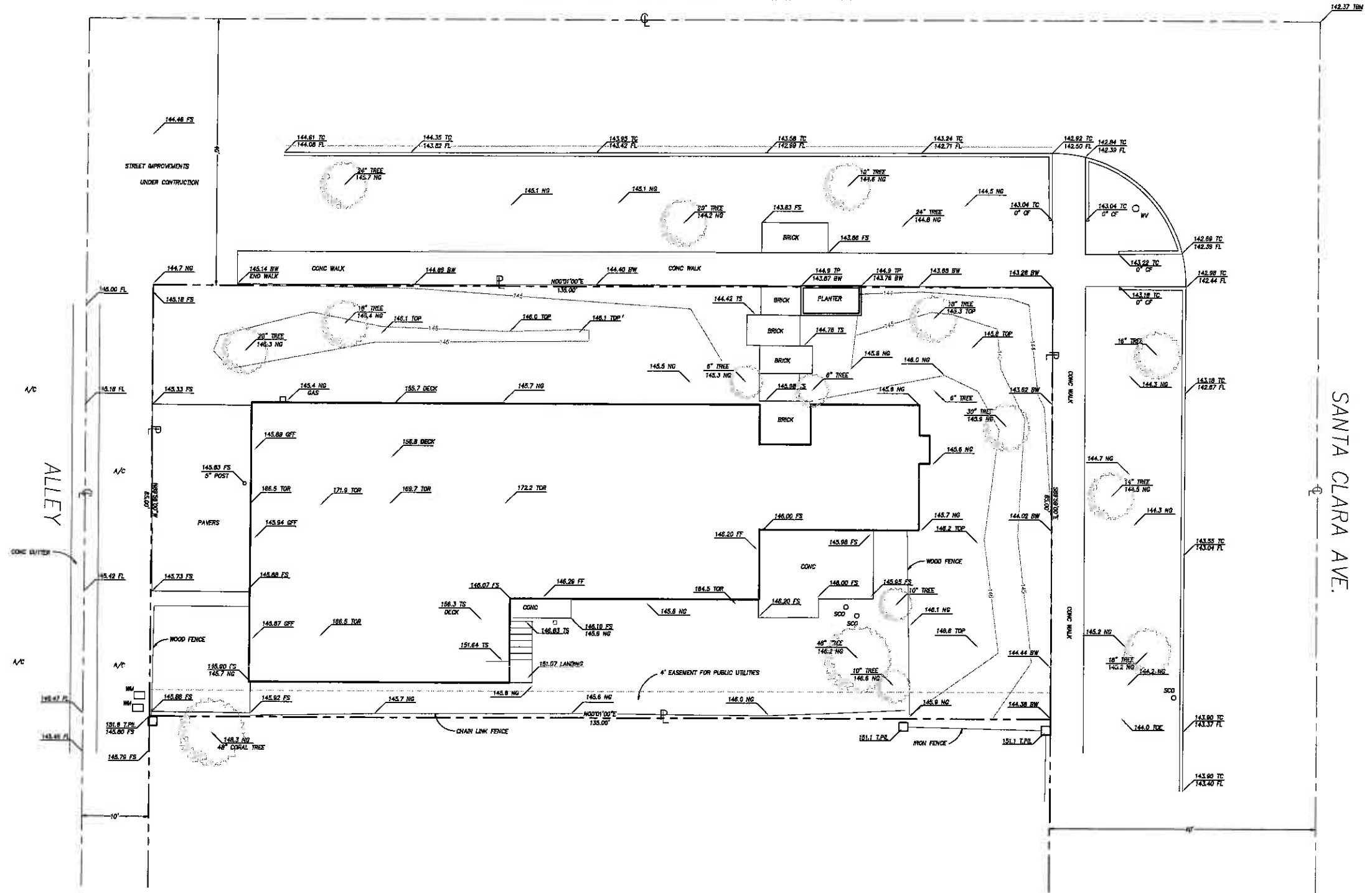
STREET OF THE VIOLET LANTERN

SANTA CLARA AVE.



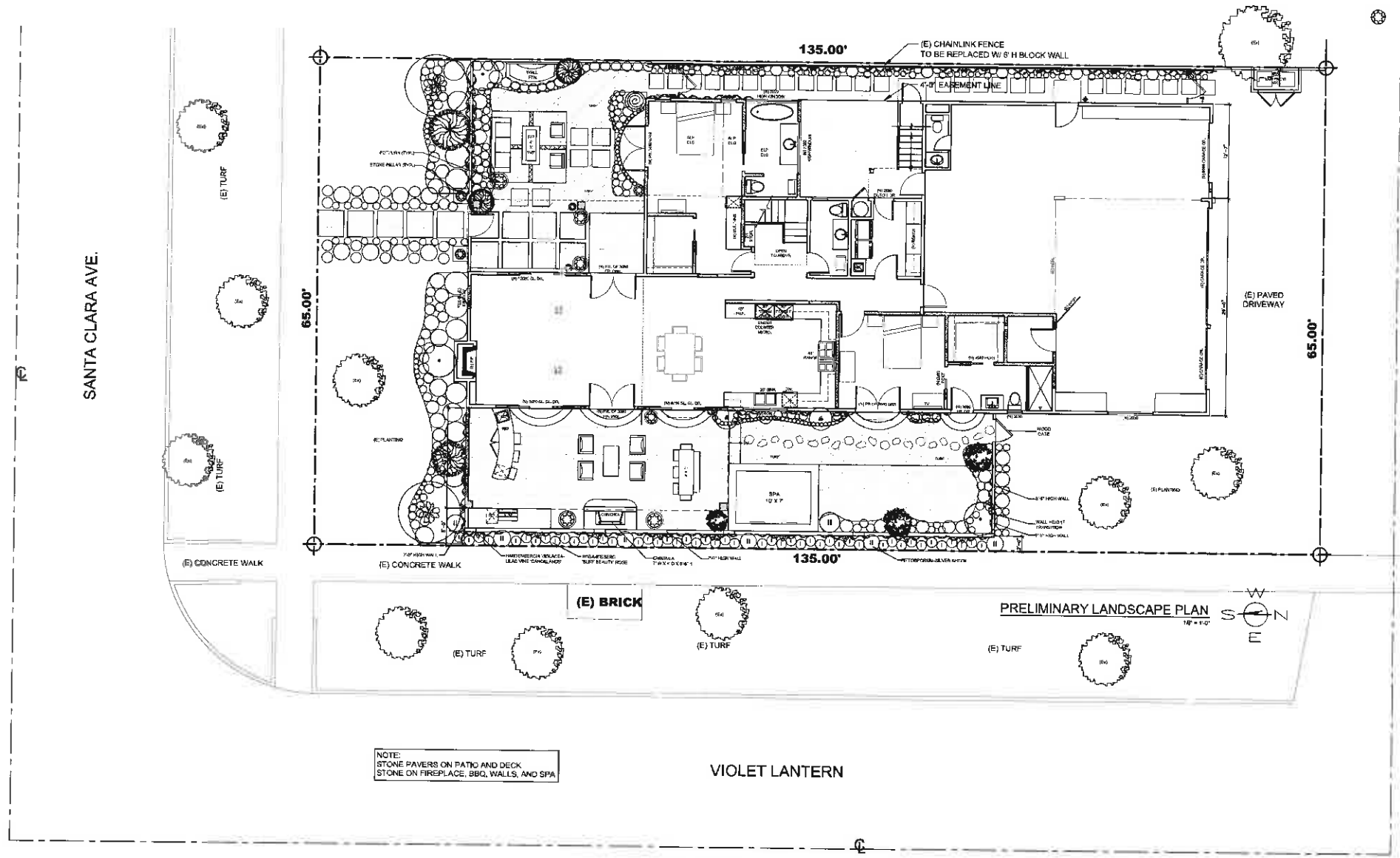
LEGEND

- TC = TOP CURB
- FL = FLOW LINE
- FS = FINISH SURFACE
- TS = TOP STEP
- NG = NATURAL GROUND
- TW = TOP WALL
- TP = TOP PLANTER
- TS = TOP SLOPE
- TS = TOE SLOPE
- FF = FINISH FLOOR
- GFF = GARAGE FINISH FLOOR
- TOR = TOP ROOF
- BW = BACK WALK
- SCC = SEWER CLEANOUT
- PP = POWER POLE
- WV = WATER VALVE
- WM = WATER METER
- TBM = TEMPORARY BENCHMARK
- S.F.N. = SEARCHED FOUND NOTHING
- E = CENTERLINE
- ⊥ = PROPERTY LINE



BOUNDARY NOTE:
THIS IS NOT A BOUNDARY SURVEY. THE TOPOGRAPHIC FEATURES AS SHOWN ON THIS MAP MAY BE ADJUSTED RELATIVE TO THE PLAT UPON COMPLETION OF A BOUNDARY SURVEY.

TOPOGRAPHIC MAP	
6 SCALE	LOT 1 BLK S TR. NO. 573
OCTOBER 2013	
24622 SANTA CLARA AVE. DANA POINT CA.	
ASSUMED DATUM	
SOUTH COAST SURVEYING 3214 CLAY ST. NEWPORT BEACH, CA. (949) 231-8840	



NOTE:
STONE PAVERS ON PATIO AND DECK
STONE ON FIREPLACE, BBQ, WALLS, AND SPA

SUGGESTED PLANTING LEGEND

TREES:	BOTANICAL NAME:	COMMON NAME:	SHRUBS:								
(A)	BAUHINIA GALPINII	RED BAUHINIA (ESP.)	(A)	AGAPANTUS AFRICANUS	LILY OF THE NILE	(M)	MENTHA	MINT	(FG)	STIPA TENUISSIMA	MEXICAN FEATHER GRASS
(B)	ERIOBOTRYA	LOQUAT 'BRONZE'	(D)	ALLIUM CEPA	GREEN ONION	(I)	ROSA	ICEBERG 'BUFF BEAUTY' ROSE	(PS)	STROBIANTUS DYERANUS	PERSIAN SHIELD
(C)	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEET GUM	(K)	ANIGOZANTHOS	KANGAROO PAW	(R)	ROSMARINUS OFFICINALIS	ROSEMARY	(T)	THYMUS	THYME
(H)	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA 'LITTLE GEM'	(KL)	CLIVIA MINIATA	KAFFIR LILY	(RS)	RUBRIBECKIA HIRTA	BLACK-EYED SUSAN	GRASSES:		
(N)	NANDINA DOMESTICA	HEAVENLY BAMBOO	(C)	CAMELLIA JAPONICA	CAMELLIA	(MX)	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	(O)	OPHIPOGON JAPONICUS	MONDO GRASS
(P)	PRUNUS CERASIFERA	PURPLE LEAF PLUM	(G)	GARDENIA JASMINOIDES	GARDENIA	(SS)	SALVIA OFFICINALIS	GARDEN SAGE 'BERGGARTEN'	VINES:		
(S)	PITOSPORUM	SILVER SHEEN	(H)	HYDRANGEA MACROPHYLLA	BIGLEAF HYDRANGEA-WHITE/BLUE	(SP)	SANSEMERIA TRIFASCIATA	SNAKE PLANT	(W)	HARDENBERGIA VIOLACEA	LILAC VINE 'CANDELANDS'
(TL)	PYRUS KAWAKAMI	EVERGREEN PEAR (ESPALIER)	(KL)	KNIPHOFIA GALPINI	TORCH LILY	(S)	SEDUM	SUCCULENTS	(W)	LONICERA JAPONICA	JAPANESE HONEYSUCKLE 'HALLIANA'
(MA)	ABELIA FLORIBUNDA	MEXICAN ABELIA	(BB)	LIRIOPE MUSCARI	BIG BLUE LILY 'TURF MAJESTIC'	(AL)	SPREKELIA FORMOSISSIMA	AZTEC LILY	(W)	MANDEVILLA LAXA	CHILEAN JASMINE

ANDRADE ARCHITECTS, INC.
2885 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.715.7474
FAX: 949.715.7475
ANDRADEARCHITECTS.COM

BECK RESIDENCE
24622 SANTA CLARA
DANA POINT, CA. 92629

SUGGESTED PLANT PALETTE

REVISIONS

DRAWN BY: DM
CHECKED BY: KA
DATE: 09/18/2014
JOB #: 1308
SHEET:

P.101

RECEIVED

OCT 02 2014

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

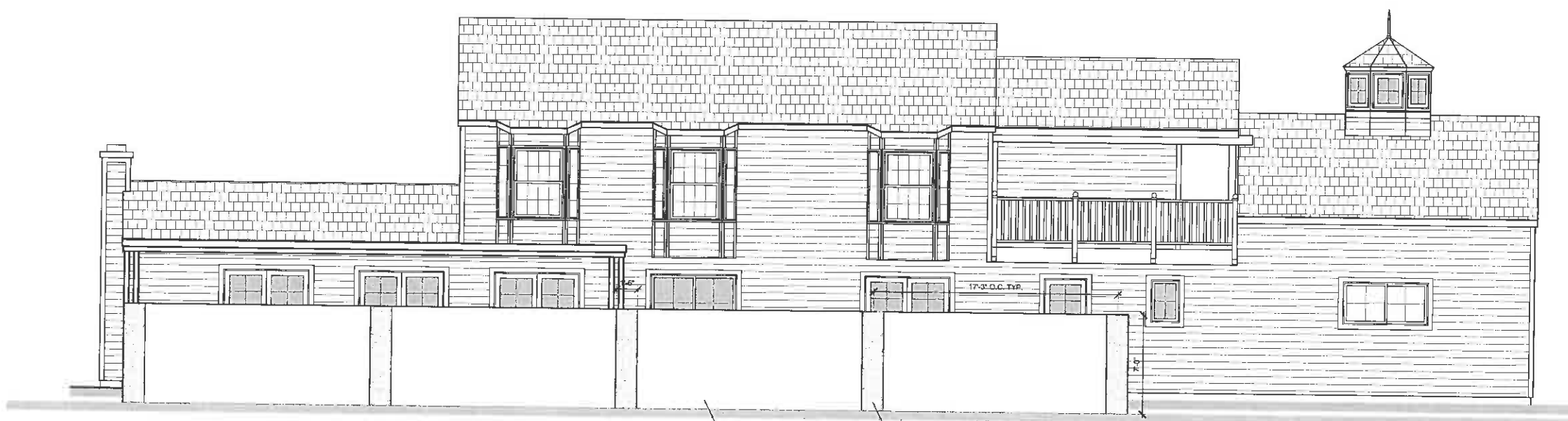


HARDENBERGIA VIOLACEA-
LILAC VINE 'CANOE LANDS'

ROSA-ICEBERG
'BUFF BEAUTY' ROSE

PITTOSPORUM-SILVER SHEEN

WEST ELEVATION
SCALE: 1/4" = 1'-0"



CONCRETE BLOCK WALL W/
SMOOTH STUCCO TO MATCH
RESIDENCE

CONCRETE BLOCK COLUMN W/
STONE VENEER

WEST ELEVATION
SCALE: 1/4" = 1'-0"

ANDRADA ARCHITECTS, INC.
EXPLICITLY REPRESENTS
OTHER PROPERTY OWNERS
AND IS NOT TO BE HELD
RESPONSIBLE FOR ANY
MISTAKES OR OMISSIONS
WHICH MAY OCCUR IN ANY
DRAWING OR DOCUMENT
PREPARED BY ANDRADA
ARCHITECTS, INC.
ANDRADAARCHITECTS.COM

2005 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.715.7474
FAX: 949.715.7475



ANDRADA ARCHITECTS, INC.

BECK RESIDENCE
24622 SANTA CLARA
DANA POINT, CA - 92629

WEST ELEVATION

REVISIONS

DRAWN BY: DM
CHECKED BY: KA
DATE: 09/18/2014
JOB #: 1306
SHEET:



MAGNOLIA GRANDIFLORA - SOUTHERN MAGNOLIA LITTLE GEM
 PRUNUS CERASIFERA - PURPLE LEAF PLUM
 CONCRETE BLOCK WALL W/ SMOOTH STUCCO TO MATCH RESIDENCE
 CONCRETE BLOCK COLUMN W/ STONE VENEER
 LIQUIDAMBAR STYRACIFLUA - AMERICAN SWEET GUM
 HYDRANGEA MACROPHYLLA - BIG LEAF HYDRANGEA-WHITE,BLUE

NORTH ELEVATION

SCALE: 1/4" = 1'-0"



CONCRETE BLOCK WALL W/ SMOOTH STUCCO TO MATCH RESIDENCE

EAST ELEVATION

SCALE: 1/4" = 1'-0"

2888 SOUTH COAST HIGHWAY
 LAGUNA BEACH, CA 92653
 PHONE: 949.715.1474
 FAX: 949.757.4675
 ANDRADEARCHITECTS.COM



ANDRADE ARCHITECTS, INC.

BECK RESIDENCE

24622 SANTA CLARA
 DANA POINT, CA. 92629

NORTH AND EAST ELEVATIONS

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY: DM
 CHECKED BY: KA
 DATE: 09/18/2014
 JOB #: 1306
 SHEET: